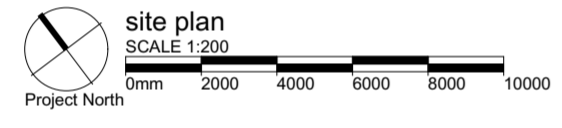
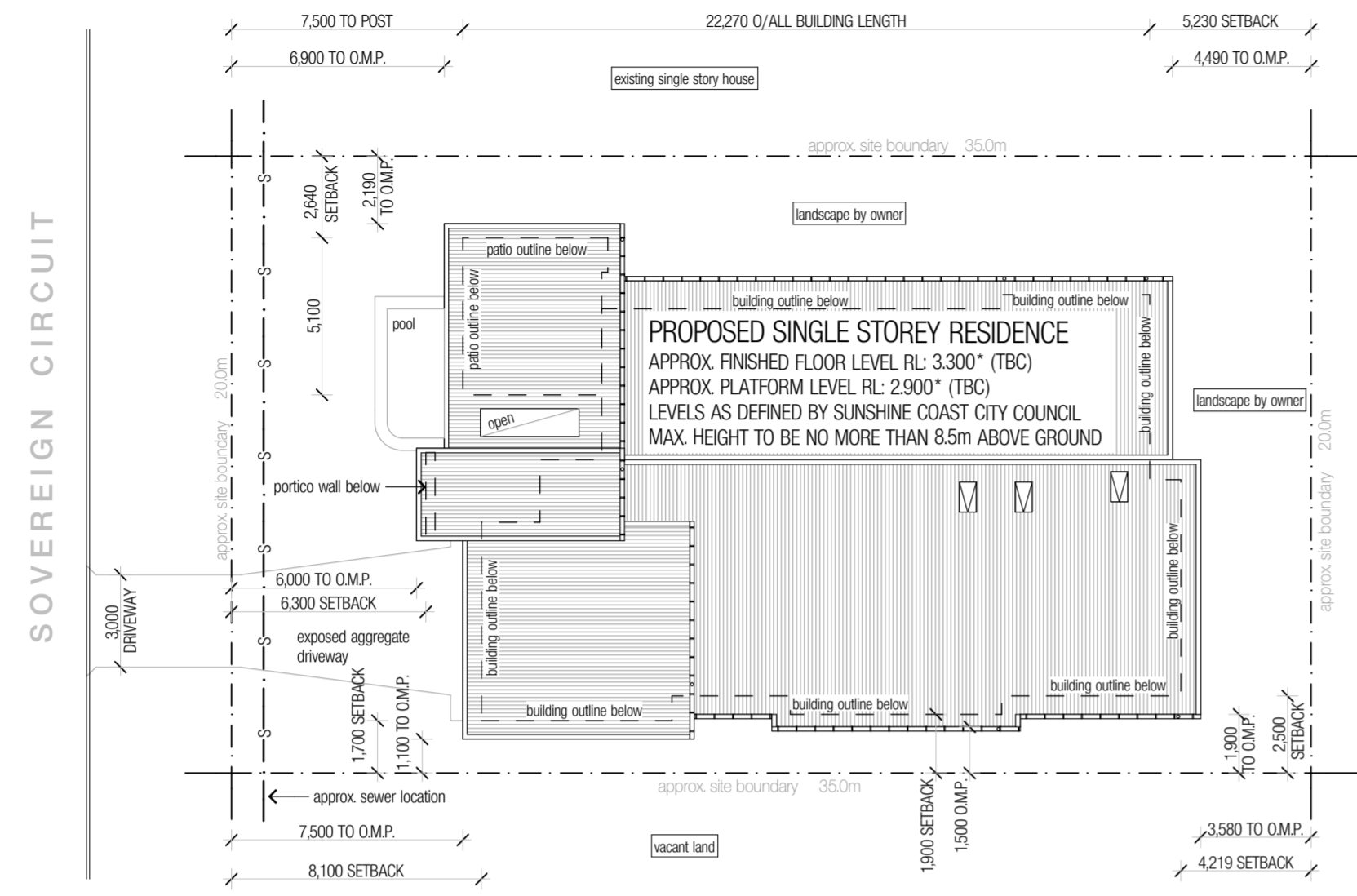


This drawing is to be read in conjunction with Engineers Drawings & Reports

Construction to comply with all relevant NCC & standard Bldg By-laws
 Verify all dimensions on site prior to commencement of any works. These drawings are not to be used for scaling

DRAWING REGISTER

| No. | Name |
|---------|-------------------------|
| WD.101 | SITE COVER PLAN |
| WD.102 | PERSPECTIVES |
| WD.201 | GROUND FLOOR PLAN |
| WD.202 | GROUND FLOOR SLAB PLAN |
| WD.301 | ROOF PLAN |
| WD.401 | ELEVATIONS |
| WD.501 | SECTIONS |
| WD.502 | DETAILS |
| WD.601 | REFLECTED CEILING PLANS |
| WD.701 | ELECTRICAL PLANS |
| WD.801 | GROUND FLOOR BRACING |
| WD.802 | FIRST FLOOR BRACING |
| WD.803 | TIE DOWN |
| WD.804 | TIE DOWN |
| WD.901 | INTERNAL ELEVATIONS |
| WD.902 | INTERNAL ELEVATIONS |
| WD.903 | INTERNAL ELEVATIONS |
| WD.1001 | GENERAL NOTES |



PROPOSED FLOOR AREAS

| | |
|--------------|----------------------------|
| GROUND FLOOR | 229.00m ² |
| GARAGE | 38.39m ² |
| PORTICO | 6.22m ² |
| PATIO | 22.95m ² |
| TOTAL | 296.56m² |

APPROX. PROPOSED SITE COVERAGE

| | |
|------------------------------------|----------------------------|
| APPROX. SITE AREA | 700m ² |
| BUILDING AREA | 296.56m ² |
| SHED AREA | 17.50m ² |
| TOTAL | 314.06m² |
| APPROX. TOTAL SITE COVERAGE | 44.80% |

NOTE:
 RAINWATER AND SURFACE WATER TO DISCHARGE AWAY FROM HOUSE.
 STORMWATER TO DISCHARGE TO STREET.

SITE WORKS

All contours and levels to be provided by a licensed surveyor.
 All survey pegs are to be located before the commencement of any earth works.
 The site is to be prepared in accordance with the engineer's report, if applicable.
 Foundations are to be prepared so that footings are placed on level, undisturbed material.
 The site is to be excavated and/or filled to the levels shown.
 Construction area is to be cleared of all vegetation, topsoil and upper strata containing organic matter.

Ground surface is to be sloped away from the building at a minimum slope of 1:20 for a minimum distance of 900mm, and to a point where ponding will not occur.
 Dish drains, stormwater lines or ag pipes are to be provided as required or indicated to facilitate drainage of water away from the building.
 Roofwater is to run off to a street channel or stormwater sewer with pipes as shown on hydraulics plan with a minimum fall of 1:100 away from the building.

All down pipes are to connect to stormwater lines.
 Temporary down pipes are to be provided at down pipe locations during construction, to allow roof water to drain onto the ground a minimum of 2m away from the building.
 All downpipe locations, underground services and stormwater line etc. are to be located prior to construction.

Any slab which is constructed on either cut or fill, taper batters will have a maximum slope of 1:1 for cut, and 1:2 for fill.
 All vehicular access and driveways are to have a maximum slope of 1:4
 Any fences or retaining walls are to have a maximum height of 1800mm when placed on a boundary line unless approved otherwise.

Sanitary drainage shall be constructed in accordance with the local authority and the hydraulic drawings or plans as provided by them.
 Prior to any excavation or construction on the site, the relevant authority shall be contacted by the builder for the possible location of further underground services.

All works are to comply with the local authorities' erosion and sediment control standards.
 External ground levels adjacent to the building shall be in accordance bca part 3.3.2.3

REAL PROPERTY DESCRIPTION

Lot: 19 SP229841
 Parish: Bribie
 Address: 43 Sovereign Circuit PELICAN WATERS QLD

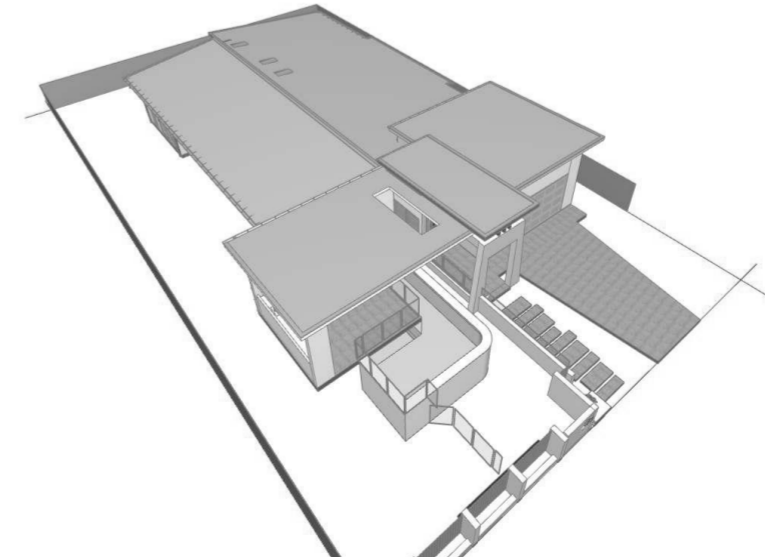
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|----------|----------------------------------|----------|
| B | General revision - | 29.10.13 |
| | shed removed; house repositioned | |
| A | Construction Issue | 05.10.13 |
| Revision | | Date |

Project
 026_hou_pelican

Location
 43 Sovereign Circuit
 PELICAN WATERS
 Client
 Daniel + Rosanna Pappalardo
 Drawing Title
 SITE COVER PLAN

| | |
|--------------|----------|
| Scale | Date |
| as shown @A2 | 14/08/13 |
| Drawn By | Job No: |
| DT | 026 |
| Drawing No. | Revision |

