

PROPOSED FLOOR AREAS

GROUND FLOOR GARAGE	229.00m ² 38.39m ²
PORTICO	6.22m ²
PATIO PATIO	22.95m ²
TOTAL	296.56m ²

APPROX. PROPOSED SITE COVERAGE

APPROX. SITE AREA	700n
BUILDING AREA	296.56r
SHED AREA	17.50r
<u>TOTAL</u>	314.06n
APPROX. TOTAL SITE COVERAGE	44.809

NOTE:
RAINWATER AND SURFACE WATER TO
DISCHARGE AWAY FROM HOUSE.
STORMWATER TO DISCHARGE TO STREET.



No.	Name
WD.101	SITE COVER PLAN
WD.102	PERSPECTIVES
WD.201	GROUND FLOOR PLAN
WD.202	GROUND FLOOR SLAB PLAN
WD.301	ROOF PLAN
WD.401	ELEVATIONS
WD.501	SECTIONS
WD.502	DETAILS
WD.601	REFLECTED CEILING PLANS
WD.701	ELECTRICAL PLANS
WD.801	GROUND FLOOR BRACING
WD.802	FIRST FLOOR BRACING
WD.803	TIE DOWN
WD.804	TIE DOWN
WD.901	INTERNAL ELEVATIONS
WD.902	INTERNAL ELEVATIONS
WD.903	INTERNAL ELEVATIONS
WD.1001	GENERAL NOTES

SITE WORKS

All contours and levels to be provided by a licensed surveyor.

All survey pegs are to be located before the commencement of any earth works.

The site is to be prepared in accordance with the engineer's report, if applicable.

Foundations are to be prepared so that footings are placed on level, undisturbed material.

The site is to be excavated and/or filled to the levels shown.

Construction area is to be cleared of all vegetation, topsoil and upper strata containing organic matter.

Ground surface is to be sloped away from the building at a minimum slope of 1:20 for a minimum distance of 900mm, and to a point where ponding will no occur.

Dish drains, stormwater lines or ag pipes are to be provided as required or indicated to facilitate drainage of water away from the building.

Roofwater is to run off to a street channel or stormwater sewer with pipes as shown on hydraulics plan with a minimum fall of 1:100 away from the building.

All down pipes are to connect to stormwater lines.

Temporary down pipes are to be provided at down pipe locations during construction, to allow roof water to drain onto the ground a minimum of 2m away from the building.

All downpipe locations, underground services and stormwater line etc. are to be located prior to construction.

Any slab which is constructed on either cut or fill, taper batters will have a maximum slope of 1:1 for cut, and 1:2 for fill.

All vehicular access and driveways are to have a maximum slope of 1:4 $\,$

Any fences or retaining walls are to have a maximum height of 1800mm when placed on a boundary line unless approved otherwise.

Sanitary drainage shall be constructed in accordance with the local authority and the hydraulic drawings or plans as provided by them.

Prior to any excavation or construction on the site, the relevant authority shall be contacted by the builder for the possible location of further underground services.

All works are to comply with the local authorities' erosion and sediment control standards.

Eaxternal ground levels adjacent to the building shall be inaccordance bca part 3.3.2.3

REAL PROPERTY DESCRIPTION

Lot: 19 SP229841
Parish: Bribie
Address: 43 Sovereign Circuit PELICAN WATERS QLD



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Construction to comply with all

This drawing is to be read in conjunction with Engineers Drawings & Reports

relevant NCC & standard Bldg Bylaws

Verify all dimensions on site prior to
commencement of any works. These
drawings are not to be used for
scaling

B General revision - 29.10.13
shed removed; house repositioner

A Construction Issue 05.10.13

Revision Date

Project 026_hou_pelican

Location
43 Sovereign Circuit
PELICAN WATERS
Client
Daniel + Rosanna Pappalardo
Drawing Title
SITE COVER PLAN

Scale as shown @A2 Date 14/08/13

Drawn By Job No: 026

Drawing No. Revision

FOR CONSTRUCTION



view from inside



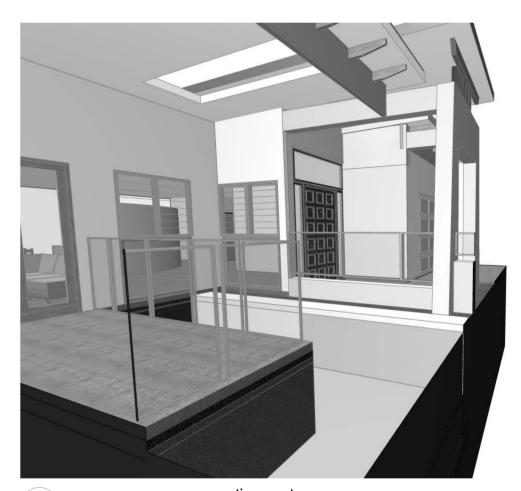
perspective - entrance



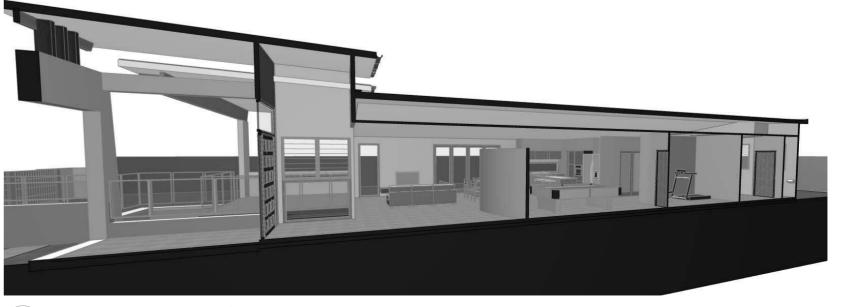
internal view



front view



perspective - entrance



cutaway section

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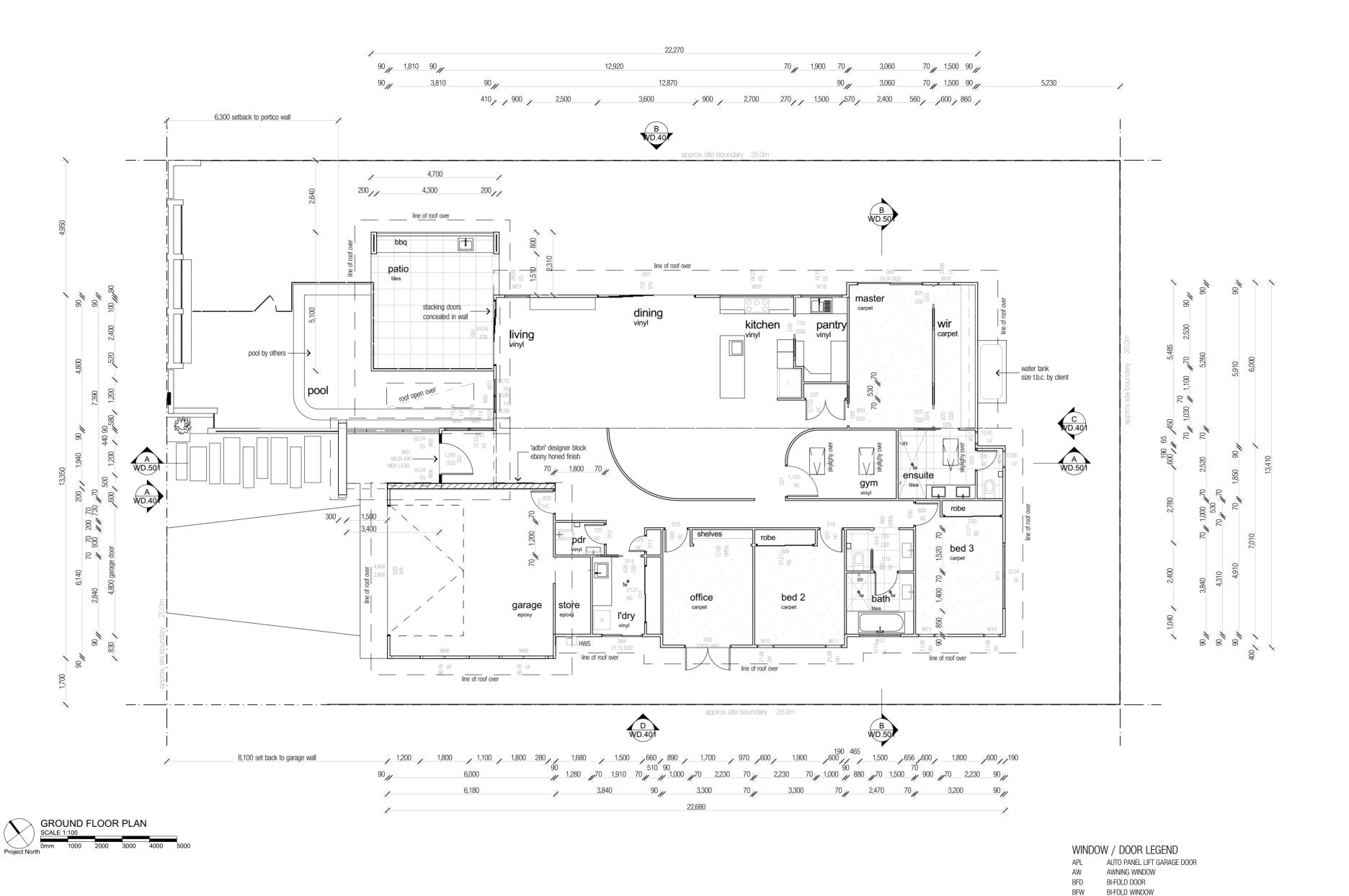
Location
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PELICAN WATERS
Client
Daniel + Rosanna Pappalardo
Drawing Title
PERSPECTIVES

Scale as shown @A2 Date 14/08/13

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WD.102 B





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Location
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Drawing Title

