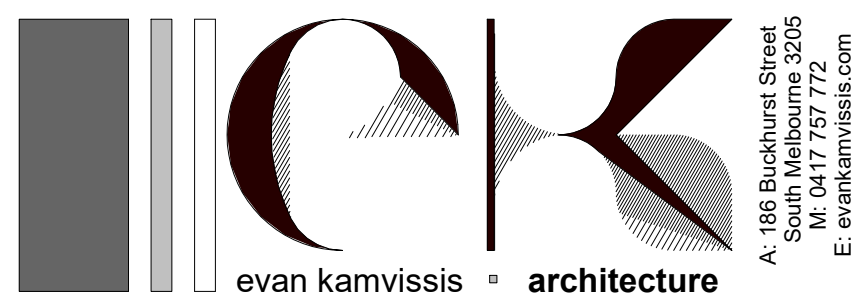


RESIDENTIAL DEVELOPMENT AT
11 STOREY AVENUE, HAMPTON

DRAWING LIST

- A000 COVER SHEET
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- A301 SECTION
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- A400 WINDOW & DOOR SCHEDULE



A: 188 Buckhurst Street
Hampton, NSW 2508
M: 0417 757 772
E: evan@kamvissis.com

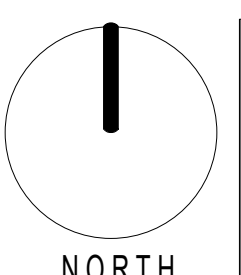
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REV	DATE	DETAILS
*	11/06/2021	ISSUE FOR BUILDING PERMIT

SHEET NAME
COVER SHEET

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT AT 11 STOREY AVENUE, HAMPTON
CLIENT NAME: CORINNA & BOB NEILL

DATE: JULY 2020
SCALE: 1:50 AT A1 / 1:100 AT A3
DWG No.: 2013
SHEET No.: A000 REVISION:



PROJECT DEVELOPMENT DESCRIPTION

- BUILDER SHALL COMPLY WITH LOCAL AUTHORITIES, MUNICIPAL BY-LAWS, BUILDING REGULATIONS AND THE BUILDING CODE OF AUSTRALIA.

TOWN PLANNING: BAYSIDE CITY COUNCIL
APPLICATION NO: N/A

- CLASSIFICATION OF BUILDING: CLASS 1A - SINGLE RESIDENTIAL DWELLING
- STOREYS: TWO (2)
- RISE IN STOREYS: 3.45 (GROUND FLOOR TO FIRST FLOOR)
- EFFECTIVE HEIGHT: 7.0 MAX. FROM NGL
- FIRE SAFETY SYSTEMS-A) INSTALLATION OF A SMOKE ALARM/ DETECTION SYSTEM.
- EGRESS FACILITIES: *
- ALL LEVELS ARE TO REFER TO EXISTING LEVELS ON DWELLING & SITE SURVEY. NOTE LEVELS ARE TO AHD. ALL LEVELS TO BE CONFIRMED ON SITE.

LEVEL LEGEND

- RL : REDUCED LEVEL
- EL : EXISTING LEVEL
- SFL: STRUCTURAL FLOOR LEVEL
- FFL: FINISHED FLOOR LEVEL
- FLOOD LEVEL: BUILDING HAS BEEN IDENTIFIED AS NOT BEING IN A FLOOD PRONE AREA.
- LEGAL POINT OF DISCHARGE- REFER TO INFORMATION FROM LOCAL COUNCIL FOR DISCHARGE POINT & CIVIL ENGINEER DOCS.

A THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS & DRAWINGS. DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY.

B THE OWNER AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS & SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS & SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA WITH ITS RELEVANT REFERENCED AND CORRESPONDING AUSTRALIAN STANDARDS (CURRENT EDITIONS), STATE BASED BUILDING REGULATIONS, LOCAL PLANNING REQUIREMENTS AND BY-LAWS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.

C THIS DOCUMENTATION HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CHATHAM HOMES. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT 'EVAN KAMVISSIS ARCHITECTURE' WRITTEN CONSENT DOES SO AT THEIR OWN RISK & NO RESPONSIBILITY IS ACCEPTED BY CHATHAM FOR SUCH USE AND/OR RELIANCE. THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS & UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES.

D ALL WALL AND CEILING DIMENSIONS ARE STRUCTURAL SIZES ONLY. DIMENSIONS ARE NOMINAL UNLESS OTHERWISE STATED. DIMENSIONS DO NOT INCLUDE FLOOR, CLADDING, LININGS OR FINISHES. INTERNAL SIZES WILL VARY WHEN FINISH MATERIALS ARE TAKEN INTO ACCOUNT.