WD.101 B



FOR CONSTRUCTION



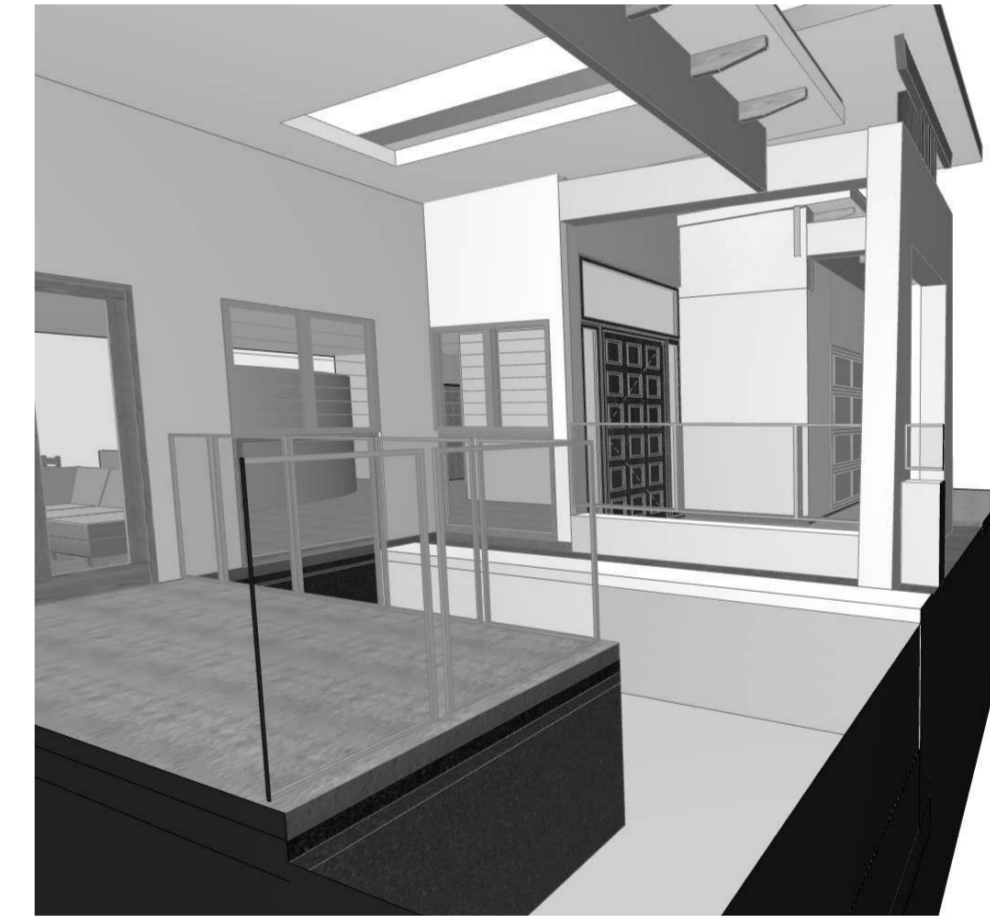
1 view from inside



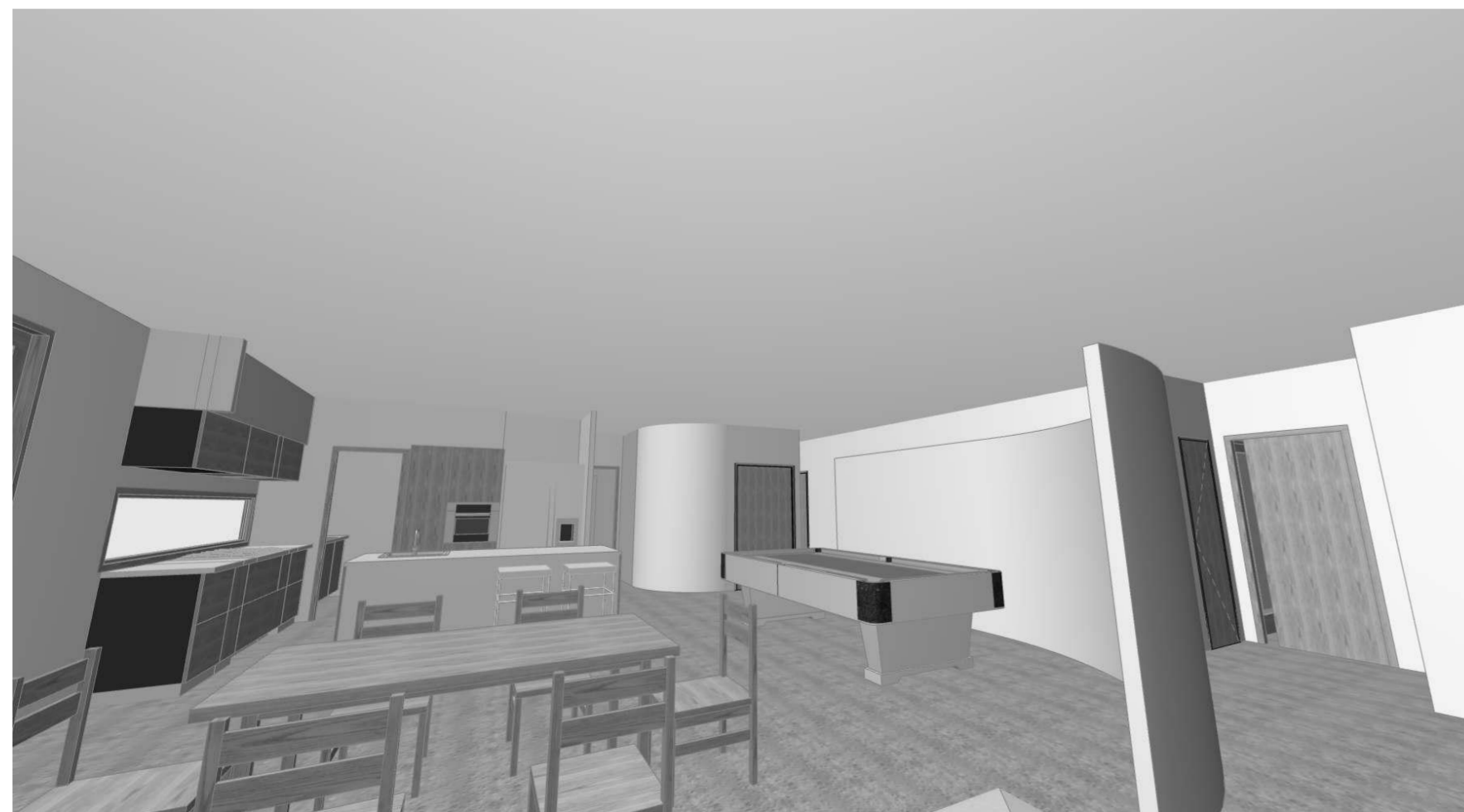
4 front view



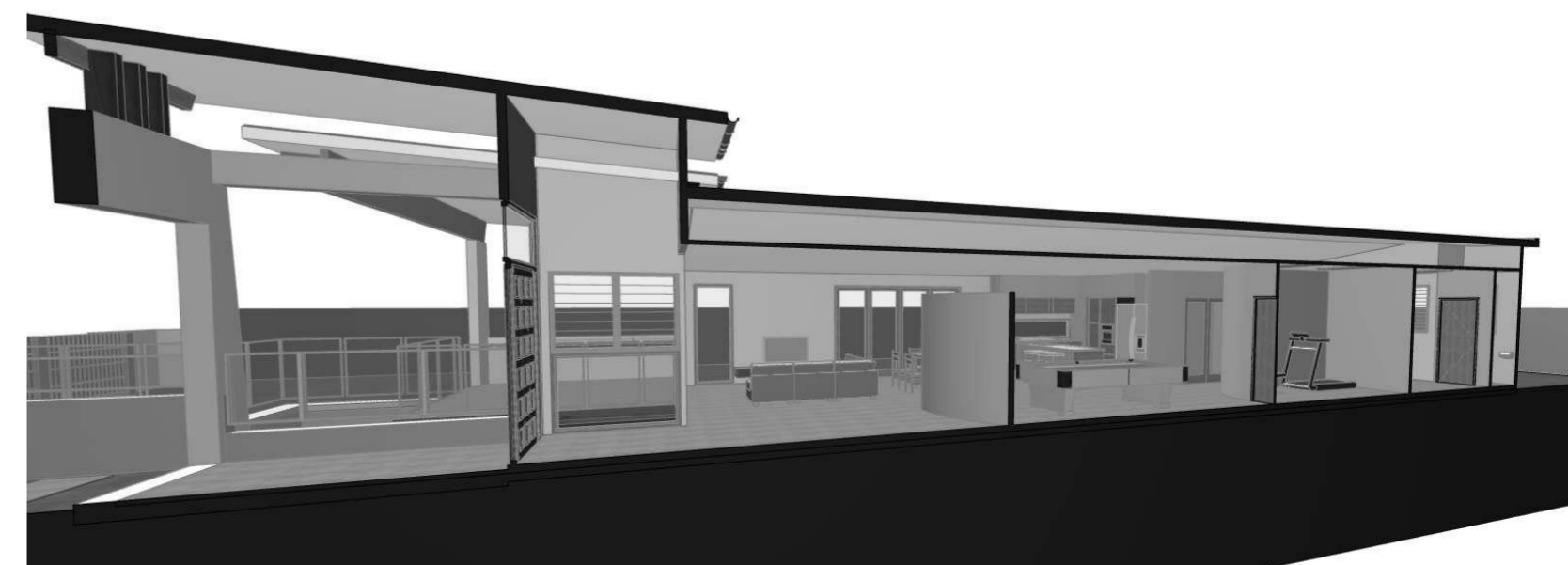
2 perspective - entrance



5 perspective - entrance



3 internal view



6 cutaway section

| | | |
|---|----------------------------------|----------|
| B | General revision - | 29.10.13 |
| | shed removed; house repositioned | |
| A | Construction Issue | 05.10.13 |
| | Revision | Date |

Project
 026_hou_pelican

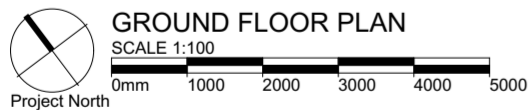
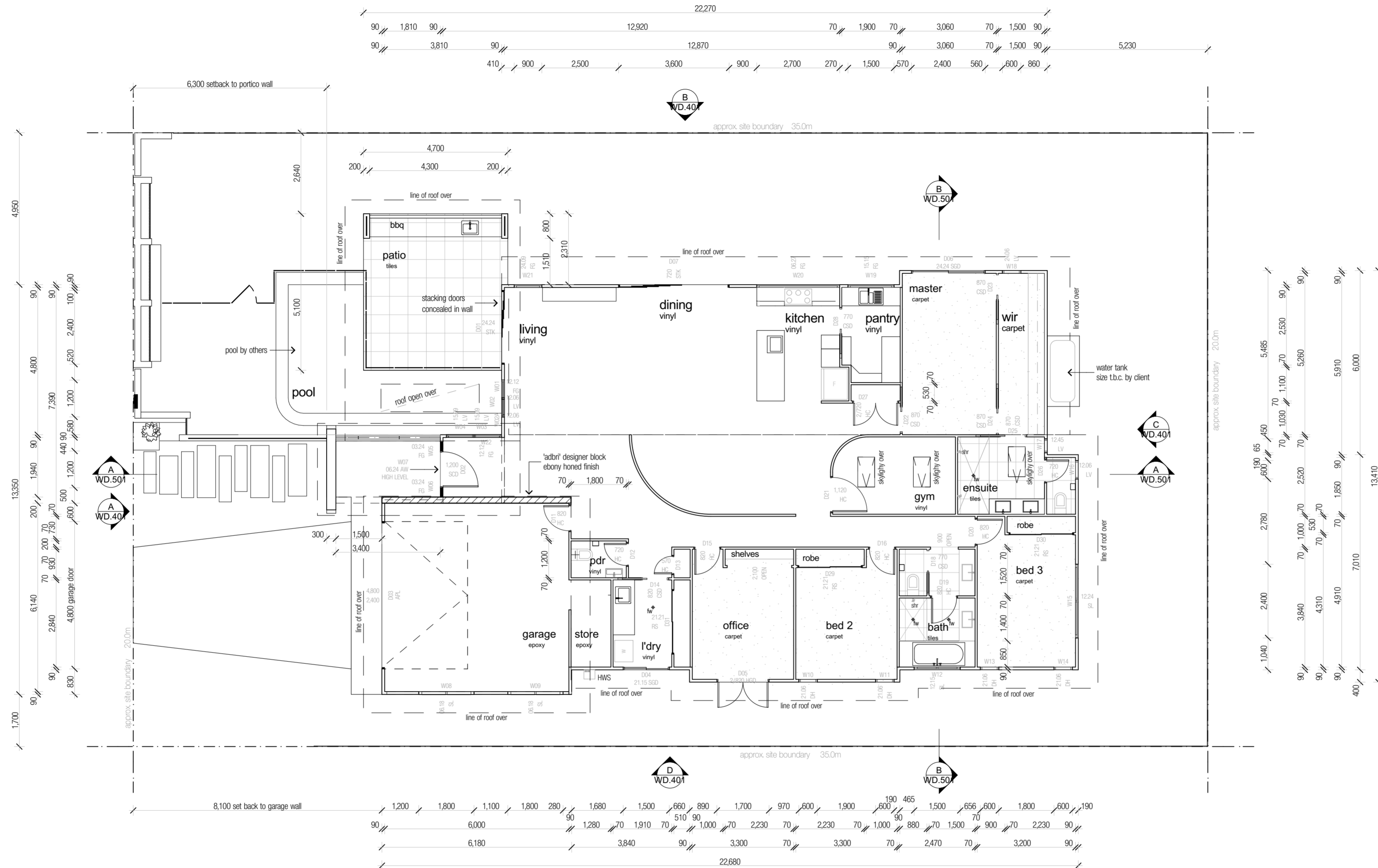
Location
 43 Sovereign Circuit
 PELICAN WATERS