GROUND FLOOR PLAN

Scale as shown @A2 14/08/13

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Drawing No. Revision

CASEMENT WINDOW

CAVITY SLIDING DOOR

FIXED GLASS HOLLOW CORE DOOR

HUNG SLIDER

PIVOT DOOR ROLLER DOOR ROBE SLIDER

LOUVRE WINDOW

SOLID CORE DOOR

SLIDING WINDOW

STACKER DOOR

VINYL SLIDER

SLIDING GLASS DOOR

SLIDING WINDOW & FIXED GLASS

DOUBLE HUNG WINDOW

HINGED GLASS DOOR

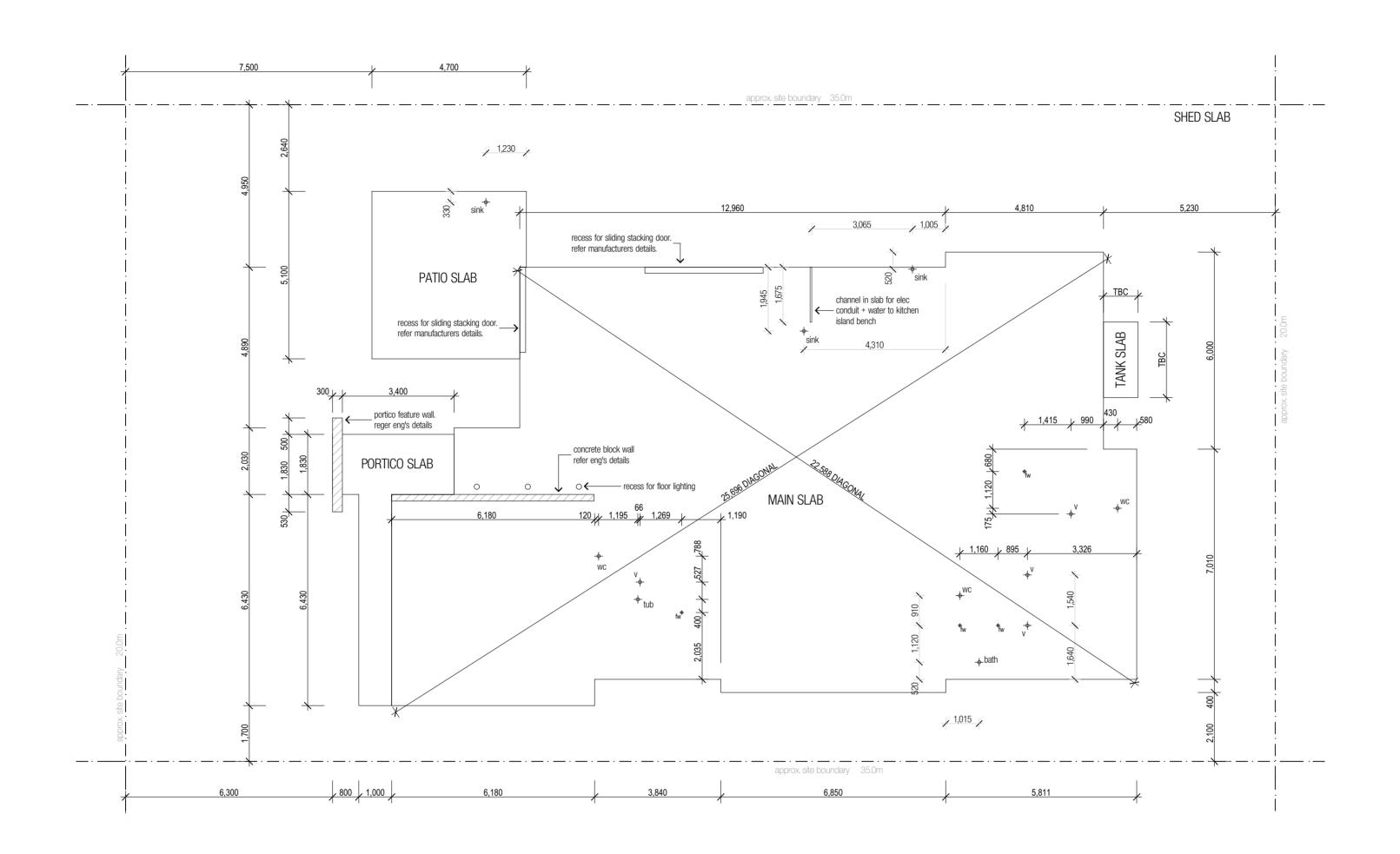
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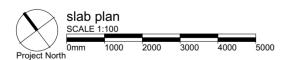
HGD

PVT

SGD

STK





NOTE:
ALL DIMENSIONS TO BE CONFIRMED PRIOR
TO SET OUT OF SLAB ON SITE

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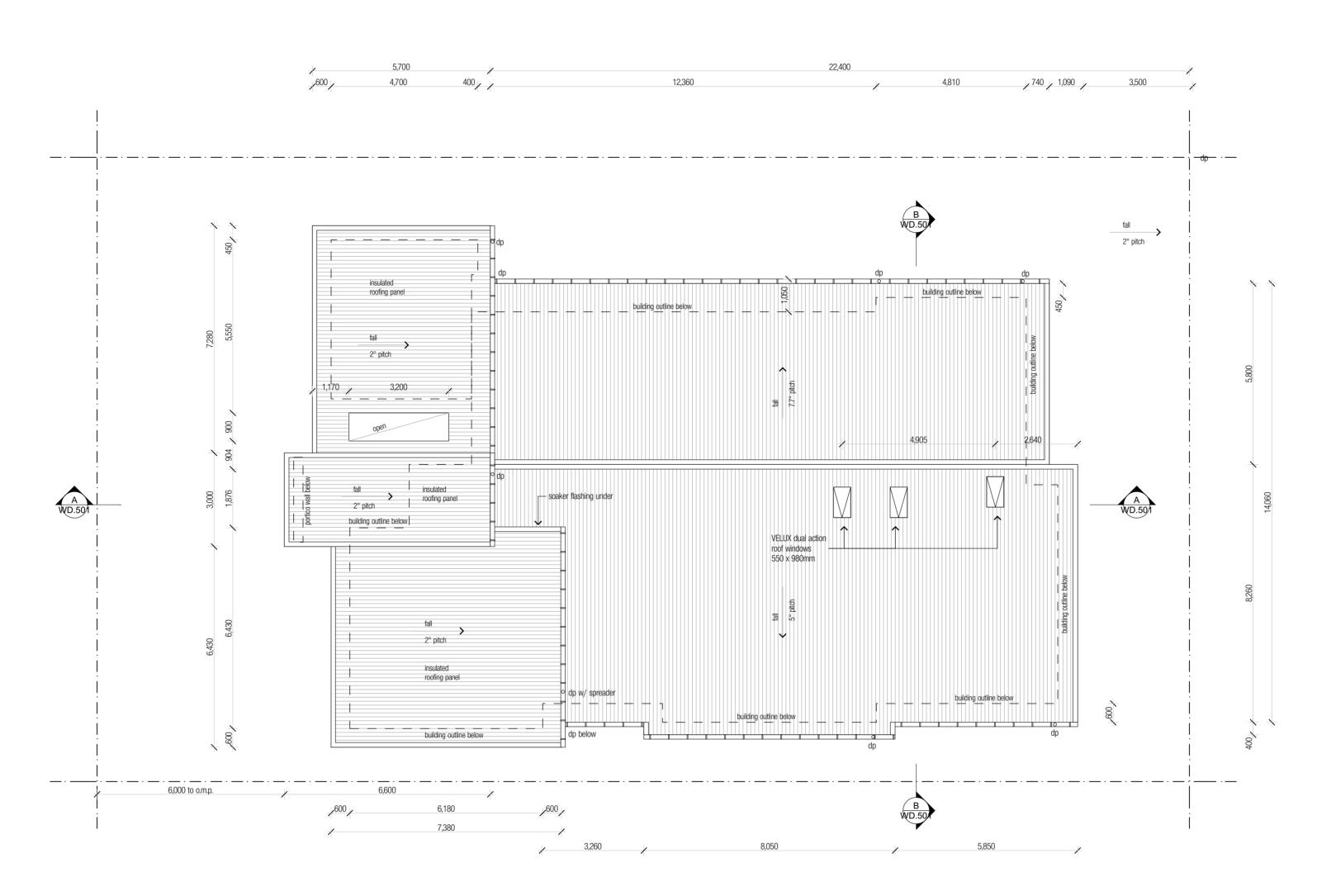
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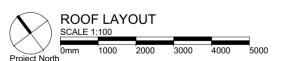
Location
43 Sovereign Circuit
PELICAN WATERS
Client
Daniel + Rosanna Pappalardo
Drawing Title
GROUND FLOOR SLAB
PLAN
Scale
Date

Scale Date
as shown @A2 14/08/13

Drawn By Job No:
DT 026

Drawing No. Revision







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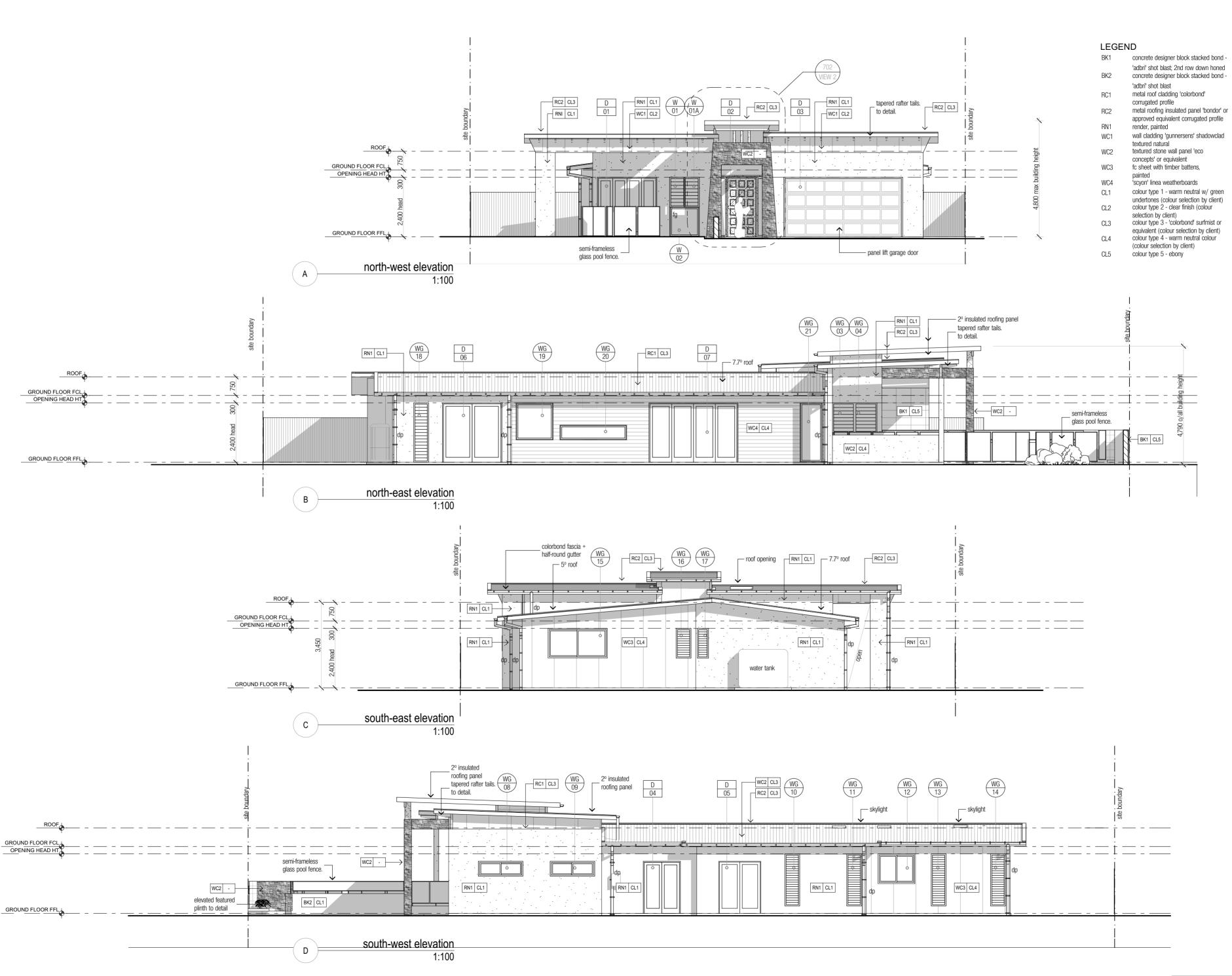
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Location
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Client
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Drawing Title
ROOF PLAN