E TIMBER CONSTRUCTION IS TO CONFORM TO THE REQUIREMENTS OF AS1684 & AS1720. ALL TIMBER SPECIFIED ON THE DRAWINGS IS TO HAVE FOLLOWING MINIMUM STRESS GRADES UNLESS OTHERWISE NOTED:-

UNSEASONED HARDWOOD.....	F8
SEASONED OR KILN DRIED HARDWOOD.....	F17
LAMINATED PINE.....	F8
RADIATA PINE.....	F5
DOUGLAS FIR.....	F7
MACHINE GRADED PINE.....	MGP10
MACHINE GRADED PINE.....	MGP12

F EXHAUST SYSTEM TO DISCHARGE INTO ROOF SPACE WHERE NOT ABLE TO DISCHARGE TO OUTDOOR AIR. IF DISCHARGE IS TO ROOF SPACE, VENTILATION IN THE ROOF SPACE TO COMPLY WITH NCC 2019 VOL.2 CLAUSE 3.8.7.4.

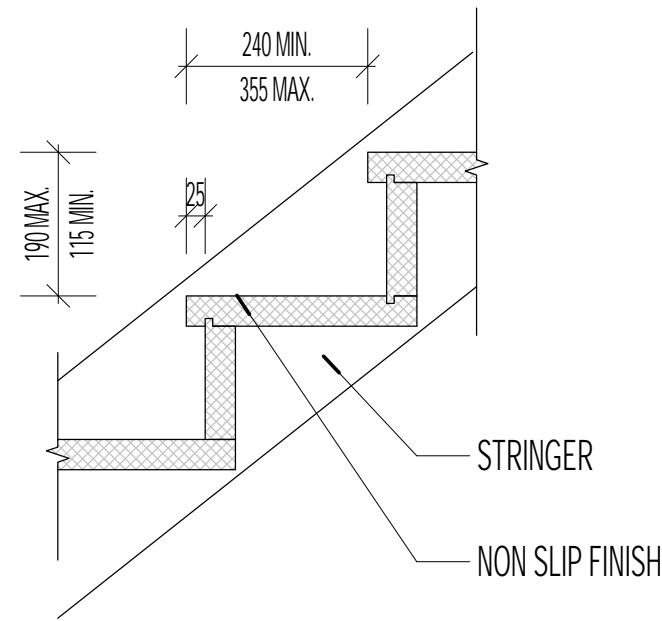
G ALL WORKS SHALL COMPLY WITH BUT NOT BE LIMITED TO THE FOLLOWING AUSTRALIAN AND NEW ZEALAND STANDARDS AS REFERENCED IN THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA AND/OR THE NEW ZEALAND BUILDING CODE AS APPLICABLE:-

- AUSTRALIA**
- AS 1056-1991 STORAGE WATER HEATERS
 - AS 1273-1991 UNPLASTICIZED UPVC DOWNPIPE AND FITTINGS FOR RAINWATER
 - AS 1288-2006 GLASS IN BUILDINGS - SELECTION & INSTALLATION
 - AS 1289-1997 METHODS OF TESTING SOILS FOR ENGINEERING PURPOSES
 - AS 1397-2011 CONTINUOUS HOT DIP METALLIC COATED SHEET STEEL AND STRIP.
 - AS 1657-1992 FIXED PLATFORMS, WALKWAYS, STAIRWAYS AND LADDER
 - AS 1668-2009 MECHANICAL VENTILATION & AIR-CON IN BUILDINGS
 - AS 1684-2010 NATIONAL TIMBER FRAMING CODE
 - AS 1720-2010 TIMBER STRUCTURES
 - AS 1926-2012 SWIMMING POOL SAFETY
 - AS 2047-1999 WINDOWS IN BUILDINGS-SELECTION & INSTALLATION
 - AS 2049-2002 ROOF TILES
 - AS 2050-2002 INSTALLATION OF ROOFING TILES
 - AS 2159-2009 PILING - DESIGN AND INSTALLATION
 - AS 2327-2003 COMPOSITE STRUCTURES
 - AS 2870-2011 RESIDENTIAL SLABS & FOOTINGS - CONSTRUCTION
 - AS 3600-2009 CONCRETE STRUCTURES
 - AS 3660-2000 PROTECTION OF BUILDINGS AGAINST SUBTERRANEAN TERMITES
 - AS 3700-2011 MASONRY STRUCTURES
 - AS 3740-2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
 - AS 3786-1993 SMOKE ALARMS
 - AS 3959-2009 CONSTRUCTION OF BUILDINGS IN BUSHFIRE-PRONE AREAS
 - AS 4055-2006 WIND LOADS FOR HOUSING
 - AS 4072-2005 OPENINGS IN FIRE-RESISTANT SEPARATING ELEMENTS
 - AS 4100-1998 STEEL STRUCTURES
 - AS 4254-1995 DUCTWORK FOR AIR-HANDLING SYSTEMS IN BUILDINGS
 - AS 4552-2005 GAS FIRED WATER HEATERS AND/OR CENTRAL HEATING
 - AS 4773-2010 MASONRY FOR SMALL BUILDINGS
 - ISO 8336 1993E FIBRE CEMENT FLAT SHEETS
 - AS/NZS 1170-2011 STRUCTURAL DESIGN ACTIONS
 - AS/NZS 1276-1999 ACOUSTICS RATING OF SOUND INSTALLATION IN BUILDINGS
 - AS/NZS 1428-2009 DESIGN FOR ACCESS AND MOBILITY
 - AS/NZS 1530-2005METHODS FOR FIRE TESTS ON BUILDING MATERIALS
 - AS/NZS 1562-2009INSTALLATION OF METAL SHEET ROOF & WALL CLADDING
 - AS/NZS 1664-1997ALUMINIUM STRUCTURES
 - AS/NZS 1748-1997TIMBER-STRESS GRADED
 - AS/NZS 2032-2006INSTALLATION OF PVC PIPE SYSTEMS
 - AS/NZS 2033-2008INSTALLATION OF PE PIPE SYSTEMS
 - AS/NZS 2179-1994SPECIFICATION FOR RAINWATER GOODS
 - AS/NZS 2269-2008PLYWOOD-STRUCTURAL
 - AS/NZS 2566-2002BURIED FLEXIBLE PIPELINES
 - AS/NZS 2904-1995DAMP-PROOF COURSES & FLASHINGS
 - AS/NZS 2908-2000CELLULOSE CEMENT PRODUCTS
 - AS/NZS 3500-2013PLUMBING AND DRAINAGE
 - AS/NZS 3725-2007DESIGN FOR INSTALLATION OF BURIED CONCRETE PILES
 - AS/NZS 4058-2007PRE CAST CONCRETE PIPES
 - AS/NZS 4200-1994PLIABLE BUILDING MEMBRANES & UNDERLAYS
 - AS/NZS 4234-2008HEATED WATER SYSTEMS - ENERGY CONSUMPTION
 - AS/NZS 4256-2006PLASTIC ROOF & WALL CLADDING MATERIAL
 - AS/NZS 4600-2005COLD-FORMED STEEL STRUCTURES
 - AS/NZS 4671-2001STEEL REINFORCING MATERIALS
 - AS/NZS 4680-2006HOT-DIP GALVANISED (ZINC) COATING
 - AS/NZS 4859-2002MATERIALS FOR THERMAL INSULATION OF BUILDINGS