Client
 Daniel + Rosanna Pappalardo

Drawing Title
 PERSPECTIVES

| | |
|--------------|----------|
| Scale | Date |
| as shown @A2 | 14/08/13 |
| Drawn By | Job No: |
| DT | 026 |
| Drawing No. | Revision |
| WD.102 | B |

FOR CONSTRUCTION



WINDOW / DOOR LEGEND

| | |
|-----|------------------------------|
| APL | AUTO PANEL LIFT GARAGE DOOR |
| AW | AWNING WINDOW |
| BFD | BI-FOLD DOOR |
| BPW | BI-FOLD WINDOW |
| CS | CASEMENT WINDOW |
| CSD | CAVITY SLIDING DOOR |
| DH | DOUBLE HUNG WINDOW |
| FG | FIXED GLASS |
| HC | HOLLOW CORE DOOR |
| HGD | HINGED GLASS DOOR |
| HS | HUNG SLIDER |
| LV | LOUVRE WINDOW |
| PVT | PIVOT DOOR |
| RD | ROLLER DOOR |
| RS | ROBE SLIDER |
| SC | SOLID CORE DOOR |
| SGD | SLIDING GLASS DOOR |
| SL | SLIDING WINDOW |
| SLF | SLIDING WINDOW & FIXED GLASS |
| STK | STACKER DOOR |
| VS | VINYL SLIDER |

| | | |
|----------|----------------------------------|----------|
| B | General revision - | 29.10.13 |
| | shed removed; house repositioned | |
| A | Construction Issue | 05.10.13 |
| Revision | | Date |

Project
 026_hou_pelican

Location
 43 Sovereign Circuit
 PELICAN WATERS

Client
 Daniel + Rosanna Pappalardo

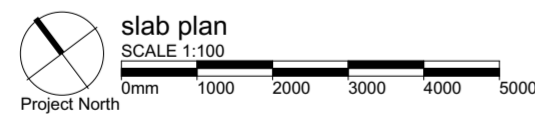
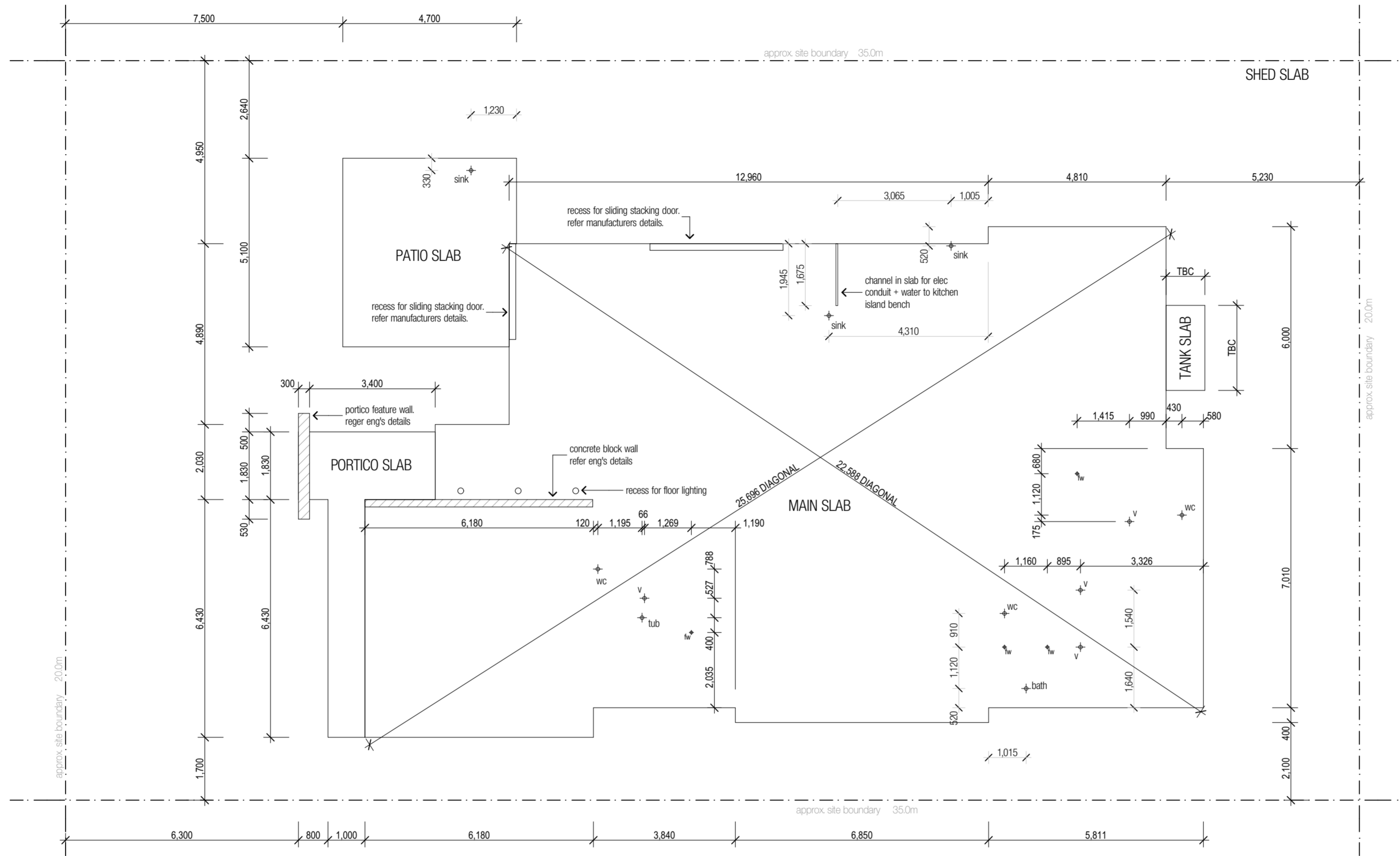
Drawing Title
 GROUND FLOOR PLAN

Scale as shown @A2 Date 14/08/13

Drawn By DT Job No: 026

Drawing No. WD.201 B

FOR CONSTRUCTION



NOTE:
 ALL DIMENSIONS TO BE CONFIRMED PRIOR TO SET OUT OF SLAB ON SITE

| | | |
|---|----------------------------------|----------|
| B | General revision - | 29.10.13 |
| | shed removed; house repositioned | |
| A | Construction Issue | 05.10.13 |
| | Revision | Date |

Project
 026_hou_pelican

Location
 43 Sovereign Circuit
 PELICAN WATERS
 Client
 Daniel + Rosanna Pappalardo
 Drawing Title
 GROUND FLOOR SLAB
 PLAN

Scale as shown @A2
 Date 14/08/13

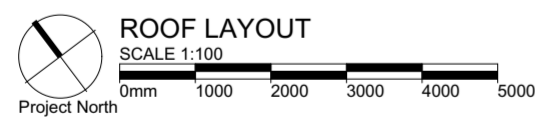
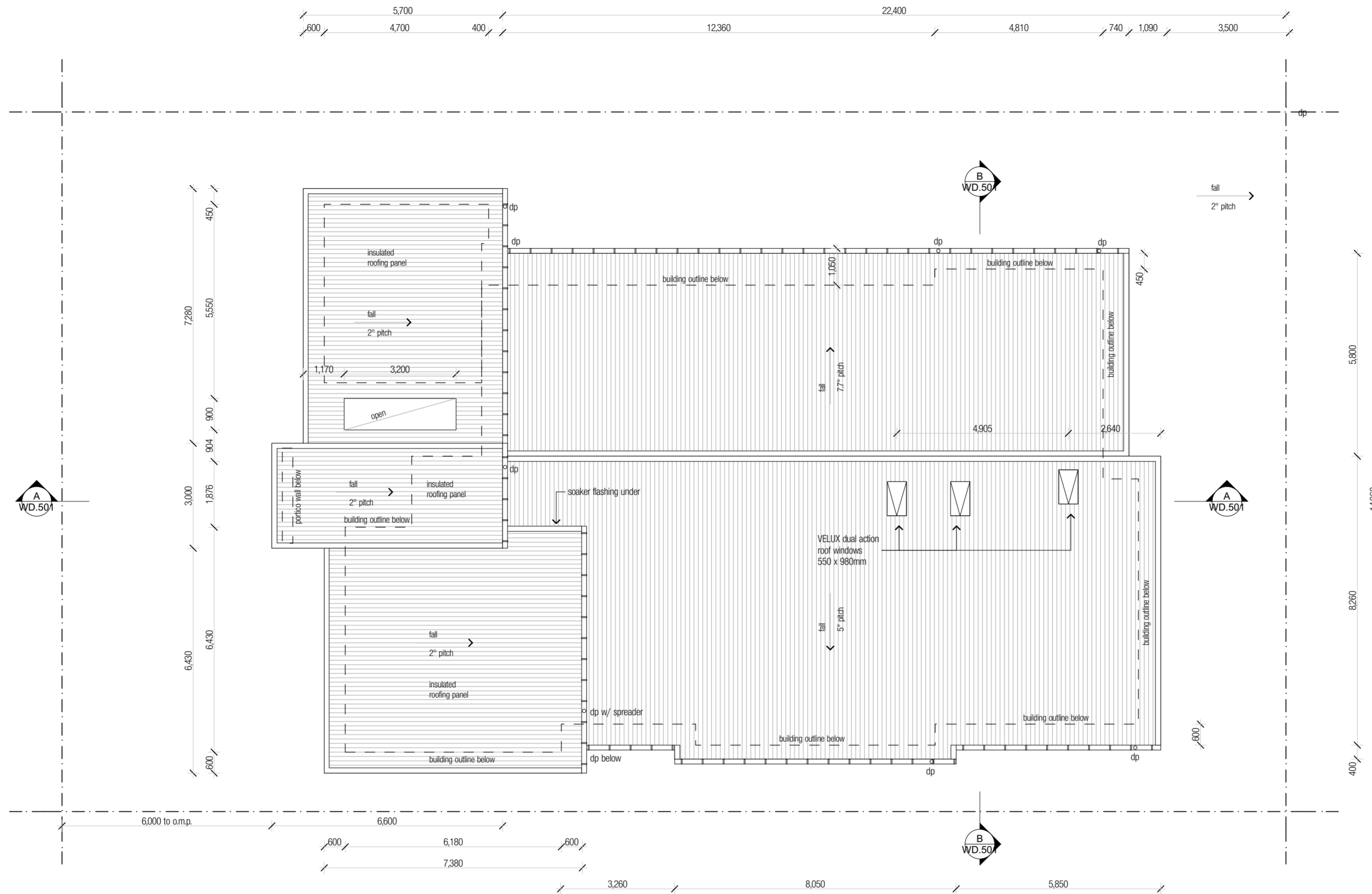
Drawn By DT
 Job No. 026

Drawing No. WD.202
 Revision B

FOR CONSTRUCTION

This drawing is to be read in conjunction with Engineers Drawings & Reports

Construction to comply with all relevant NCC & standard Bldg By-laws
 Verify all dimensions on site prior to commencement of any works. These drawings are not to be used for scaling



| | | |
|----------|---|----------|
| B | General revision - shed removed; house repositioned | 29.10.13 |
| A | Construction Issue | 05.10.13 |
| Revision | | Date |

Project
 026_hou_pelican

Location
 43 Sovereign Circuit
 PELICAN WATERS
 Client
 Daniel + Rosanna Pappalardo
 Drawing Title
 ROOF PLAN