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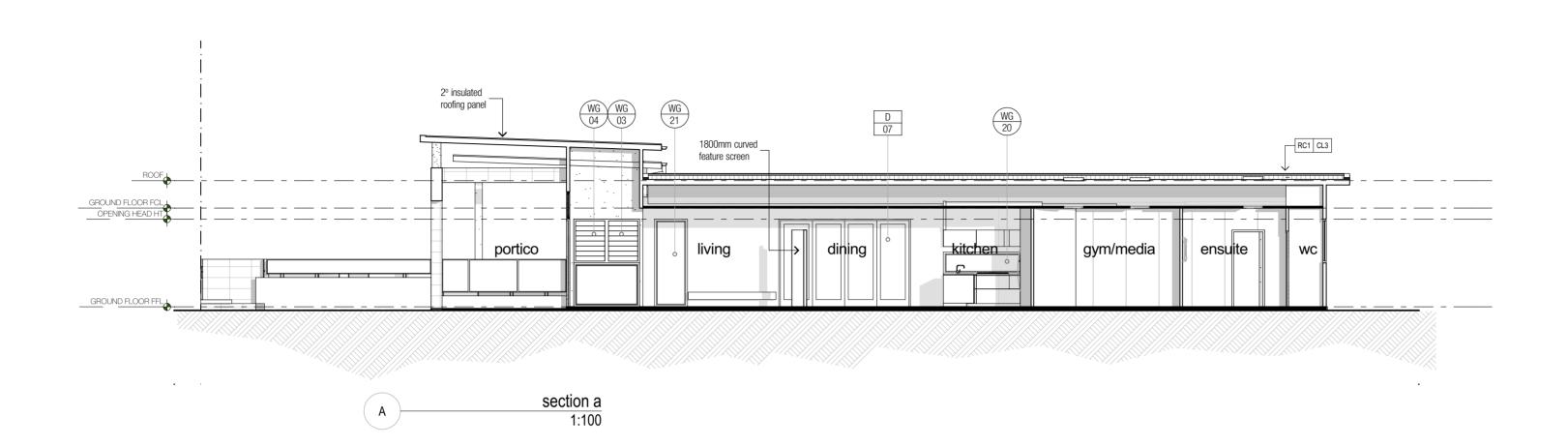
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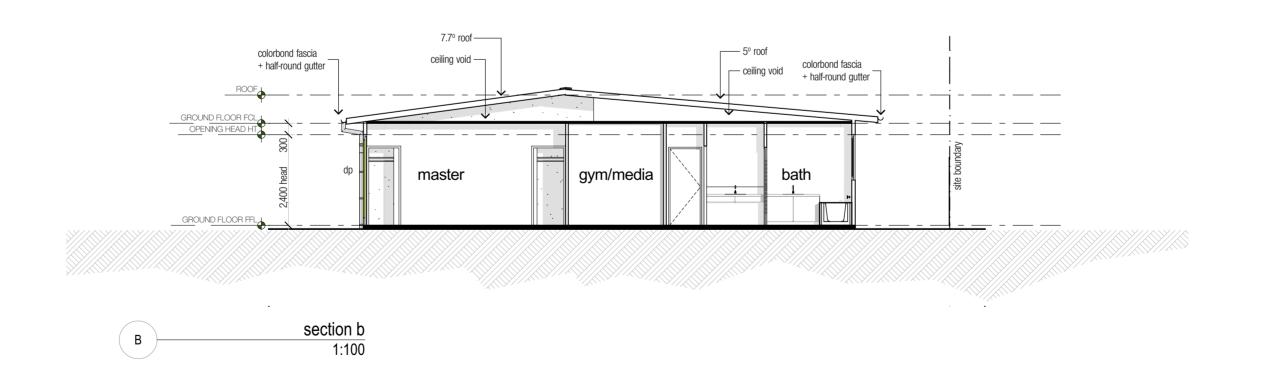
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WD.401 B

ELEVATIONS







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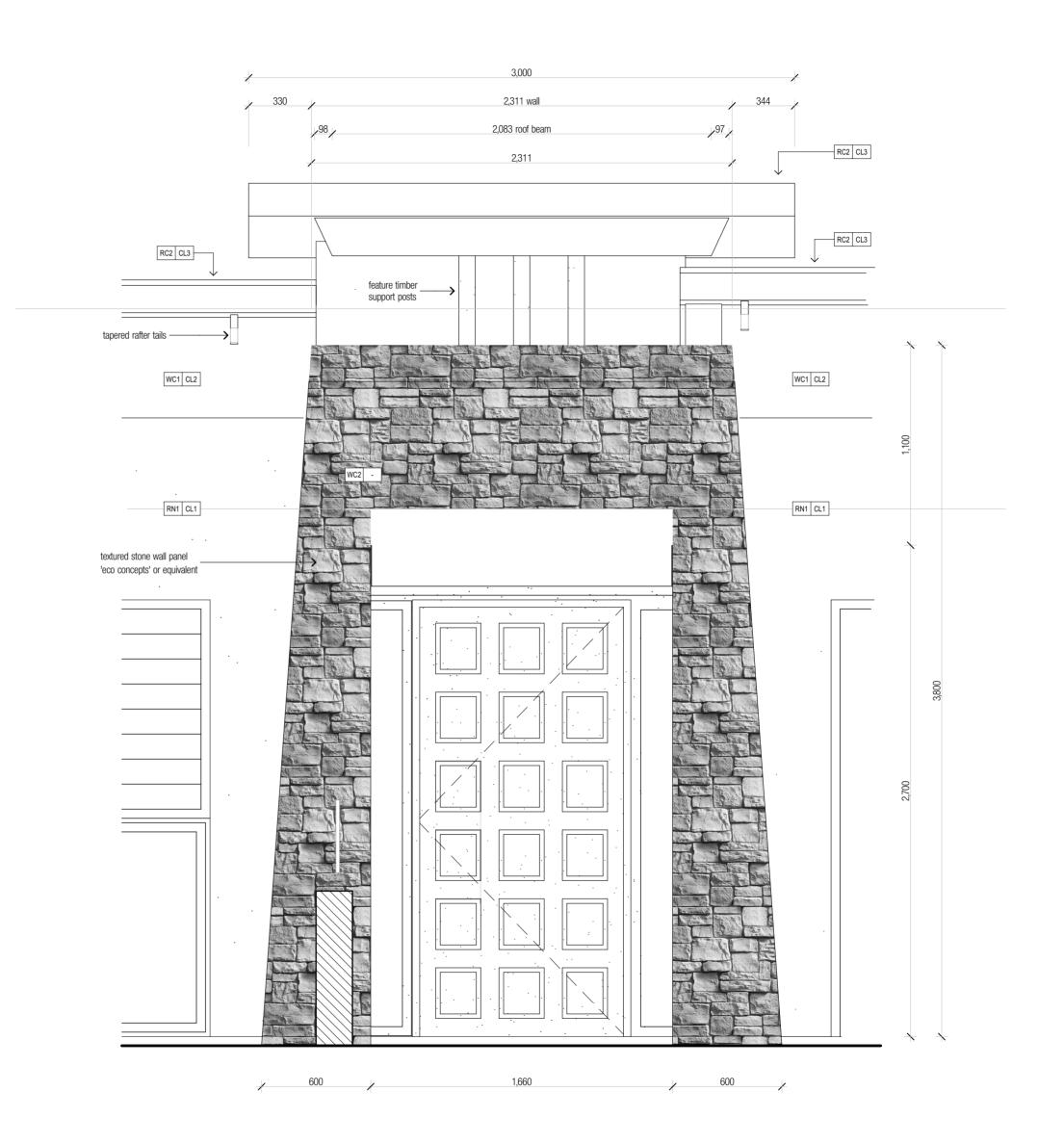
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Location
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PELICAN WATERS
Client
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Drawing Title
SECTIONS

Scale Date as shown @A2 14/08/13

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portico wall detail 1:20



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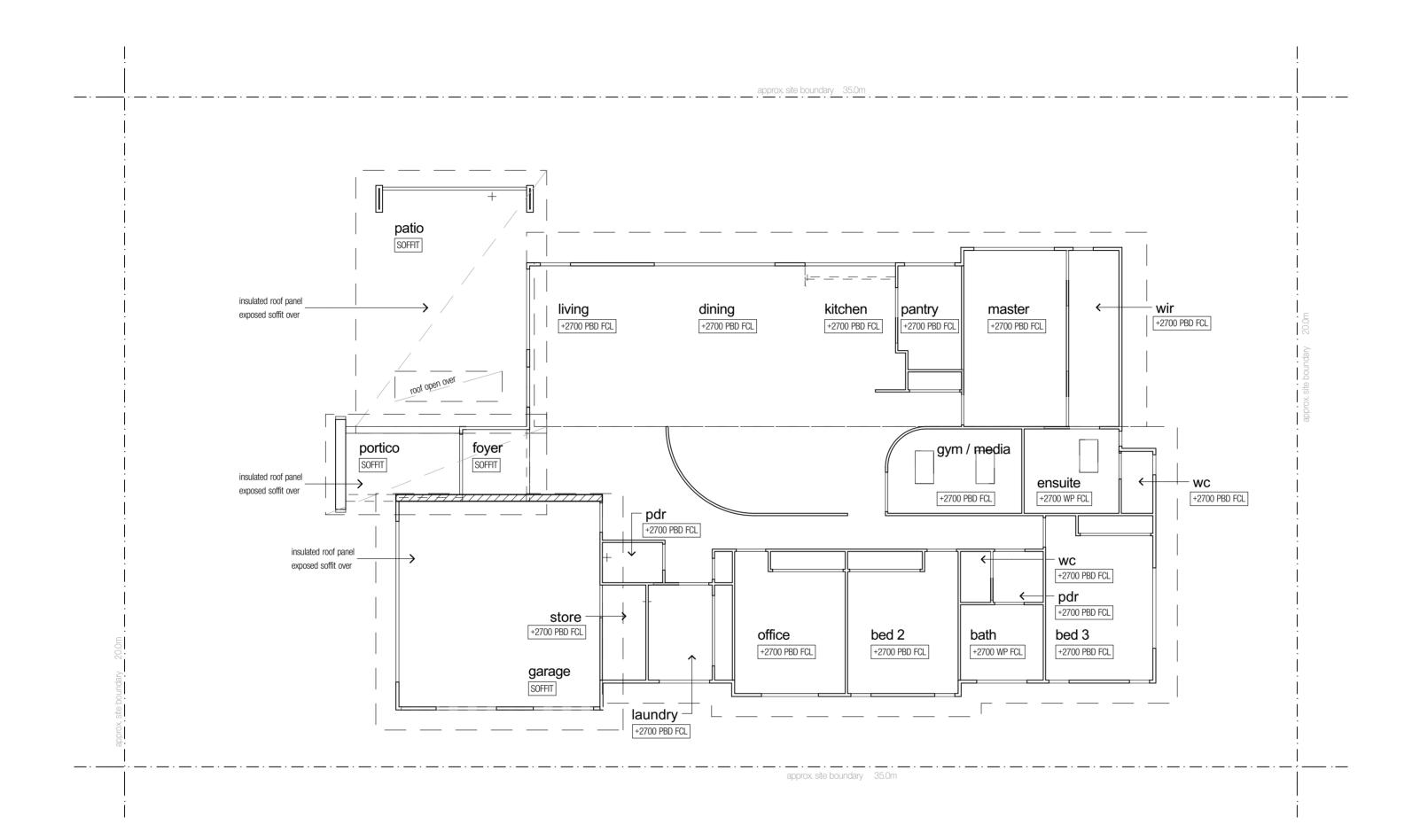
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Location
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Client
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Drawing Title
DETAILS

Scale as shown @A2 Date as shown @A2 14/08/13

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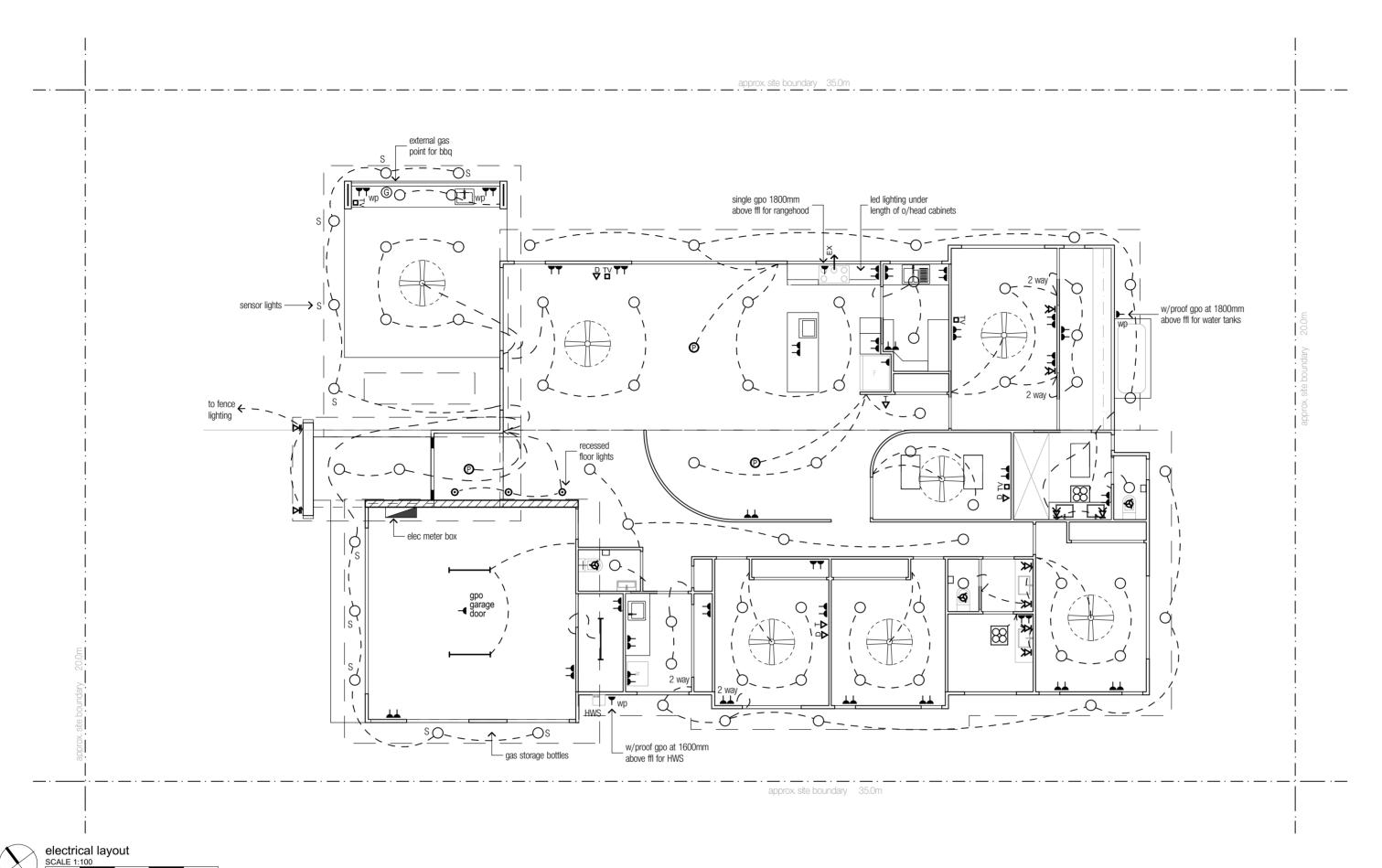
Location
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Client
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Drawing Title
REFLECTED CEILING
PLANS

Scale Date
as shown @A2 14/08/13

Drawn By Job No:
DT 026

Drawing No. Revision

WD.601



ELECTRICAL LEGEND

symbol	item	symbol	item
0	energy efficient downlight	(E)	240V round fluoro
B	batten light	Ø	12V pendant light
G	external gas point for bbq	$\bot\bot$	double gpo
ĭ	12V internal spot with R.T.	_	single gpo
Ĭ	12V Adj. internal spot 300 arm with R.T.	ightharpoonupB	blind power
Þ	12V recessed internal wall/stair light	$ ightharpoons^{F}$	recessed floor gpo
Þ	12V recessed external wall/stair light	▲ WP	waterproof gpo
_	13V fluoro shelf light	×V	volume switch
$\boldsymbol{\vdash}$	240V single 600 long fluoro	×	light switch
$\overline{}$	240V single 1200 long fluoro	\times^2	2 way light switch
	240V double 1200 long fluoro	×	dimmer light switch
	LED strip lighting	1	1000 dia sailina fan
≥	12V rec underwater light		1200 dia. ceiling fan
•	with R.T. 12V rec floor light	⊠	fan control box
<u> </u>	12V external spot light with	extstyle e	data point
±	remote transformer	TV	television point
⊩ ≏	wedge light	$\overset{\top}{\boldsymbol{\nabla}}$	telephone point
℧	external wall light		
₹	internal wall light	JB	junction box

symbol item

♠ exhaust fan (ceiling)→EX exhaust fan (wall)

x smoke detector

vacuum point

p security code pad

stereo (integrated)

sp switch plate (as detailed)

TS trip switch

12V transformer to be mounted remote fom fitting



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HEIGHTS OF GPO'S

GENERAL - 200mm ABOVE FFL

KITCHEN - 1100mm ABOVE FFL

FRIDGE LOCATION - 1100mm ABOVE FFL

BATH / ENSUITE - 1100mm ABOVE FFL

LAUNDRY - 525mm ABOVE FFL

EXTERNAL W/PROOF - 1000mm ABOVE FFL

HEIGHTS OF LIGHT SWITCHES

LIGHT SWITCH - 1100mm ABOVE FFL

ELECTRICAL NOTES

Note: Electrical contractor to allow for connection of power to A/C plant. For location of plant equipment and power loads, contact A/C contractor.

Note: Electrical sub board to be located in garage.

Note: The location of all fixtures and fittings shown on electrical plan are indicative only, and shall be confirmed on site prior to installation.

Note: Electrical contractor to confirm Electrical load of each appliance and allow for suitable power outlet adjacent.

ELECTRICAL NOTES

Note: Electrical contractor to install 'remote' transformers to 12V lights where required. (Transformer locations to be confirmed on site with building designer.)

Note: Electrical contractor to allow to prepare an 'as built' drawing indicating location of remote transformers in relation to their light fittings. This drawing is to be given to builder for presentation to owner at completion of project.

Note: Electrical contractor to allow for connection of power to A/C plant. For location of plant equipment and power loads, contact A/C contractor. (Quotation forms part of schedules)
Note: Electrical sub board to be located in garage.

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Note: Dimmer switch control required to Dining, Living and

Note: Dimmer switch control required to Dining, Living a Bed 1.

Note: Electrical contractor to allow for connection of power to security system, intercom & smoke detectors. A telephone point will be required adjacent to security panel.

Note: All GPO's to be mounted 300mm above floor unless noted otherwise. All light switches to be mounted 1000mm above floor unless noted otherwise.

Note: The location of all fixtures and fittings shown on electrical plan are indicative only, and shall be confirmed on site prior to installation.

Note: Electrical contractor to confirm Electrical load of each appliance and allow for suitable power outlet adjacent.

Note: Power to run underground from property boundary to house.

B General revision - 29.10.13
shed removed; house repositioned
A Construction Issue 05.10.13

Revision Date

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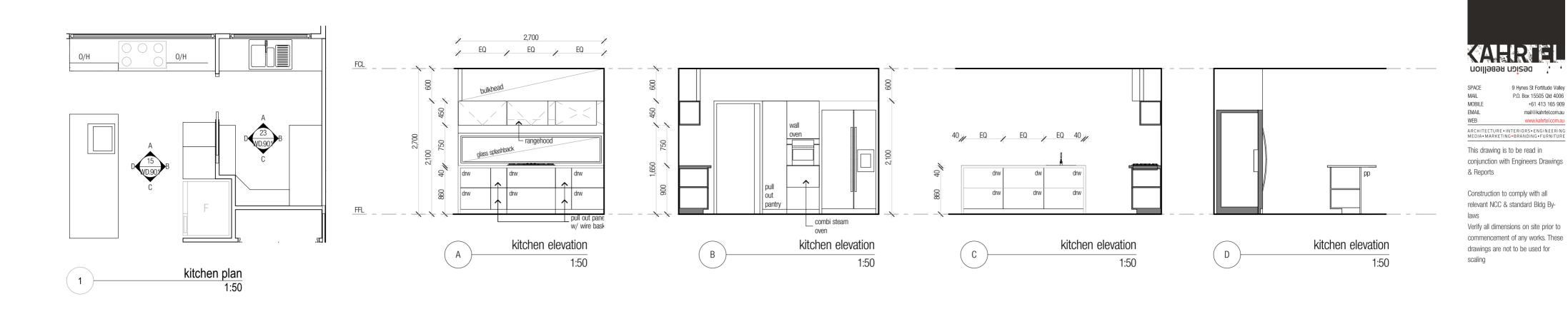
Location
43 Sovereign Circuit
PELICAN WATERS
Client
Daniel + Rosanna Pappalardo
Drawing Title
ELECTRICAL PLANS