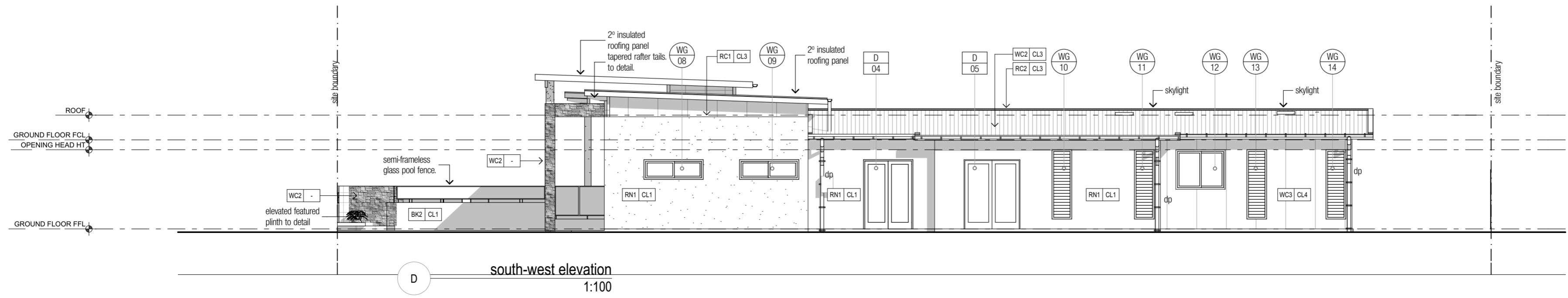
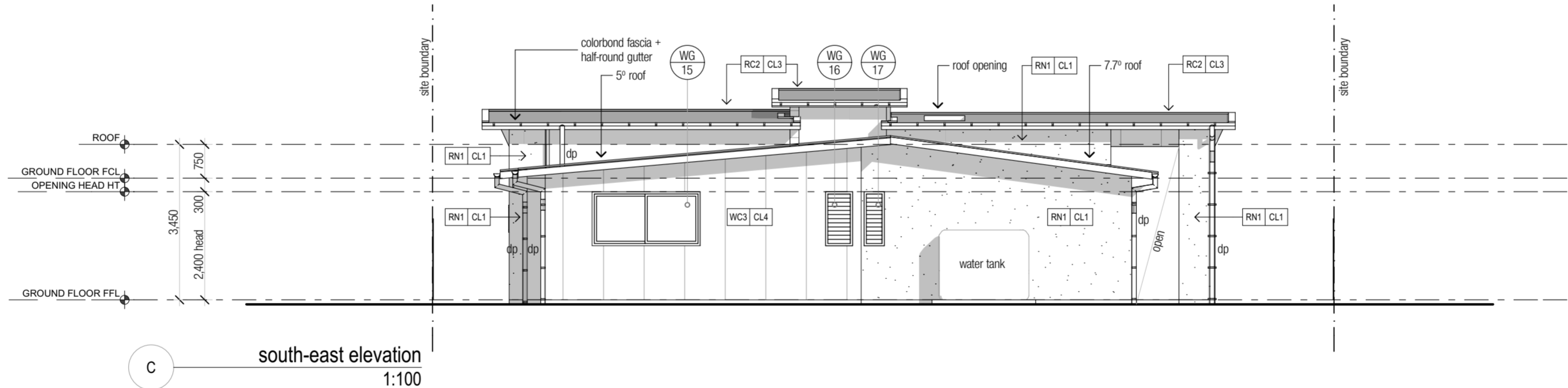
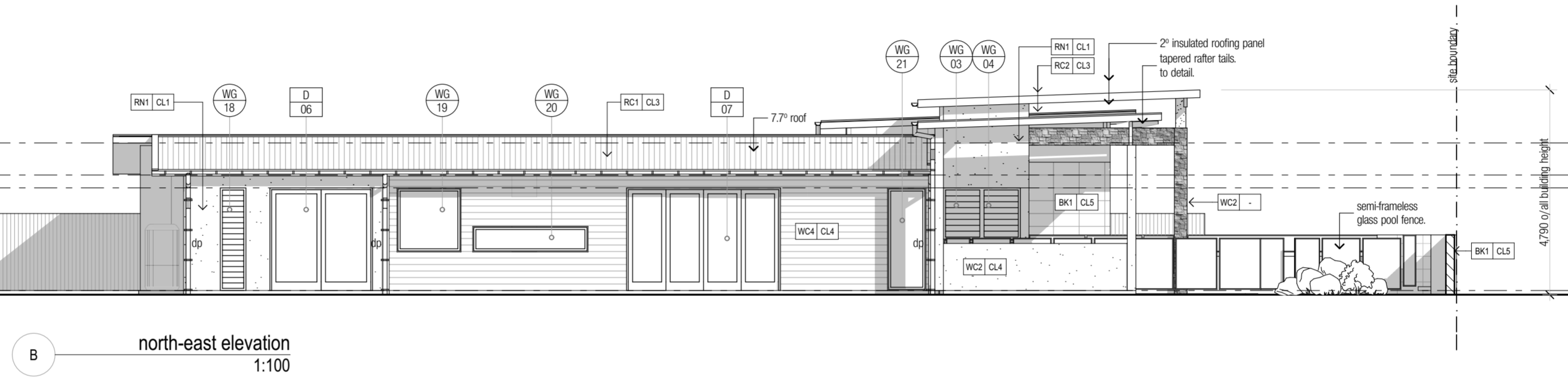
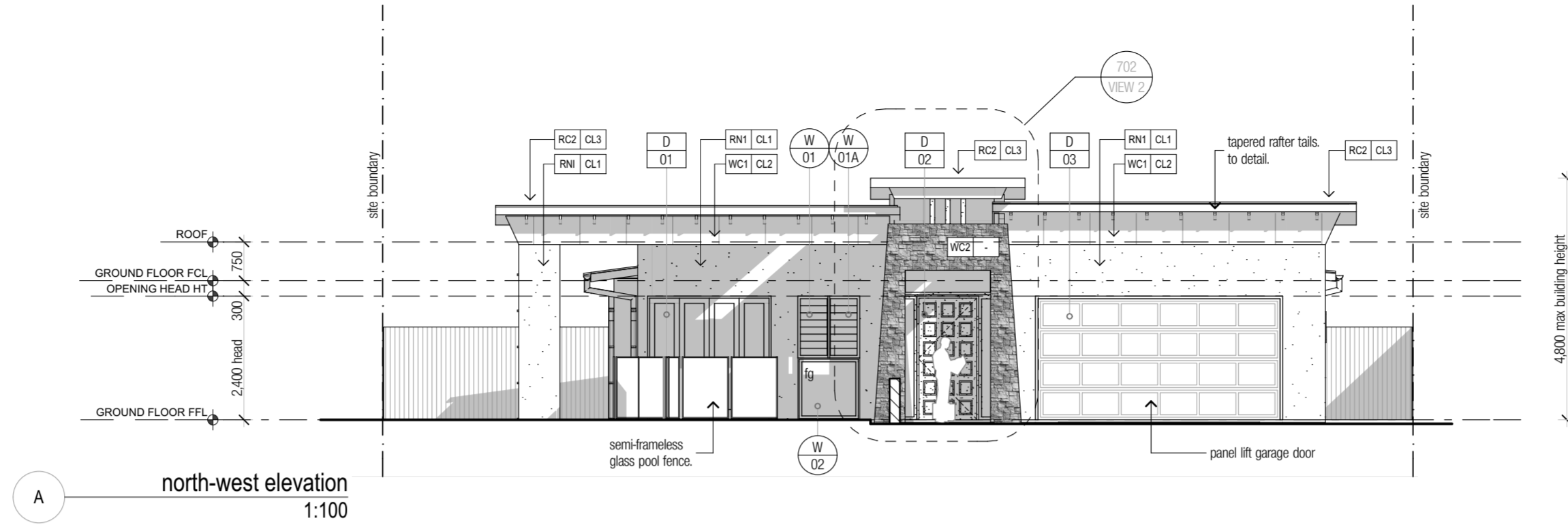
Scale
 as shown @A2
 Date
 14/08/13
 Drawn By
 DT
 Job No.
 026
 Drawing No.
 Revision

FOR CONSTRUCTION

WD.301 B

LEGEND

- BK1 concrete designer block stacked bond - 'adbr' shot blast; 2nd row down honed
- BK2 concrete designer block stacked bond - 'adbr' shot blast
- RC1 metal roof cladding 'colorbond' corrugated profile
- RC2 metal roofing insulated panel 'bondor' or approved equivalent corrugated profile
- RN1 wall cladding 'gunnersens' shadowclad textured natural
- WC1 wall cladding 'gunnersens' shadowclad textured natural stone wall panel 'eco concepts' or equivalent
- WC2 textured stone wall panel 'eco concepts' or equivalent
- WC3 fc sheet with timber battens, painted
- WC4 'soyon' linea weatherboards
- CL1 colour type 1 - warm neutral w/ green undertones (colour selection by client)
- CL2 colour type 2 - clear finish (colour selection by client)
- CL3 colour type 3 - 'colorbond' surfmist or equivalent (colour selection by client)
- CL4 colour type 4 - warm neutral colour (colour selection by client)
- CL5 colour type 5 - ebony



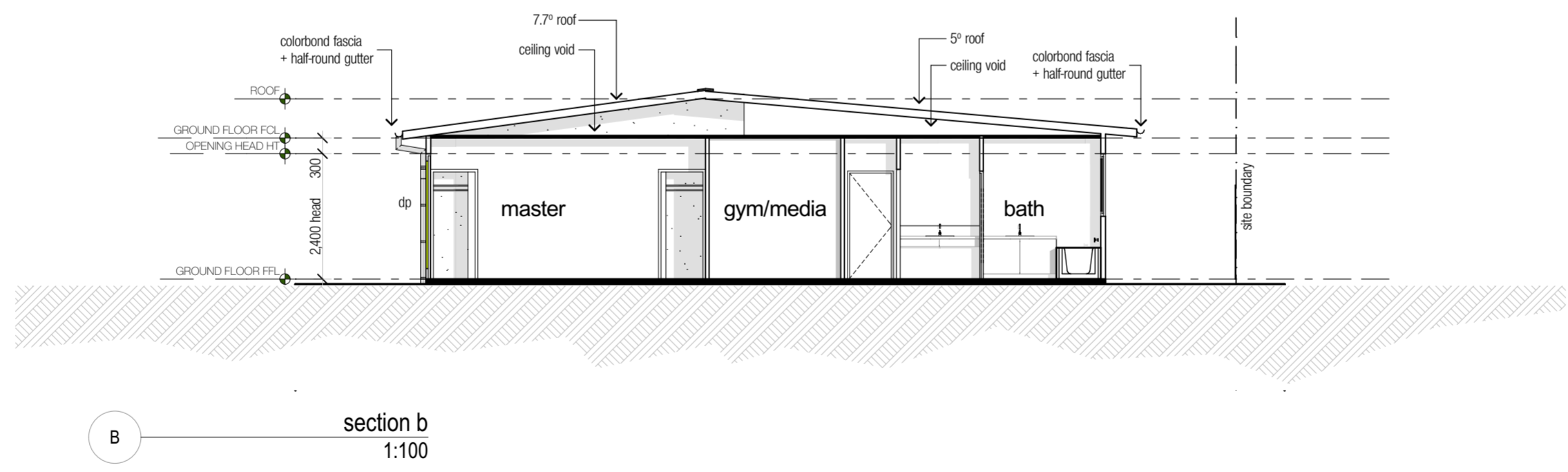
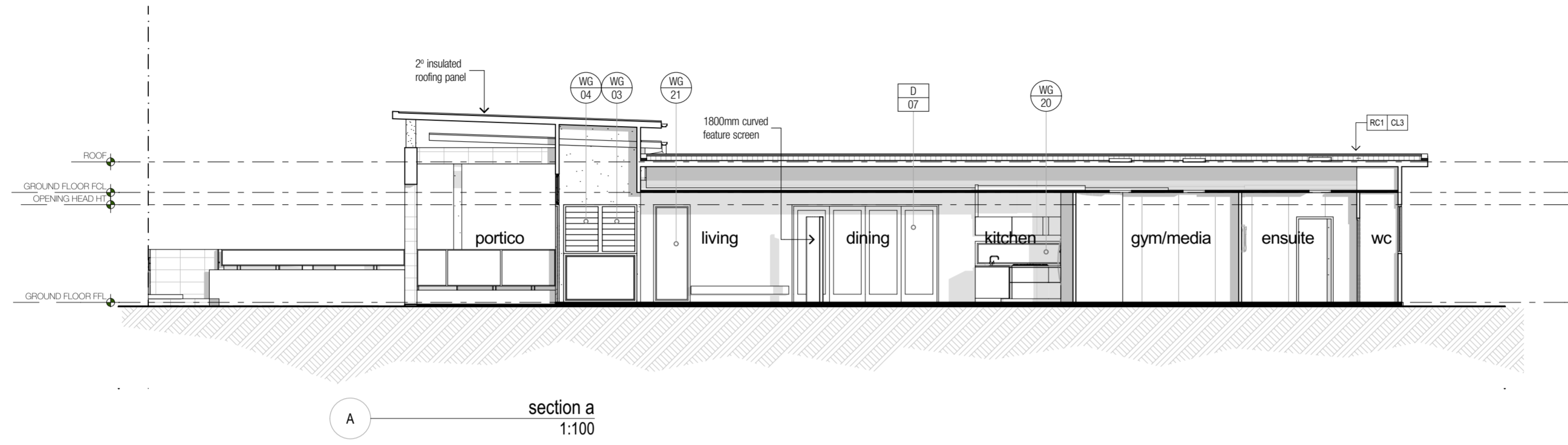
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|---|----------------------------------|----------|
| B | General revision - | 29.10.13 |
| | shed removed; house repositioned | |
| A | Construction Issue | 05.10.13 |
| | Revision | Date |