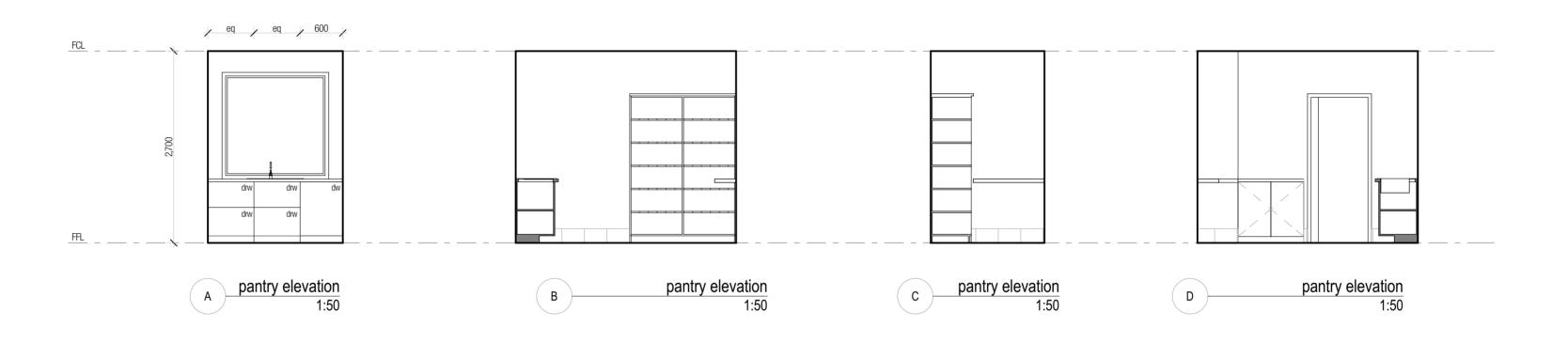
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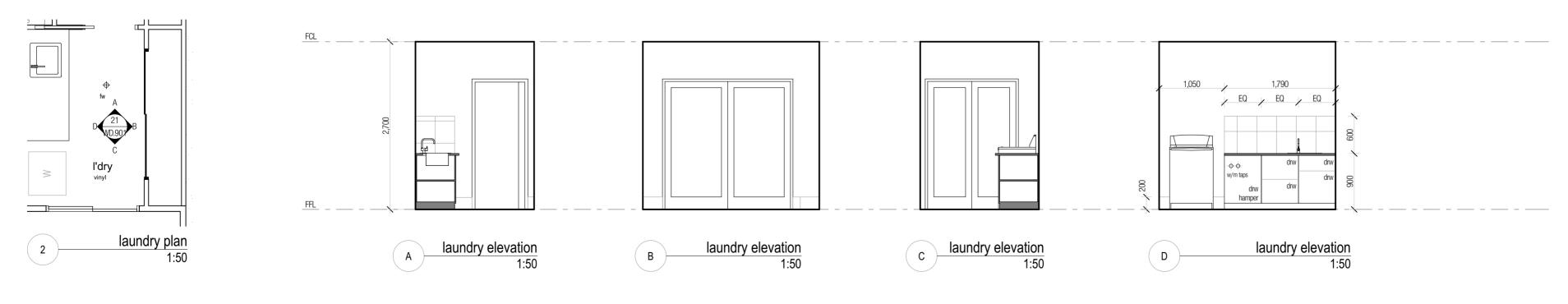
Drawn By Job No:
DT 026

Drawing No. Revision

FOR CONSTRUCTION







B General revision - 29.10.13 shed removed; house repositioned A Construction Issue 05.10.13 Revision Date

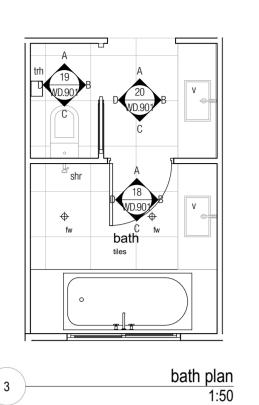
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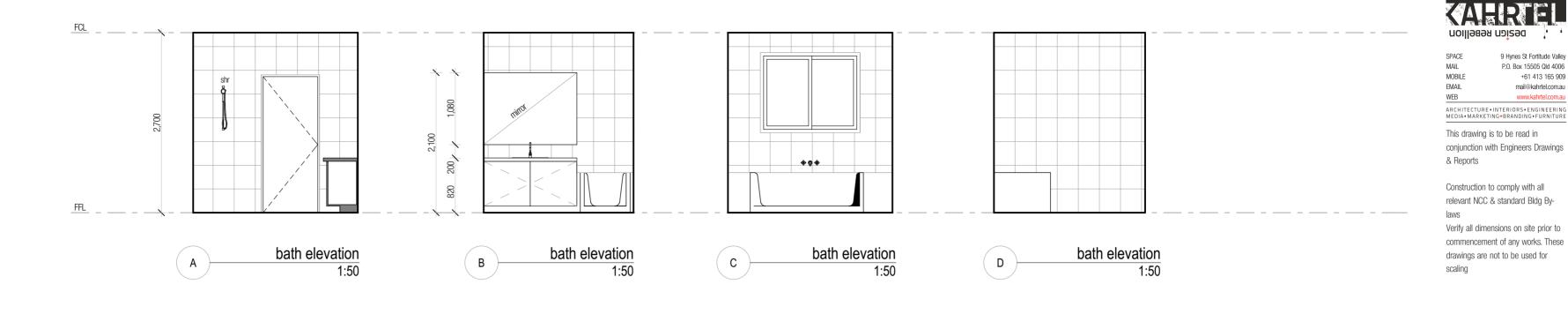
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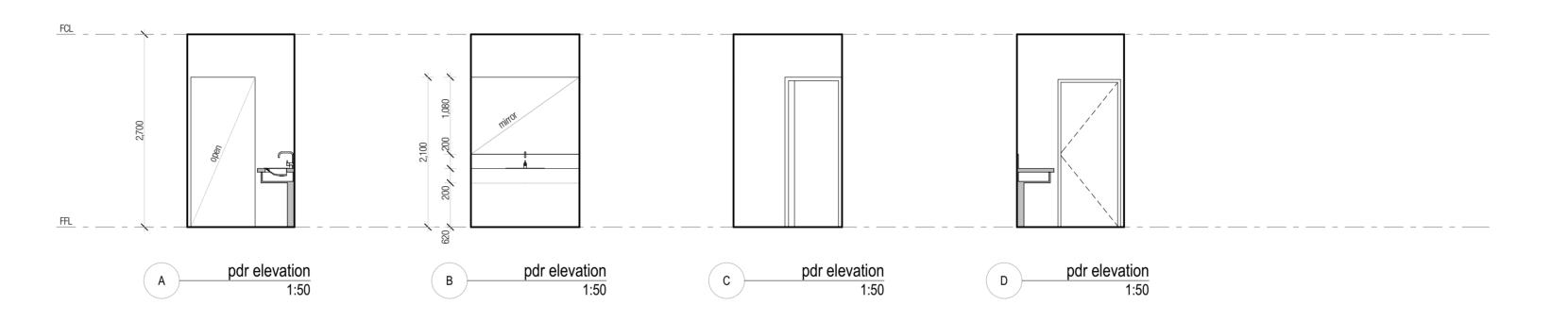
Location 43 Sovereign Circuit PELICAN WATERS

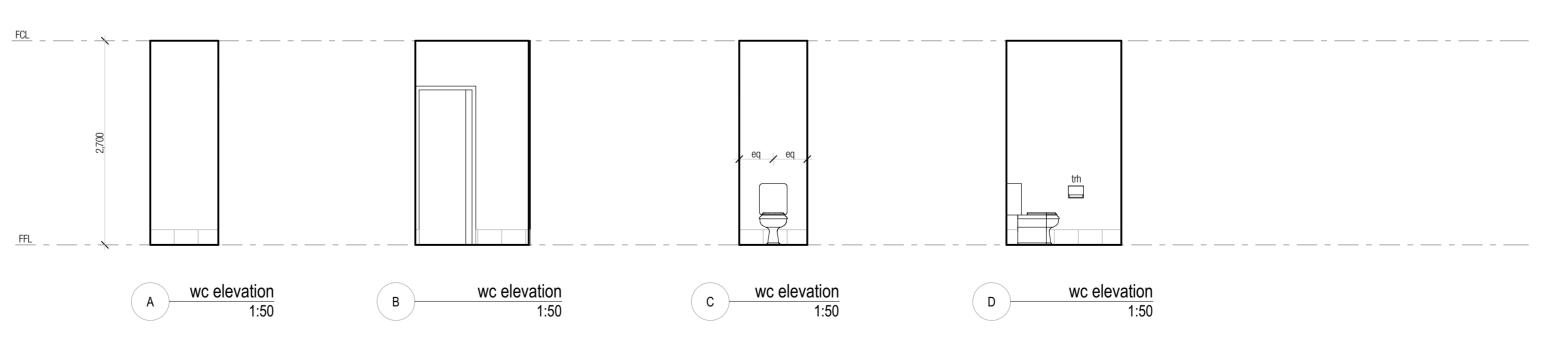
Client Daniel + Rosanna Pappalardo Drawing Title INTERNAL ELEVATIONS

Scale as shown @A2 14/08/13 Drawn By Job No: DT 026 Drawing No. Revision WD.901 В









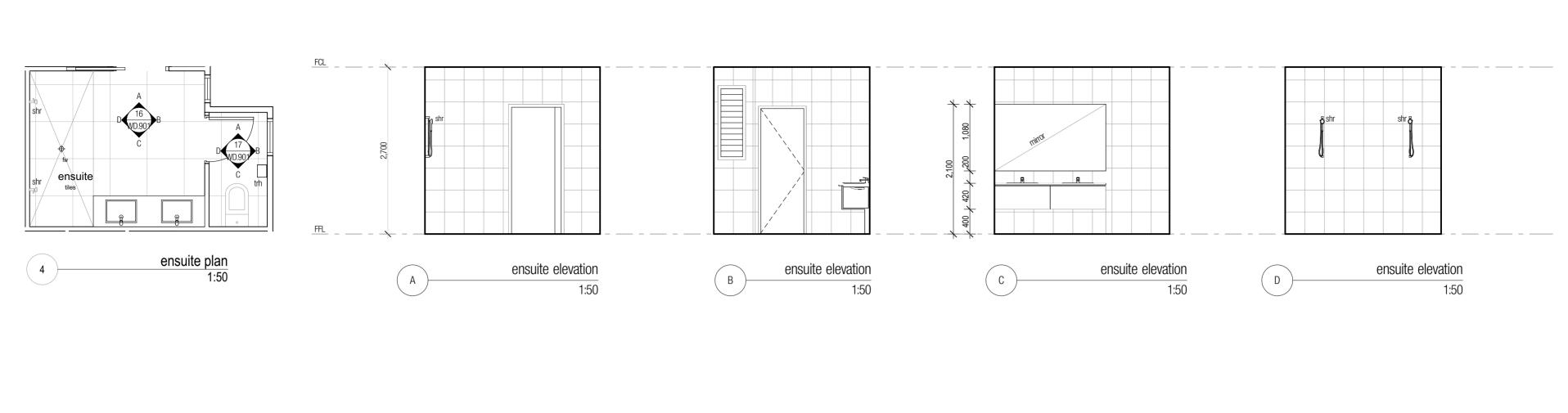
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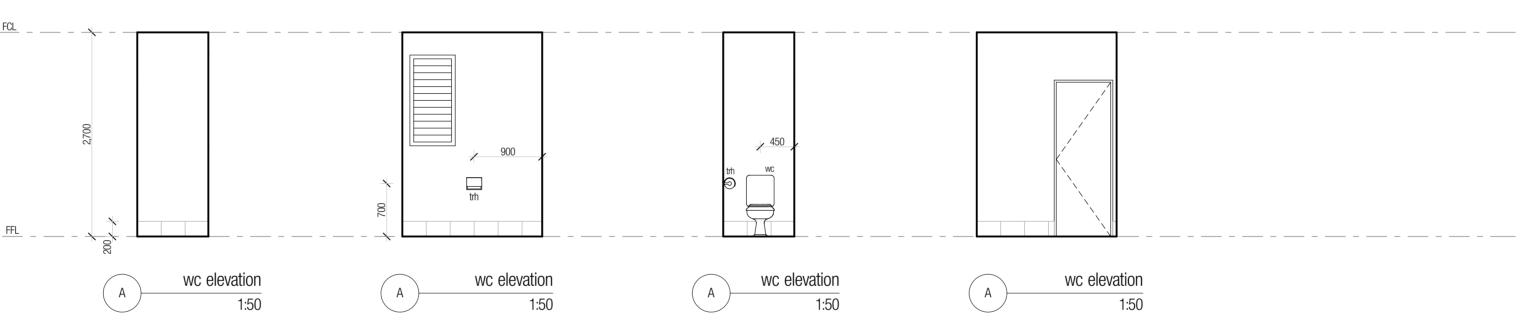
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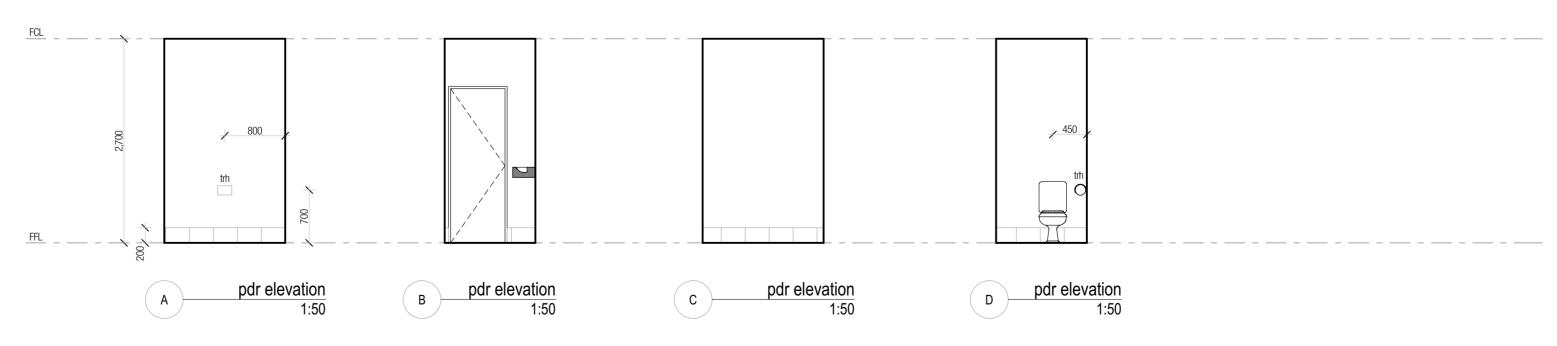
Project 026_hou_pelican

Location 43 Sovereign Circuit PELICAN WATERS Client Daniel + Rosanna Pappalardo Drawing Title
INTERNAL ELEVATIONS

Scale as shown @A2 14/08/13 Drawn By Job No: DT 026 Drawing No. Revision WD.902







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SPACE MAIL MOBILE

& Reports

scaling

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Location
43 Sovereign Circuit
PELICAN WATERS
Client
Daniel + Rosanna Pappalardo
Drawing Title
INTERNAL ELEVATIONS

Scale as shown @A2 Date 14/08/13
Drawn By Job No: DT 026
Drawing No. Revision
WD.903
B

powder plan

BLOCKWORK

ALL REINFORCED CONCRETE BLOCKWORK IS BE CONSTRUCTED IN ACCORDANCE WITH AS 3700 AND A RELEVANT ENGINEERS REPORT.

A DAMP PROOF COURSE (DPC) IS TO BE PROVIDED 150MM ABOVE GROUND.

ALL BRICKWORK IS TO BE CONSTRUCTED IN ACCORDANCE WITH AS 3700 AND BCA 3.3

A DAMP PROOF COURSE (DPC) IS TO BE PROVIDED 150MM ABOVE GROUND.

ALL WALLS ARE TO HAVE A CONTINUOUS CAVITY AND ARE TO BE KEPT CLEAR OF MORTAR

ALL OPENINGS ARE TO BE FULLY FLASHED WITH A STANDARD DAMP PROOF MATERIAL TO PREVENT WATER PENETRATION INTO INTERNAL AREAS.

BRICKWORK FOUNDATIONS UNDERNEATH TIMBER FLOORS ARE TO HAVE PERMANENT AIR VENTS FOR EVERY 7500 SQ MM PER LINEAL METER LENGTH OF EXTERNAL WALL

STANDARD REINFORCEMENT IS TO BE PROVIDED AT EVERY 4TH COURSE.

BUILDING & DESIGN

ALL WORK SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA (BCA), AUSTRALIAN DOMESTIC CONSTRUCTION MANUAL (ADOM), QUEENSLAND BUILDING ACT, THE TRADAC TIMBER FRAMING MANUAL, AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS.

ALL STRUCTURAL SUFFICIENCY, SAFETY, HEALTH AND AMENITY SHALL BE ACHIEVED IN STRICT ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA.

ALL WORK SHALL COMPLY WITH ALL RELEVANT MANUFACTURER'S SPECIFICATION AND INSTALLATION DETAILS.

ALL WORK SHALL COMPLY WITH ALL RELEVANT LOCAL COUNCIL REGULATIONS AND AUTHORITTIES.

ALL EXTERNAL AND INTERNAL CLADDING IS TO BE FIXED AND FINISHED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

DRIVEWAY CROSSOVER

ALL NEW DRIVEWAY CROSSOVERS, KERBS, AND GUTTERS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH COUNCIL REGULATIONS.

ENERGY EFFICIENCY

ENERGY EFFICIENCY IS TO BE INSTALLED IN ACCORDANCE WITH BCA PART 3.12. ALL EXTERNAL WALLS ARE TO ACHIEVE R2.0 AND ROOFS ARE TO ACHIEVE R2.5

EXTERNAL DOORS

THRESHOLDS ARE TO BE PROVIDED IN ACCORDANCE WITH BCA 3.9.1. TO ALL EXTERNAL DOORS WHICH HAVE A STEPDOWN OF MORE THAN 190mm

REFER TO SCHEDULE OF FINISH AND CONSULT WITH THE BUILDING SUPERVISOR OR PRIMARY BUILDER FOR ALL INFORMATION PERTAINING TO FINISHES AND COLOURS.

ALL PARTICLEBOARD FLOORING, TONGUE & GROOVE FLOORING AND SHOT EDGE DECKING IS TO BE CONSTRUCTED IN ACCORDANCE WITH AS 1684 SECTION 5

ALL FLOORING FIXINGS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH AS 1684

FOUNDATION DESIGN

SLABS, FOOTINGS AND RETAINING WALLS MUST BE CONSTRUCTED IN STRICT ACCORDANCE WITH AS 2870.1 AS WELL AS ENGINEERS REPORT; REFER TO ENGINEERS REPORT FOR FOOTING AND SLAB DESIGN.

GENERAL NOTES

ALL DIMENSIONS SHOWN ARE IN MILLIMETRES.

OR SURVEYOR PRIOR TO CONSTRUCTION.

DO NOT SCALE FROM THESE DRAWINGS - USE FIGURED DIMENSIONS ONLY.

FIGURED DIMENSIONS REFER TO THE BUILDING STRUCTURE OR FRAMING, NOT THE FINISH OR LININGS ON NEW WORK

ALL DIMENSIONS ARE TO BE CHECKED AND VERIFIED PRIOR TO CONSTRUCTION.

THE BUILDER SHALL VERIFY THE LOCATION OF ALL SERVICES AND LEVELS PRIOR TO CONSTRUCTION.

SET-OUT DIMENSIONS SHOWN ON THE SITE PLAN ARE TO BE CHECKED & VERIFIED BY THE BUILDER

ANY ANGLED WALLS SHOWN SHALL BE 45 DEGREES UNLESS OTHERWISE NOTED.

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, CONSULTANTS' DRAWINGS AND SPECIFICATIONS, SCHEDULE OF FINISHES AND WITH SUCH OTHER WRITTEN INSTRUCTIONS. ALL AND ANY DISCREPANCIES SHOWN HEREON SHALL BE REFERRED TO THE DESIGNER BEFORE PROCEEDING WITH ANY WORK

MANUFACTURERS SPECIFICATION' REFERS TO A CURRENT APPROVED SPECIFICATION FOR THE USE OF A PARTICULAR PRODUCT UNDER THE CONDITIONS APPLICABLE.

ANY OUTDATED STANDARDS LISTED ON THESE PLANS ARE TO BE TAKEN AS A REFERENCE TO THE CLIRRENT FOITION

ANY INFORMATION SUPPLIED BY OTHERS IS NOT THE RESPONSIBILITY OF THE DESIGNER OF THESE

ALL USERS OF THESE DRAWINGS ARE ADVISED TO CHECK OTHER SUPPLIED DATA PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

ALL GLAZING TO BE INSTALLED IN ACCORDANCE WITH AS 1288, AS 2047 AND

Laminated beams

ALL EXPOSED LVL TIMBERS TO BE TREATED WITH LIGHT ORGANIC SOLVENT PRESERVATIVES TO MINIMUM H3 LEVEL MALTHOID STRIPS TO BE INSTALLED BETWEEN FLOOR JOISTS AND THE TIMBER DECKING. EXPOSED LVL DECKING MEMBERS TO BE PAINTED OR SEALED ALL ROUND BFORE INSTALLATION.

LIGHTING & VENTILATION

ALL LIGHTING & VENTILATION IS TO BE IN ACCORDANCE WITH AS 1668 PART 2 -1980 3.8.4 & 3.8.5

ALL POOL FENCING IS TO BE CONSTRUCTED IN ACCORDANCE WITH AS 1926.1 AND QUEENSLAND GOVERNMENT REGULATIONS.

ALL POOL FENCING IS TO BE CONSTRUCTED WITH AN OVERALL HEIGHT OF NO LESS THAN 1200Mmm AND MUST NOT CONTAIN HORIZONTAL MEMBERS ANY CLOSER THAN 900mm CENTRE TO CENTRE, THAT FACILITATE CLIMBING

ALL VERTICAL BALUSTRADE IS TO BE CONSTRUCTED WITH MAXIMUM CLEAR SPACINGS OF 100mm.