Project
026_hou_pelican

Location
43 Sovereign Circuit
PELICAN WATERS
Client
Daniel + Rosanna Pappalardo
Drawing Title
ELEVATIONS

Scale as shown @A2
 Date 14/08/13
 Drawn By DT
 Job No: 026
 Drawing No. Revision
 WD.401 B

FOR CONSTRUCTION



| | | |
|---|---|----------|
| B | General revision - shed removed; house repositioned | 29.10.13 |
| A | Construction Issue | 05.10.13 |
| | Revision | Date |

Project
 026_hou_pelican

Location
 43 Sovereign Circuit
 PELICAN WATERS

Client
 Daniel + Rosanna Pappalardo

Drawing Title
 SECTIONS

Scale
 as shown @A2

Date
 14/08/13

Drawn By
 DT

Job No.
 026

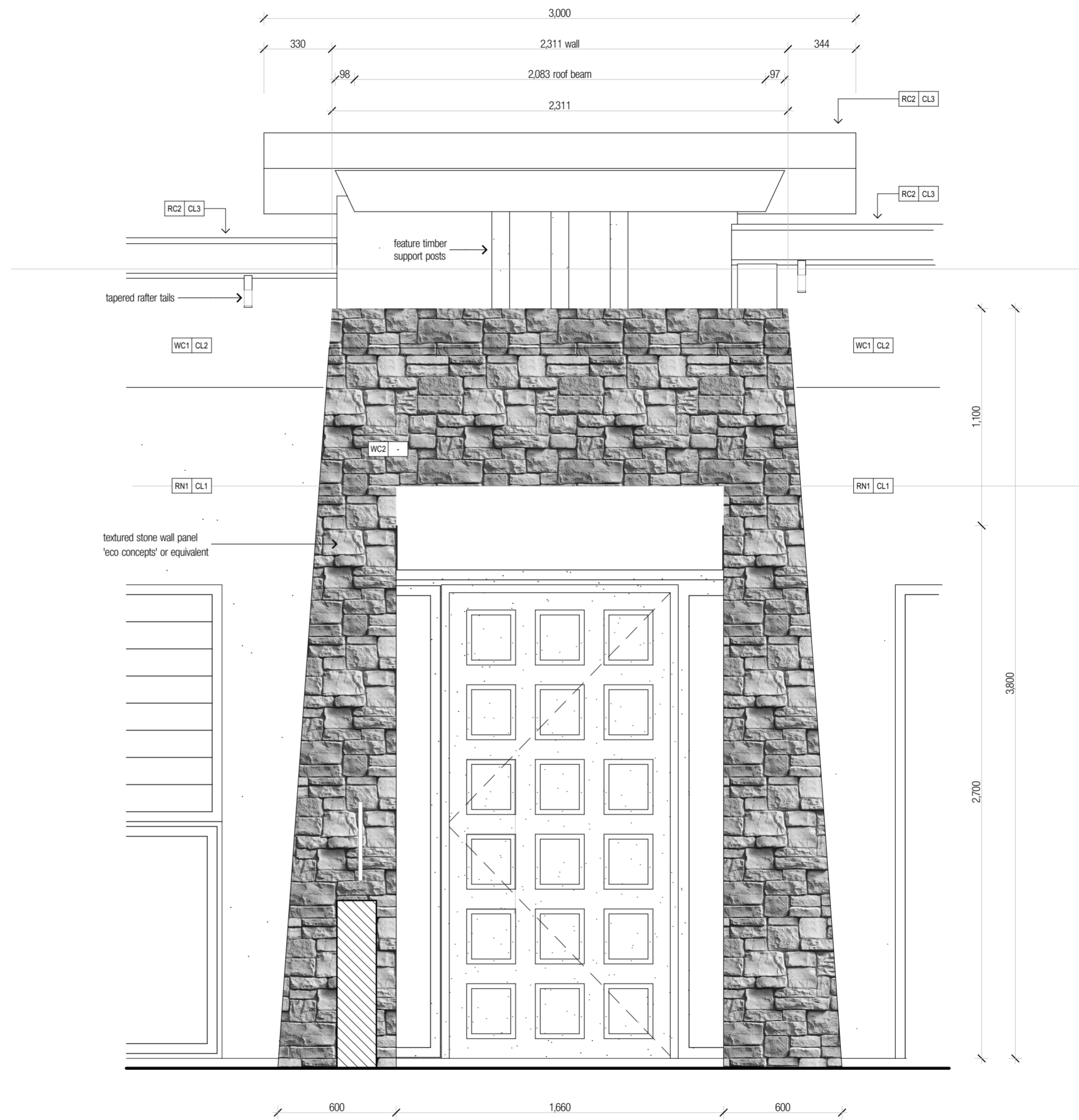
Drawing No.
 WD.501

Revision
 B

FOR CONSTRUCTION

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1 portico wall detail
 1:20

| | | |
|----------|---|----------|
| B | General revision - shed removed; house repositioned | 29.10.13 |
| A | Construction Issue | 05.10.13 |
| Revision | | Date |

Project
 026_hou_pelican

Location
 43 Sovereign Circuit
 PELICAN WATERS

Client
 Daniel + Rosanna Pappalardo

Drawing Title
 DETAILS

Scale
 as shown @A2

Date
 14/08/13

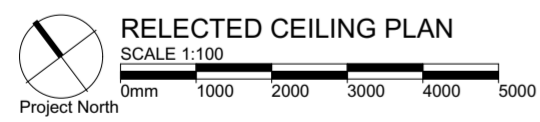
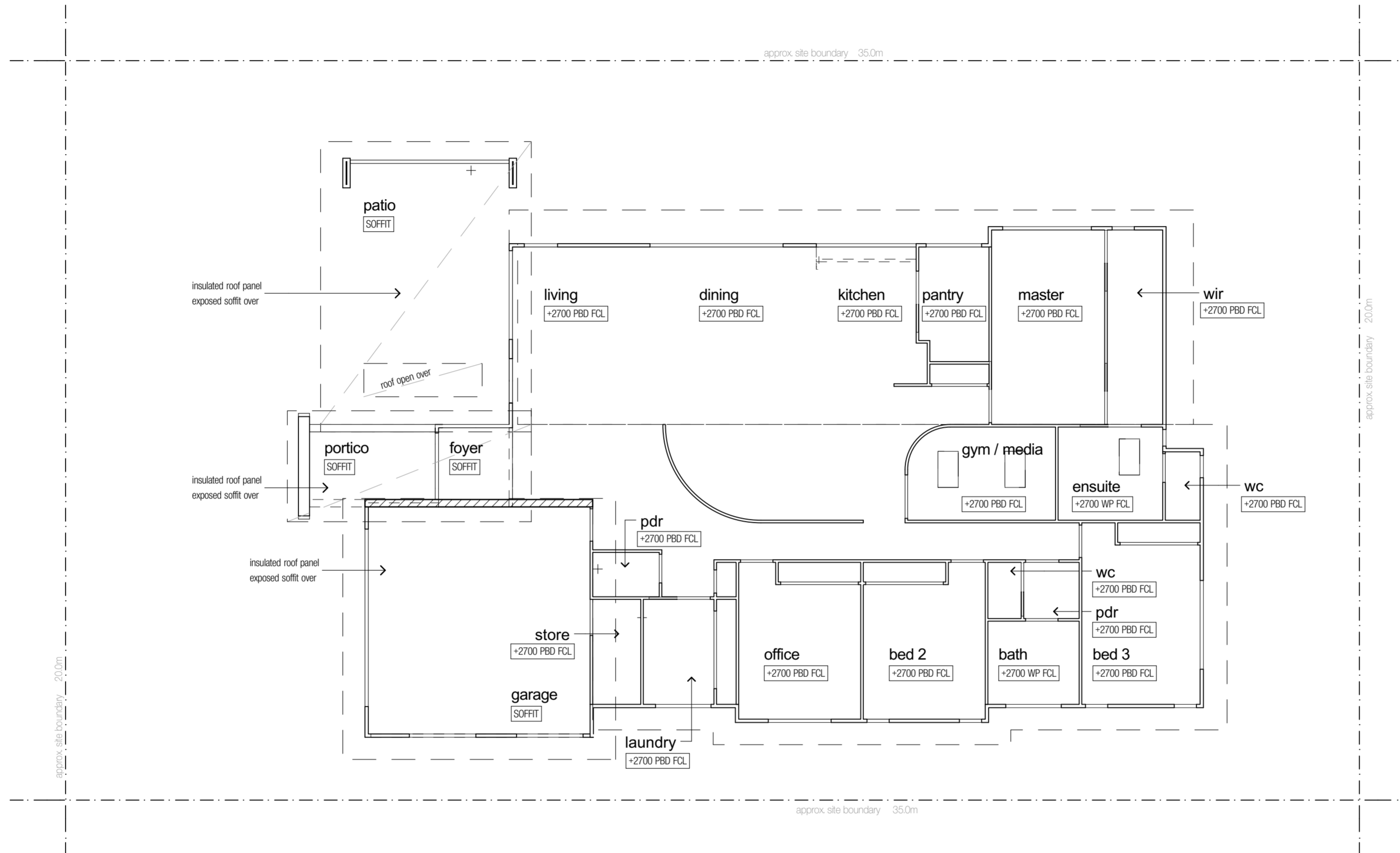
Drawn By
 DT

Job No.
 026

Drawing No.
 WD.502

Revision
 B

FOR CONSTRUCTION



| | | |
|---|----------------------------------|----------|
| B | General revision - | 29.10.13 |
| | shed removed; house repositioned | |
| A | Construction Issue | 05.10.13 |
| | Revision | Date |

Project
 026_hou_pelican

Location
 43 Sovereign Circuit
 PELICAN WATERS
 Client
 Daniel + Rosanna Pappalardo
 Drawing Title
 REFLECTED CEILING
 PLANS

Scale
 as shown @A2

Date
 14/08/13

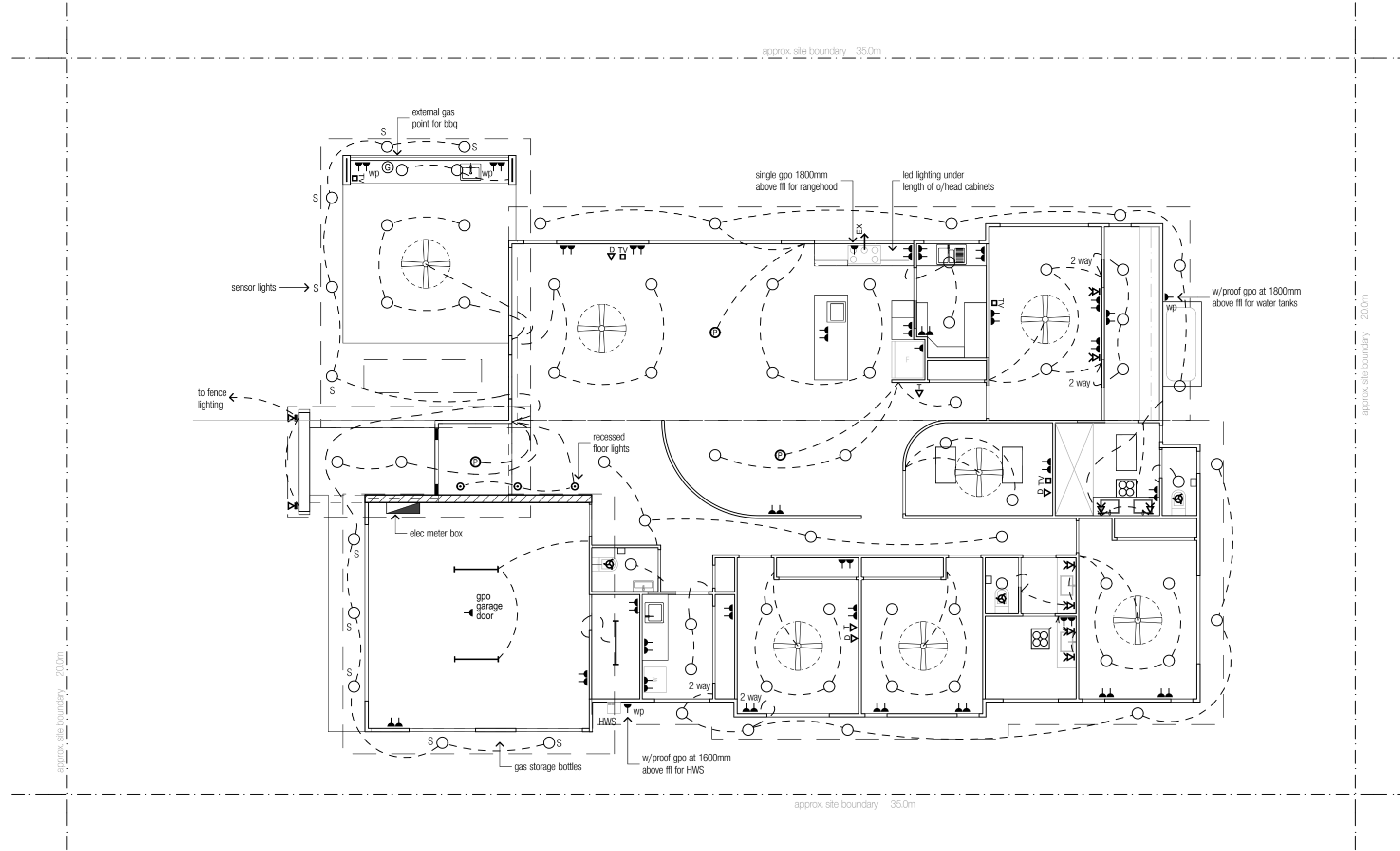
Drawn By
 DT

Job No:
 026

Drawing No.
 WD.601

Revision
 B

FOR CONSTRUCTION



HEIGHTS OF GPO'S

| | |
|--------------------|------------------|
| GENERAL - | 200mm ABOVE FFL |
| KITCHEN - | 1100mm ABOVE FFL |
| FRIDGE LOCATION - | 1100mm ABOVE FFL |
| BATH / ENSUITE - | 1100mm ABOVE FFL |
| LAUNDRY - | 525mm ABOVE FFL |
| EXTERNAL W/PROOF - | 1000mm ABOVE FFL |

HEIGHTS OF LIGHT SWITCHES

| | |
|----------------|------------------|
| LIGHT SWITCH - | 1100mm ABOVE FFL |
|----------------|------------------|

ELECTRICAL NOTES

Note: Electrical contractor to allow for connection of power to A/C plant. For location of plant equipment and power loads, contact A/C contractor.

Note: Electrical sub board to be located in garage.

Note: The location of all fixtures and fittings shown on electrical plan are indicative only, and shall be confirmed on site prior to installation.

Note: Electrical contractor to confirm Electrical load of each appliance and allow for suitable power outlet adjacent.

ELECTRICAL NOTES

Note: Electrical contractor to install 'remote' transformers to 12V lights where required. (Transformer locations to be confirmed on site with building designer.)

Note: Electrical contractor to allow to prepare an 'as built' drawing indicating location of remote transformers in relation to their light fittings. This drawing is to be given to builder for presentation to owner at completion of project.

Note: Electrical contractor to allow for connection of power to A/C plant. For location of plant equipment and power loads, contact A/C contractor. (Quotation forms part of schedules)
 Note: Electrical sub board to be located in garage.

Note: Dimmer switch control required to Dining, Living and Bed 1.

Note: Electrical contractor to allow for connection of power to security system, intercom & smoke detectors. A telephone point will be required adjacent to security panel.

Note: All GPO's to be mounted 300mm above floor unless noted otherwise. All light switches to be mounted 1000mm above floor unless noted otherwise.

Note: The location of all fixtures and fittings shown on electrical plan are indicative only, and shall be confirmed on site prior to installation.

Note: Electrical contractor to confirm Electrical load of each appliance and allow for suitable power outlet adjacent.

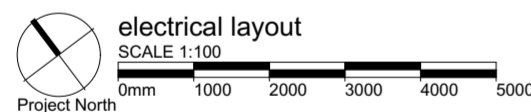
Note: Power to run underground from property boundary to house.

| | | |
|----------|----------------------------------|----------|
| B | General revision - | 29.10.13 |
| | shed removed; house repositioned | |
| A | Construction Issue | 05.10.13 |
| Revision | | Date |

Project
 026_hou_pelican

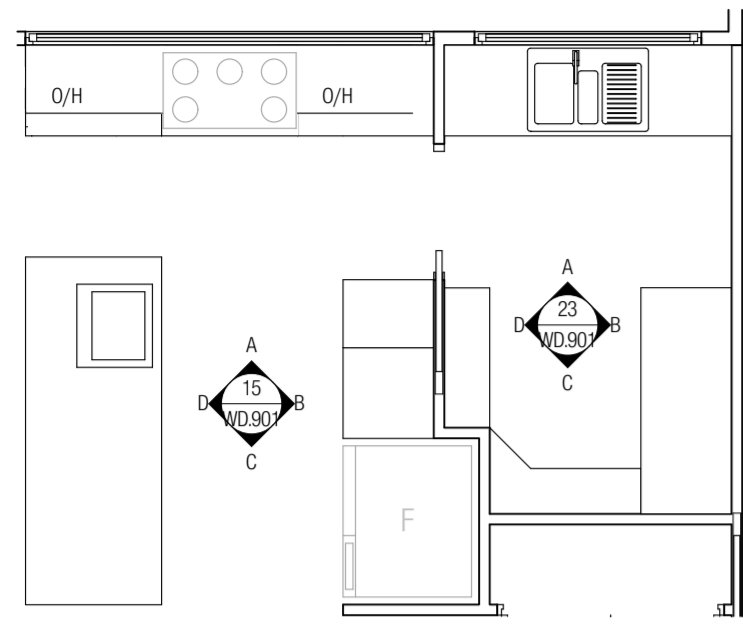
Location
 43 Sovereign Circuit
 PELICAN WATERS
 Client
 Daniel + Rosanna Pappalardo
 Drawing Title
 ELECTRICAL PLANS

| | |
|--------------|----------|
| Scale | Date |
| as shown @A2 | 14/08/13 |
| Drawn By | Job No: |
| DT | 026 |
| Drawing No. | Revision |
| WD.701 | B |

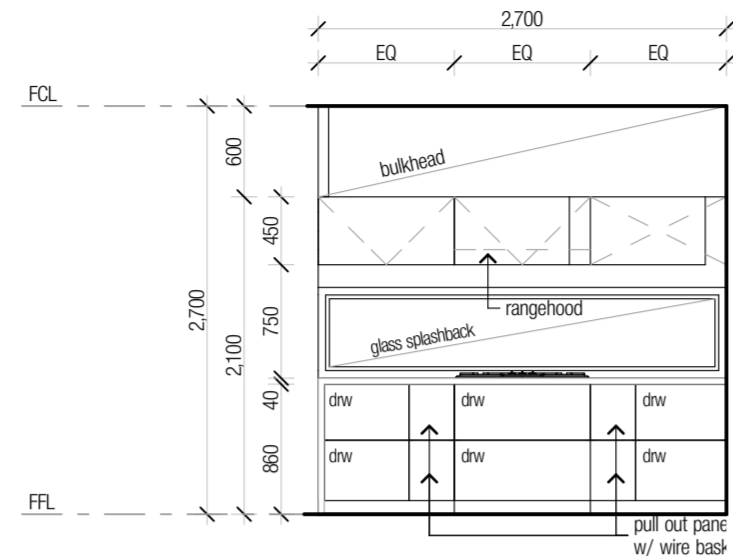


ELECTRICAL LEGEND

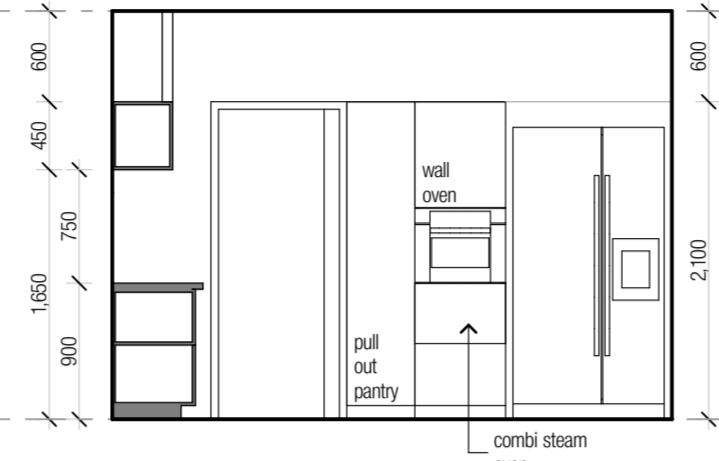
| symbol | item | symbol | item | symbol | item |
|--------|---|-----------------|-----------------------|--------|--|
| ○ | energy efficient downlight | ⊙ | 240V round fluoro | ↻ | exhaust fan (ceiling) |
| ⊕ | batten light | ⊙ | 12V pendant light | →EX | exhaust fan (wall) |
| ⊙ | external gas point for bbq | ⌋ | double gpo | ⊠ | smoke detector |
| ⌋ | 12V internal spot with R.T. | ⌋ | single gpo | ∇ | vacuum point |
| ⌋ | 12V Adj. internal spot 300 arm with R.T. | ⌋ ^B | blind power | ⊠ | security code pad |
| ⌋ | 12V recessed internal wall/stair light | ⌋ ^F | recessed floor gpo | ⊠ | intercom |
| ⌋ | 12V recessed external wall/stair light | ⌋ ^{WP} | waterproof gpo | ⊠ | 12V transformer to be mounted remote fom fitting |
| ⌋ | 13V fluoro shelf light | ⌋ ^V | volume switch | ⊠ | meter box |
| ⌋ | 240V single 600 long fluoro | ⌋ | light switch | ⊠ | stereo (integrated) |
| ⌋ | 240V single 1200 long fluoro | ⌋ ² | 2 way light switch | ⊠ | trip switch |
| ⌋ | 240V double 1200 long fluoro | ⌋ | dimmer light switch | ⊠ | switch plate (as detailed) |
| ⌋ | LED strip lighting | ⊕ | 1200 dia. ceiling fan | | |
| ⌋ | 12V rec underwater light with R.T. | ⊠ | fan control box | | |
| ⌋ | 12V rec floor light | ⊠ | data point | | |
| ⌋ | 12V external spot light with remote transformer | ⌋ ^{TV} | television point | | |
| ⌋ | wedge light | ⌋ ^{TP} | telephone point | | |
| ⌋ | external wall light | ⊠ | junction box | | |
| ⌋ | internal wall light | | | | |