REINFORCED CONCRETE

ALL REINFORCED CONCRETE IS TO BE CONSTRUCTED IN ACCORDANCE WITH AS 3600 AND AS

ROOFING

ALL METAL ROOF SHEETING IS BE DESIGNED AND INSTALLED IN ACCORDANCE WITH AS 1562-1980

ALL ROOF TILES ARE TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH AS 2050-1989

ALL PLIABLE ROOF SARKING SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH AS

ROOF TRUSSES ARE TO BE PLACED IN STRICT ACCORDANCE WITH THE TRUSS DESIGN AS PER MANUFACTURERS SPECIFICATIONS.

TRUSSES SHALL BE SUPPORTED WITHIN 1.5 TIMES THE THICKNESS OF THE TOP PLATE FROM THE STUDS. FOR TRUSSES OUTSIDE OF THIS PARAMETER, INTERMEDIATE VERTICAL BLOCKING IS TO BE PROVIDED UNDER THE TOP PLATE, DIRECTLY ALIGNED WITH THE ROOF TRUSS AS PER AS1684

ROOF BATTENS ARE TO BE CONSTRUCTED AND FIXED IN ACCORDANCE WITH AS1684

IF STEEL BATTENS ARE TO BE USED, REFER TO MANUFACTURERS SPECIFICATIONS FOR THE FIXING AND SPACING DETAILS.

REFER TO TRUSS MANUFACTURERS SPECIFICATIONS FOR GIRDER TRUSS DETAILS, FIXINGS AND

REFER TO ENGINEERS REPORT FOR GIRDER TRUSS POINT LOAD, AND LINTEL LOAD DETAILS AND

RUBBISH & DEBRIS

ALL MATERIALS DEEMED TO BE UNUSABLE SHALL BE PLACED IN A RUBBISH COMPOUND OR AN INDUSTRIAL BIN AND REMOVED FROM THE SITE AT THE BUILDER'S EARLIEST CONVENIENCE

ALL SCAFFOLDING & SAFETY RESTRAINT SYSTEMS ARE TO BE USED IN ACCORDANCE WITH QUEENSLAND HEALTH & SAFETY REGULATIONS AND THE WORKPLACE HEALTH & SAFETY ACT 1995

DOWNPIPES TO CONNECT TO STORMWATER LINES. SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. IF NOT ABLE TO BE LOCATED, SERVICES HAVE BEEN PLOTTED FROM THE RECORDS OF RELEVANT AUTHORITIES WHERE AVAILABLE. PRIOR TO ANY EXCAVATION OR CONSTRUCTION ON THE SITE. THE RELEVANT AUTHORITY SHOULD BE CONTACTED

SHOWER SCREENS

ALL SHOWER SCREENS ARE TO BE INSTALLED IN ACCORDANCE WITH AS 2047 AND AS 1288

SLIDING GLASS DOOR SLAB RECESS

A STEP DOWN THRESHOLD OF APPROXIMATELY 50mm IS TO BE MADE TO CONCRETE SLABS AT ALL SLIDING. STACKING AND BI-FOLD DOOR LOCATIONS TO ALLOW FOR FLOOR COVERING TO FINISH LEVEL WITH THE TOP OF ALUMINIUM DOOR TRACK.

REFER TO MANUFACTURERS SPECIFICATIONS FOR DETAILS ON TRACK SIZE AND DEPTH, AND TO ENSURE WATER IS DRAINED AWAY SUFFICIENTLY.

SMOKE ALARMS

SMOKE ALARMS ARE TO BE POSITIONED AS PER DRAWINGS AND ARE TO BE INSTALLED IN ACCORDANCE WITH AS 3786 AND BCA 3.7.2

SOUND INSULATION

PROVISION FOR RAINWATER STORAGE TANK/S WITH A MINIMUM 5000L STORAGE

TANK/S MUST RECEIVE RAINFALL FROM A MINIMUM OF 100SQM 'OR' AT LEAT 50% OF THE ROOF AREA WHICHEVER IS THE LESSER.

TANK/S ARE TO BE CONNECTED FOR EXTERNAL USE AND INTERNAL USE FOR; (I) TOILET CISTERNS AND WASHING MACHINE COLD WATER TAPS

(IV) A VERMIN TRAP

(I) SCREENED DOWN PIPE RAINHEADS HAVING SCREEN MESH 4-6MM DESIGNED TO SHED LEAVES (II) MOSQUITO-PROOF SCREENS OF BRASS, COPPER, ALLIMINUM, STAINLESS STEEL GAUZE NOT COARSER THAN 1MM APERTURE (III) FLAP VALVES AT EVERY OPENING

TANK/S MUST PROVIDE CONTINUOUS SUPPLY BY;

(A) AN AUTOMATIC SWITCHING DEVICE PROVIDING SUPPLEMENTARY WATER FROM THE RETICULATED TOWN WATER SUPPLY

(B) A TRICKLE TOP UP SYSTEM FROM THE RETICULATED TOWN WATER SUPPLY AT A MINIMUM FLOW OF 2L PER MINUTE AND A MAXIMUM FLOW OF 4L PER MINUTE (C) A MINIMUM STORAGE VOLUME OF THE RETICULATED TOWN WATER SUPPLY TOP UP NOT EXCEEDING 1000L

A BACKFLOW PREVENTION DEVICE IS TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 3500:2003.

RAINWATER TANK/S OVERFLOW IS TO BE CONNECTED TO STORMWATER SYSTEM IN ACCORDANCE WITH LOCAL GOVERNMENT REQUIREMENTS.

IF ROOFWATER IS PIPED TO A RAINWATER TANK VIA A SEALED DOWNPIPE (I) A SYSTEM TO BLEED WATER FROM THE DOWNPIPE INTO THE APPROVED OVERFLOW SYSTEM MUST BE PROVIDED TO PREVENT STAGNANT WATER TO BE HELD IN THE DOWNPIPE (II) AN INSPECTION OPENING MUST BE PROVIDED FOR MAINTENANCE AND CLEANING

MATERIALS USED IN THE RAINWATER TANK MUST COMPLY WITH THE ACCEPTABLE SOLUTIONS OF THE QUEENSLAND DEVELOPMENT CODE.

STEELWORK

ALL STEELWORK IS TO BE FABRICATED, TRANSPORTED AND ERECTED IN ACCORDANCE WITH AS 4100 (SAA STEEL STRUCTURES CODE) AND AS 1554 (SAA CODE FOR WELDING IN BUILDING).

ALL EXPOSED STEELWORK INCLUDING BOLTS, WASHERS, NUTS AND FIXINGS ARE TO BE GALVANIZED OR EQUIVALENT.

ALL STEEL BEAMS AND POSTS INDICATED ON THESE DRAWINGS ARE NOMINAL ONLY. REFER TO ENGINEERS REPORT FOR ACTUAL STEEL BEAM AND POST DETAILS.

STRUCTURAL SUBSTITUTION

SUBSTITUTION OF ANY STRUCTURAL ELEMENTS OR MEMBERS, AND/OR ANY VARIATION TO ANY PART OF THE DESIGN WILL VOID ANY RESPONSIBILITIES OF THE DESIGNER FORTHE STRUCTURAL INTEGRITY AND PERFORMANCE OF THE BUILDING.

ALL CONTOURS AND LEVELS SHOWN HAVE BEEN PROVIDED BY A LICENSED SURVEYOR.

ALL SURVEY PEGS ARE TO BE LOCATED BEFORE THE COMMENCEMENT OF ANY EARTH

THE SITE IS TO BE PREPARED IN ACCORDANCE WITH THE ENGINEER'S REPORT, IF

FOUNDATIONS ARE TO BE PREPARED SO THAT FOOTINGS ARE PLACED ON LEVEL, UNDISTURBED MATERIAL

THE SITE IS TO BE EXCAVATED AND/OR FILLED TO THE LEVELS SHOWN. CONSTRUCTION AREA IS TO BE CLEARED OF ALL VEGETATION, TOPSOIL AND UPPER STRATA CONTAINING ORGANIC MATTER.

GROUND SURFACE IS TO BE SLOPED AWAY FROM THE BUILDING AT A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 900MM, AND TO A POINT WHERE

DISH DRAINS, STORMWATER LINES OR AG PIPES ARE TO BE PROVIDED AS REQUIRED OR INDICATED TO FACILITATE DRAINAGE OF WATER AWAY FROM THE BUILDING.

ROOFWATER IS TO RUN OFF TO A STREET CHANNEL OR STORMWATER SEWER WITH PIPES AS SHOWN ON HYDRAULICS PLAN WITH A MINIMUM FALL OF 1:100 AWAY FROM THE BUILDING.

ALL DOWN PIPES ARE TO CONNECT TO STORMWATER LINES.

TEMPORARY DOWN PIPES ARE TO BE PROVIDED AT DOWN PIPE LOCATIONS DURING CONSTRUCTION, TO ALLOW ROOFWATER TO DRAIN ONTO THE GROUND A MINIMUM OF 2m AWAY FROM THE BUILDING

ALL DOWNPIPE LOCATIONS, UNDERGROUND SERVICES AND STORMWATER LINE ETC. ARE TO BE LOCATED PRIOR TO CONSTRUCTION.

ANY SLAB WHICH IS CONSTRUCTED ON EITHER CUT OR FILL, TAPER BATTERS WILL HAVE A MAXIMUM SLOPE OF 1:1 FOR CUT, AND 1:2 FOR FILL.

ALL VEHICULAR ACCESS AND DRIVEWAYS ARE TO HAVE A MAXIMUM SLOPE OF 1:4

ANY FENCES OR RETAINING WALLS ARE TO HAVE A MAXIMUM HEIGHT OF 1800mm WHEN PLACED ON A BOUNDARY LINE UNLESS APPROVED OTHERWISE.

SANITARY DRAINAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL

EXTERNAL GROUND LEVELS ADJACENT TO THE BUILDING SHALL BE IN ACCORDANCE

STAIRS & HANDRAILS

ALL STAIRS AND HANDRAILS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH BCA 3.9.1. AND BCA 3.9.2.

ALL NEW HANDRAILS ARE TO BE CONSTRUCTED WITH A MINIMUM HEIGHT OF 1000MM ABOVE THE FINISHED FLOOR LEVEL

ALL BALUSTRADING IS TO BE CONSTRUCTED WITH MAXIMUM CLEAR SPACINGS OF

ABOVE THE FINISHED TREAD LEVEL WHERE THE FINISHED FLOOR LEVEL IS MORE THAN 4000MM ABOVE THE FINISHED

ALL STAIR HANDRAILS ARE TO BE CONSTRUCTED WITH A MINIMUM HEIGHT OF 865mm

FLOOR LEVEL BELOW, HANDRAILS ARE TO HAVE NO HORIZONTAL MEMBERS BETWEEN

150mm & 750mm Above the finished floor level, that facilitate climbing.