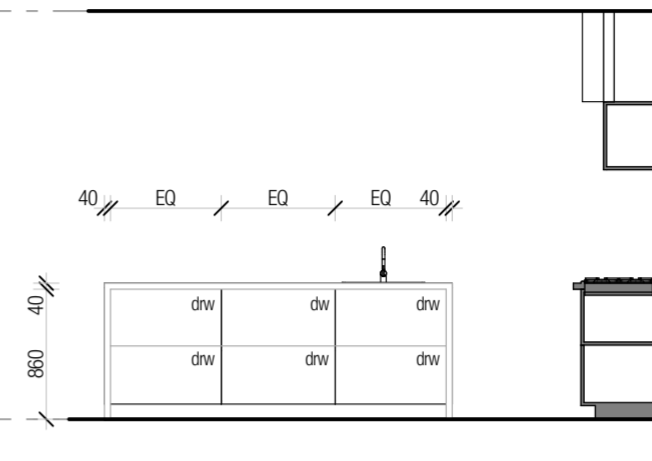
1 kitchen plan 1:50



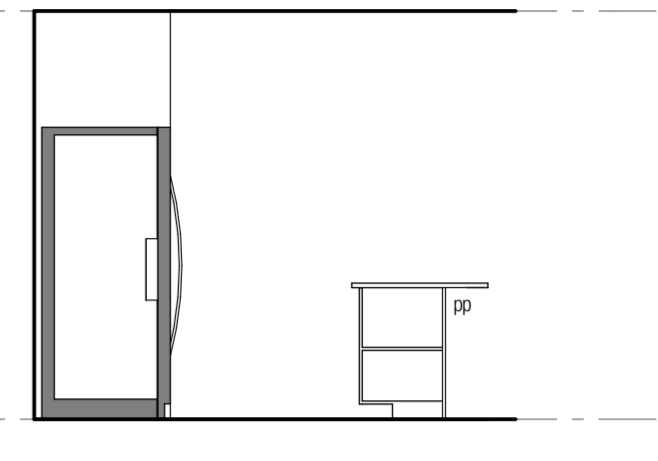
A kitchen elevation 1:50



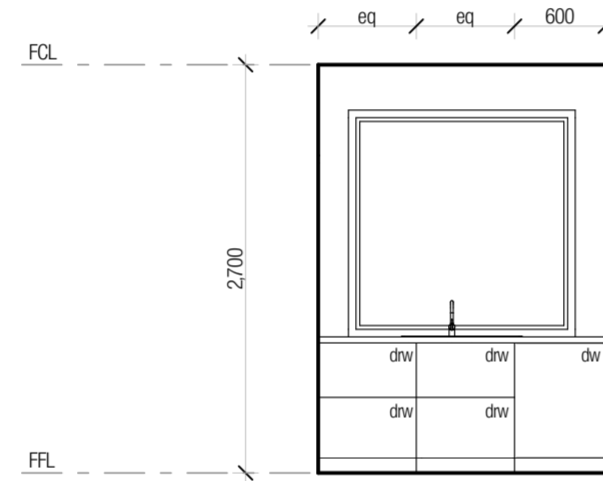
B kitchen elevation 1:50



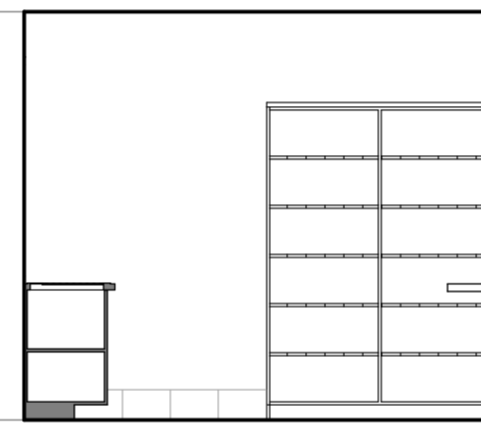
C kitchen elevation 1:50



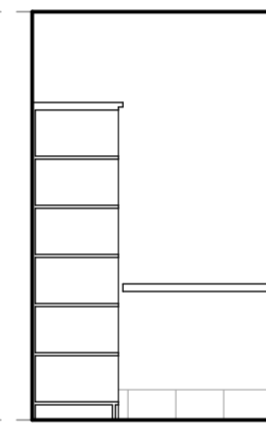
D kitchen elevation 1:50



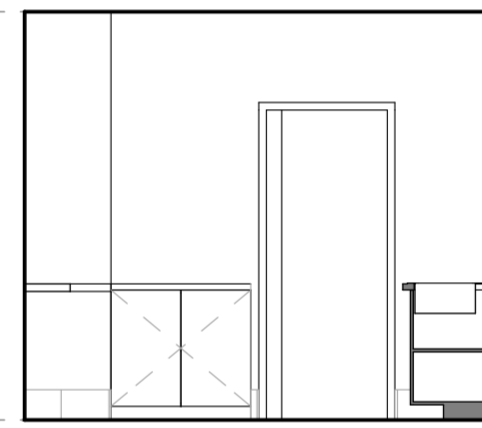
A pantry elevation 1:50



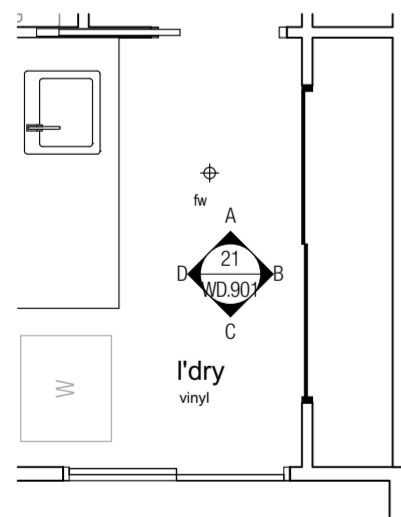
B pantry elevation 1:50



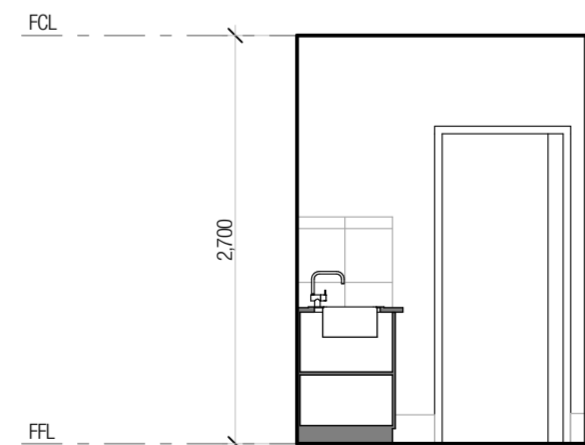
C pantry elevation 1:50



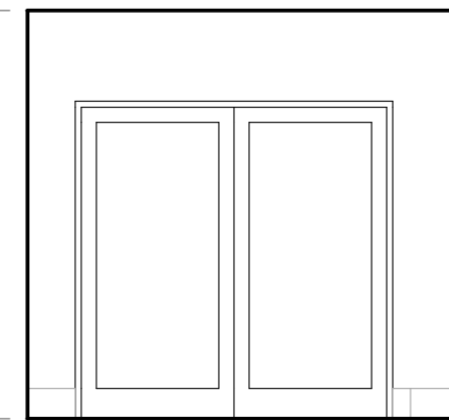
D pantry elevation 1:50



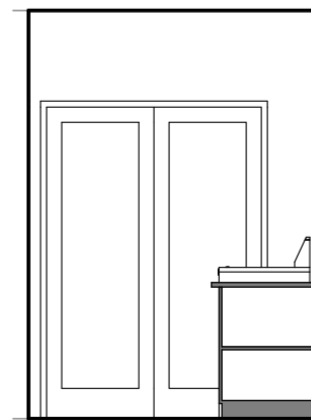
2 laundry plan 1:50



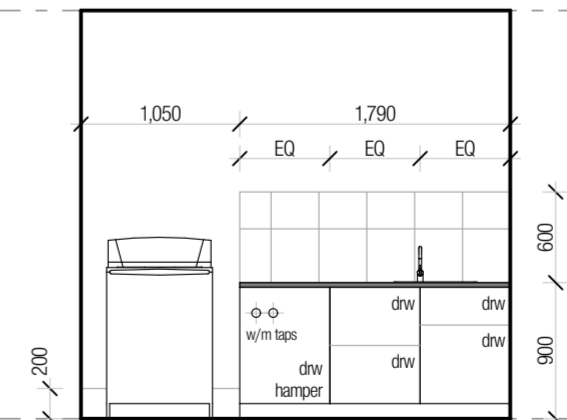
A laundry elevation 1:50



B laundry elevation 1:50



C laundry elevation 1:50



D laundry elevation 1:50

| | | |
|----------|---|----------|
| B | General revision - shed removed; house repositioned | 29.10.13 |
| A | Construction Issue | 05.10.13 |
| Revision | | Date |

Project 026_hou_pelican

Location 43 Sovereign Circuit
 PELICAN WATERS
 Client Daniel + Rosanna Pappalardo
 Drawing Title INTERNAL ELEVATIONS

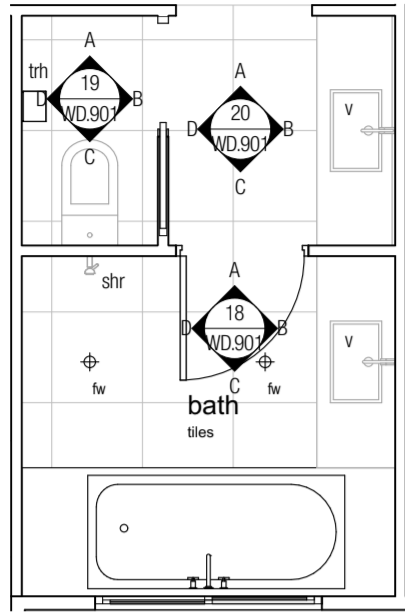
Scale as shown @A2 Date 14/08/13

Drawn By DT Job No: 026

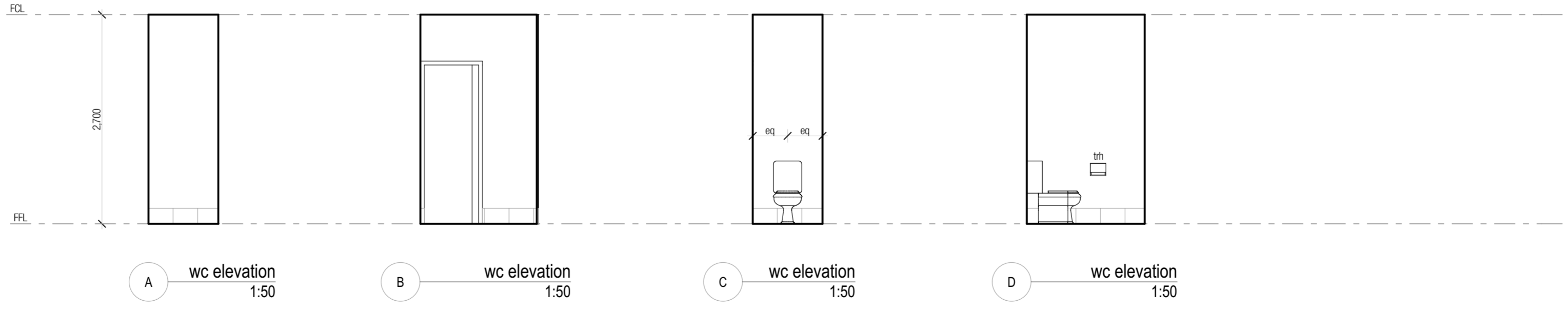
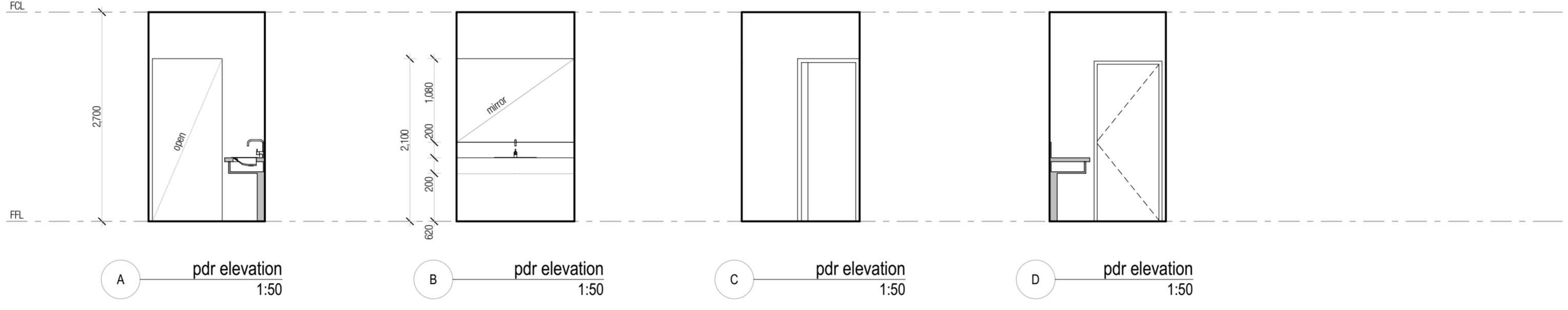
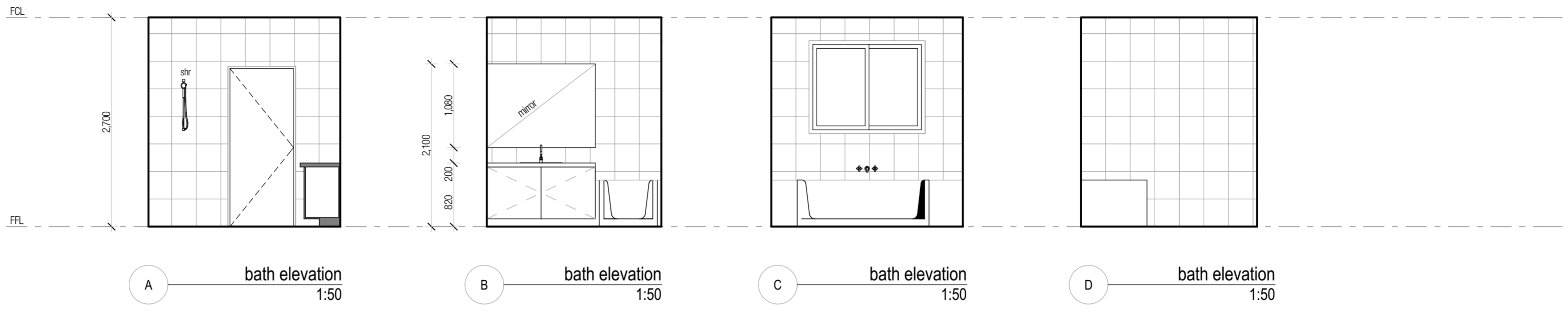
Drawing No. Revision

WD.901 B

FOR CONSTRUCTION



3 bath plan 1:50



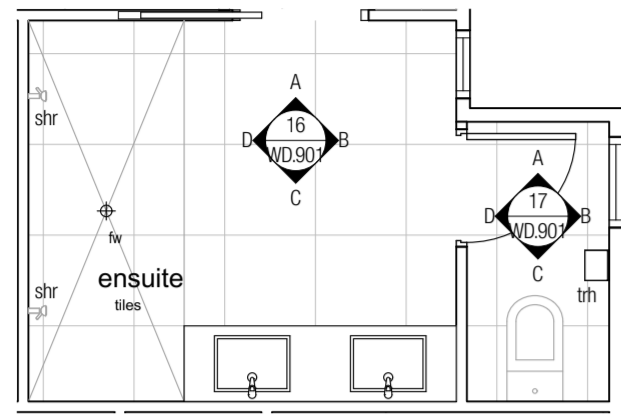
| | | |
|---|----------------------------------|----------|
| B | General revision - | 29.10.13 |
| | shed removed; house repositioned | |
| A | Construction Issue | 05.10.13 |
| | Revision | Date |

Project
 026_hou_pelican

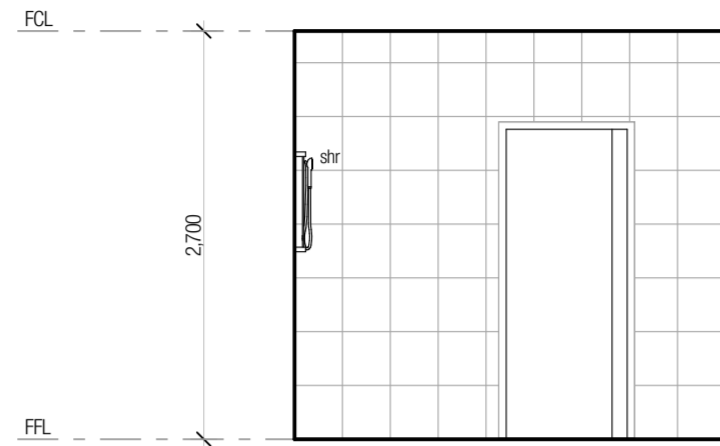
Location
 43 Sovereign Circuit
 PELICAN WATERS
 Client
 Daniel + Rosanna Pappalardo
 Drawing Title
 INTERNAL ELEVATIONS

Scale as shown @A2
 Date 14/08/13
 Drawn By DT
 Job No. 026
 Drawing No. Revision
 WD.902 B

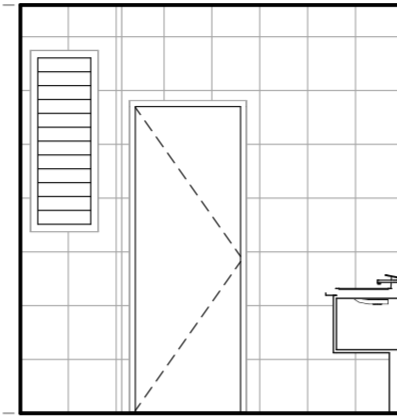
FOR CONSTRUCTION



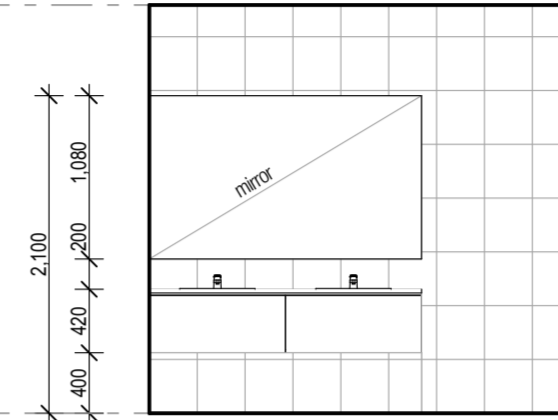
4 ————— ensuite plan
 1:50



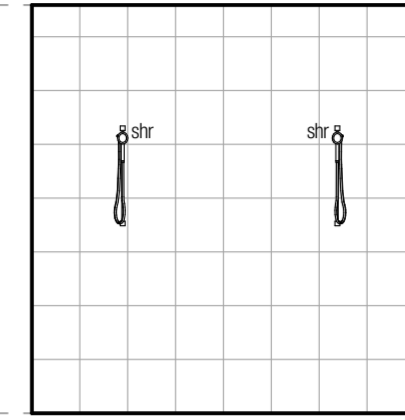
A ————— ensuite elevation
 1:50



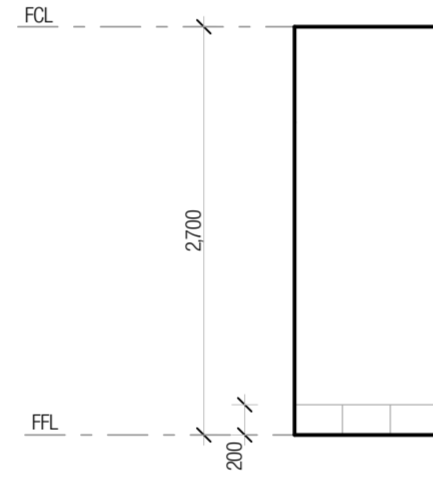
B ————— ensuite elevation
 1:50



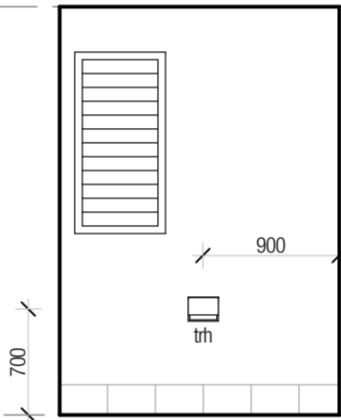
C ————— ensuite elevation
 1:50



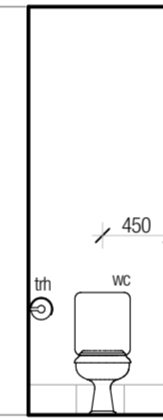
D ————— ensuite elevation
 1:50



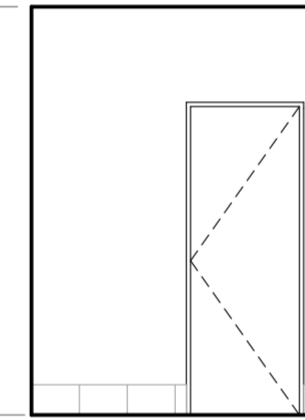
A ————— wc elevation
 1:50



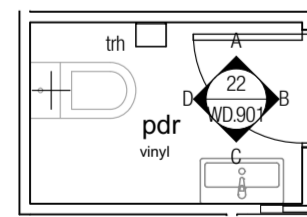
A ————— wc elevation
 1:50



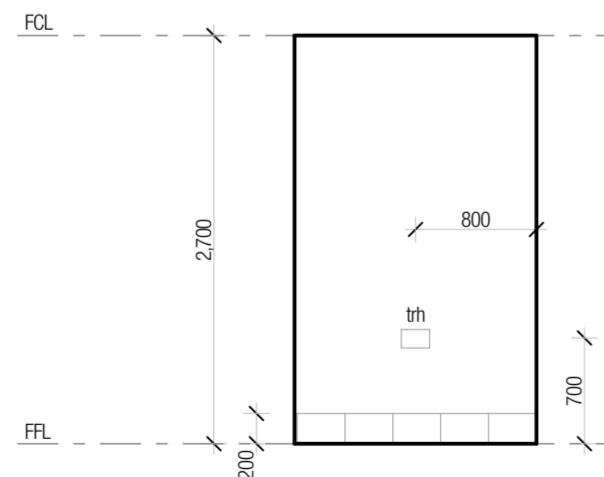
A ————— wc elevation
 1:50



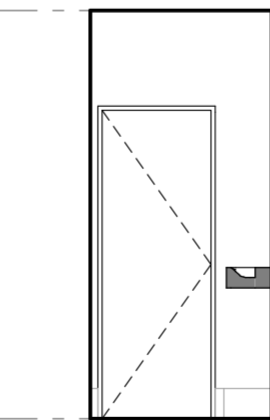
A ————— wc elevation
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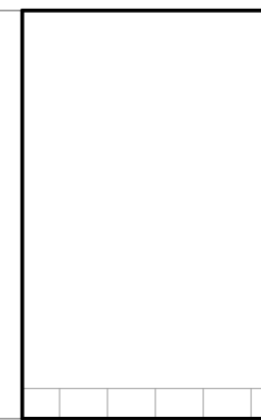
5 ————— powder plan
 1:50



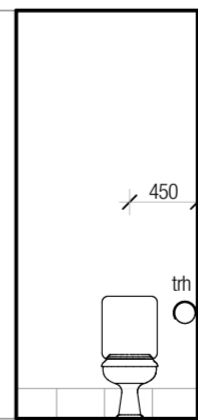
A ————— pdr elevation
 1:50



B ————— pdr elevation
 1:50



C ————— pdr elevation
 1:50



D ————— pdr elevation
 1:50

| | | |
|---|----------------------------------|----------|
| B | General revision - | 29.10.13 |
| | shed removed; house repositioned | |
| A | Construction Issue | 05.10.13 |
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Project
 026_hou_pelican

Location
 43 Sovereign Circuit
 PELICAN WATERS
 Client
 Daniel + Rosanna Pappalardo
 Drawing Title
 INTERNAL ELEVATIONS

Scale as shown @A2
 Date 14/08/13
 Drawn By DT
 Job No: 026
 Drawing No. Revision

FOR CONSTRUCTION

WD.903 B