TERMITE PROTECTION

TERMITE PROTECTION IS TO BE PROVIDED BY THE BUILDER AND CARRIED OUT BY AN APPROVED AND LICENSED PEST CONTROL SPECIALIST IN ACCORDANCE WITH

REFER TO BUILDING CONTRACT FOR SELECTED TERMITE PROTECTION TYPES AND SPECIFICATIONS.

OWNER REMAINS RESPONSIBLE FOR ONGOING INSPECTIONS OF STRUCTURAL TIMBER ELEMENTS, AND TO ENSURE THAT BARRIERS ARE NOT COMPROMISED.

WHERE A CONCRETE SLAB FORMS A PROTECTIVE BARRIER, THE SLAB IS TO BE CONSTRUCTED IN ACCORDANCE WITH AS2870.

A MINIMUM 75mm OF EXPOSED SLAB EDGE IS TO REMAIN ABOVE THE FINISHED PERIMETER LEVEL, WITH THE EXPOSED EDGE NOT TO BE COVERED BY SOIL, RENDERED FINISH, OR

PROVIDED BELOW THE DAMP PROOF COURSE AND FIXED TO THE SLAB EDGE. ANT CAPPING'S ARE TO BE INSTALLED TO ALL BRICK PIERS, TIMBER POSTS AND CONCRETE STUMPS.

WHERE BRICKWORK CONCEALS THE SLAB EDGE, A TERMITE BARRIER IS TO BE

ALL TIMBER IN DIRECT CONTACT WITH CONCRETE SLAB IS TO BE SEPARATED BY A GI FLASHING.

TOILET DOORS

ALL TOILETS / SANITARY COMPARTMENTS LOCATED ON THE GROUND FLOOR ARE TO BE READILY OPEN ABLE FROM THE OUTSIDE IN ACCORDANCE WITH BCA 3.8.3.3

ALL STRUCTURAL TIMBER COMPONENTS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH AS1684

UNLESS DETAILED OTHERWISE ALL TIMBER COMPONENTS ARE TO BE FIXED WITH NOMINAL FIXINGS IN ACCORDANCE WITH AS1684

UNLESS DETAILED OTHERWISE ALL TIMBER COMPONENT SIZES ARE TO SIZED IN ACCORDANCE WITH AS1684 ALL EXTERNAL STRUCTURAL TIMBER COMPONENTS ARE TO BE OF CLASS 1 OR 2 AND ARE TO BE

FOR TRUSSES OVER NON LOAD-BEARING WALLS - TOP PLATE OF WALL TO REWAIN 10mm BELOW TRUSS BOTTOM CHORD, TO ENSURE TRUSS CAN FLEX UNDER WIND LOAD. REFER TO TRUSS MANUFACTURERS NOTES FOR DETAILS.

SUSTAINABILITY NOTES

TREATED TO A H3 LEVEL MINIMUM.

*AS EXTRACTED FROM SUSTAINABLE HOUSING CODE-QLD-DRAFT

REQUIREMENTS FOR SUSTAINABLE BUILDINGS FOR NEW CLASS 1 BUILDING AND A SOLE-OCCUPANCY UNIT OF A NEW CLASS 2 BUILDING, AND RENOVATED BATHROOMS IN AN EXISTING CLASS 1 AND A SOLE-OCCUPANCY UNIT OF AN EXISTING CLASS 2 BUILDING.

ACCEPTABLE SOLUTIONS:

SHOWER ROSES:

SHOWER ROSES TO BE AAA RATING WHEN ASSESSED AGAINST AS/NZ 6400:2004 OR A 3 STAR RATING UNDER THE WATER EFFICIENCY LABELLING SCHEME (WELS)

WATER SUPPLY:

IN A SERVICE AREA FOR RETAIL WATER SERVICE UNDER THE WATER ACT 2000, THE WATER SUPPLIED TO A NEW CLASS 1 BUILDING DOES NOT EXCEED PRESSURE LEVELS SET OUT IN AS/NZ 3550.1:2003 AND IF THE MAIN WATER PRESSURE EXCEEDS OR COULD EXCEED 500 KPA, A WATER PRESSURE LIMITING DEVICE IS INSTALLED TO ENSURE THAT THE MAXIMUM OPERATING PRESSURE AT THE OUTLET WITHIN THE BOUNDARIES OF THE PROPERTY DOES NOT EXCEED 500 KPA.

RAINWATER TANKS:

THE TANK CAPACITY TO BE A LEAST 3000 LITRES WHERE USED FOR EXTERNAL USE ONLY, OR 5000 LITRES WHERE USED FOR EXTERNAL AND INTERNAL USE, UNLESS A MINIUM CAPACITY HAS BEEN SPECIFIED BY THE LOCAL COUNCIL THE TANK MUST BE INSTALLED IN SUCH A WAY THAT IT RECEIVES THE RAINFALL FROM A ROOF CATCHMENT OF AT LEAST 50 SQ.M.

THE TANK(S) TO BE PROVIDED WITH MOSQUITO-PROOF SCREENS OF BRASS, OR COPPER, OR ALUMINUM OR STAINLESS STEEL, WITH THE GAUZE NOT COARSER THAN 1MM APERTURE MESH: OR FLAP VALVES AT EVERY OPENING OF THE RAINWATER

IF A TANK IS PROVIDED WITH A MANHOLE, THE MANHOLE MUST HAVE A DIAMETER OF NO MORE THAN 400mm AND A VERMIN TRAP. PROVIDE FOR AN AUTOMATIC OR MANUAL INTERCHANGE DEVICE THAT ALLOWS ALTERNATE USE OF THE WATER FROM THE TANK OR THE RETICULATED WATER SUPPLY MUST BE INSTALLED TO ENSURE THAT THERE IS A CONTINUAL SUPPLY OF WATER FOR SANITY FLUSHING AND LAUNDRY USE. A SUITABLE BACKFLOW DEVICE MUST BE INSTALLED TO PROTECT POTABLE WATER WITHIN THE RETICULATED SUPPLY IN ACCORDANCE WITH AS/NZS

PLUMBING AND DRAINAGE.

POLYETHYLENE TANKS SHALL BE IN ACCORDANCE WITH AS/NZS 4766 (INT):2002 POLYETHYLENE STORAGE TANKS FOR WATER AND CHEMICALS.

GALVANISED STEEL SHEET TANKS SHALL BE IN ACCORDANCE WITH AS1397:2001 STEEL SHEET AND STRIP - HOT-DIPPED ZINC-COATED OR ALUMINIUM/ZINC COATED, AND HAVE A MINIUM COATING OF 550 G/M2.

STAINLESS STEEL TANKS SHALL BE IN ACCORDANCE WITH ASTM A240/240W-05 STANDARD SPECIFICATION FOR CHROMIUM-NICKEL STAINLESS STEEL PLATE, SHEET, AND STRIP FOR PRESSURE VESSELS AND FOR GENERAL APPLICATIONS. CONCRETE TANKS TO BE IN ACCORDANCE WITH AS3735:2001 CONCRETE STRUCTURES CONTAINING LIQUIDS.

RAINWATER TANK STANDS:

THE RAINWATER TANK STAND OR OTHER SUPPORTING STRUCTURE MUST COMPLY WITH AS/NZS1170.1:2002 PERMANENT, IMPOSED AND OTHER ACTIONS AND AS/NZS1170.2:2002 WIND ACTIONS.

VOLUME OF WATER USED IN TOILET:

IN A NEW CLASS 1 BUILDING AND A SOLE-OCCUPANCY UNIT OF A NEW CLASS 2 BUILDING, AND IN A EXISTING CLASS 1 BUILDING OR A SOLE-OCCUPANCY UNIT OF A EXISTING CLASS 2 BUILDING WHERE TOILETS ARE REPLACED, TOILET CISTERNS HAVE DUAL FLUSH CAPABILITY THAT DOES NOT EXCEED 6 LITRES ON FULL FLUSH AND 3 LITRES ON HALF

ENERGY EFFICIENT LIGHTING:

IN A NEW CLASS 1 BUILDING AND A SOLE-OCCUPANCY UNIT OF A NEW CLASS 2 BUILDING BLIOBESCENT LIGHTS OR COMPACT FLUORESCENT LIGHTS (CFLS) ARE LISED IN 40% OF THE TOTAL AREA OF ALL ROOMS. THE TOTAL AREA IS TO INCLUDE THE FLOOR AREA OF THE GARAGE, WHERE THE GARAGE IS ASSOCIATED WITH THE CLASS 1 BUILDING OR SOLE OCCUPANCY

HOT WATER SUPPLY:

IN A NEW CLASS 1 BUILDING, A HOT WATER SUPPLY IS PROVIDED BY: (A) A HEAT PUMP OR A SOLAR HOT WATER SYSTEM THAT IS ELIGIBLE TO RECEIVE: (I) IN A BUILDING WITH 3 OR MORE BEDROOM, AT LEAST 22 RENEWABLE ENERGY CERTIFICATES" OR

(II) IN A BUILDING WITH 1 OR 2 BEDROOMS, AT LEAST 14 RENEWABLE ENERGY CERTIFICATES: OR (B) A GAS HOT WATER SYSTEM WITH A FIVE STAR ENERGY RATING.

WATERPROOFING WATERPROOFING TO WET AREAS TO BE PROVIDED IN ACCORDANCE WITH AS 3740

ALL WATERPROOF MEMBRANES REQUIRED ARE TO COMPLY WITH AS4858

ALL WATERPROOFING SYSTEMS AND THEIR INSTALLATION SHALL RESIST LOADINGS, SHRINKAGE AND EXPANSION, TEMPERATURE VARIATIONS, MOVEMENT TOLERANCE AND EXPOSURE TO CLEANING CHEMICAL SAND ALKALIS FROM CEMENT MORTAR.

ALL SEALANTS SHALL BE WATERPROOF, FLEXIBLE, MOULD RESISTANT AND COMPATIBLE WITH

THE BATIO OF FALLS IN A SHOWER OR BATHROOM FLOOR SHALL BE NO LESS THAN 1:50. AND

MUST NOT CONTAIN ANY SHARP EDGES OR SIGNIFICANT LAPPING IN FLOOR TILING OR SHEETING.

ADJACENT MATERIALS. ALL ADHESIVES USED IN A WATERPROOFING SYSTEM SHALL BE WATERPROOF AND

COMPATIBLE WITH ADJACENT MATERIALS.

B General revision - 29.10.13 shed removed; house repositione A Construction Issue 05.10.13 Revision

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ARCHITECTURE • INTERIORS • ENGINEERING MEDIA • MARKETING • BRANDING • FURNITURE

conjunction with Engineers Drawings

This drawing is to be read in

Construction to comply with all

relevant NCC & standard Bldg By-

Verify all dimensions on site prior to

commencement of any works. These

drawings are not to be used for

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MOBILE

EMAIL

& Reports

scaling

026_hou_pelican

Location 43 Sovereign Circuit PELICAN WATERS

Scale as shown @A2 14/08/13 Drawn By Job No: DT Drawing No.

FOR CONSTRUCTION

Daniel + Rosanna Pappalardo Drawing Title GENERAL NOTES

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