H PROVIDE WALL TIES TO BRICKWORK @ MAX. 600mm CTRS IN EACH DIRECTION & WITHIN 300mm OF ARTICULATION JOINTS.

I AUSTRALIAN STAIR REQUIREMENTS:- (OTHER THAN SPIRAL STAIRS)

- RISERS - 190mm MAX, 115mm MIN.
- TREADS - 355mm MAX, 240mm MIN. PRIVATE STAIRS & 250mm PUBLIC STAIRS
- RISERS & TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT.
- PROVIDE NON-SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSINGS.
- ENSURE MAX. GAP BETWEEN RISERS NOT TO EXCEED 125mm OR USE CLOSED RISERS
- PROVIDE CONTINUOUS HANDRAIL 1000MM MIN. HEIGHT TO BALCONIES & DECKS WHICH ARE 1000mm OR MORE ABOVE GROUND LEVEL
- 865mm MIN. HEIGHT HANDRAIL ABOVE STAIR NOSING & LANDINGS
- MAX. OPENINGS BETWEEN BALUSTERS NOT TO EXCEED 125mm.
- A SINGLE FLIGHT OF STAIRS SHALL NOT HAVE MORE THAN 18, OR LESS THAN 2 RISERS.



J BALUSTRADES & HANDRAILS

- STAIR HANDRAILS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF NCC 2019 VOL.2 CLAUSE 3.9.1.
- PROVIDE BALUSTRADES WHERE CHANGE IN LEVEL EXCEEDS 1000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BALUSTRADES (OTHER THAN TENSIONED WIRE BALUSTRADES) TO BE:
 - 1000mm MIN. ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND
 - 865mm MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP, AND
 - VERTICAL WITH LESS THAN 125mm GAP BETWEEN, AND
- ANY HORIZONTAL ELEMENT WITHIN THE BALUSTRADE BETWEEN 150mm AND 760mm ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING WHERE CHANGES IN LEVEL EXCEEDS 4000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS.

K GLAZING

- REFER TO GLAZING SCHEDULE ON DRAWINGS AND ENERGY REPORT.
- ALL GLAZING TO COMPLY WITH AS 1288-2006 AND AS2047.
 - 3mm ORDINARY GLASS & 5mm TOUGHENED GLASS WITHIN 500mm OF FLOOR. ALL HEAD HEIGHTS ARE AT 2100mm ABOVE FLOOR LEVEL UNLESS OTHERWISE NOTED. ALL SIZES ARE INDICATIVE, EXACT SIZES TO BE SPECIFIED BY WINDOW MANUFACTURER. PROVIDE 'A' GRADE SAFETY GLASS WHERE REQUIRED AS ACCORDING TO NCC 2019 VOL.2 CLAUSE 3.6.4.5 AND TABLE 3.6.5.
 - ALL MEASUREMENTS SHOWN ARE HARD SURFACE STRUCTURE TOLERANCE AND TO COMPLY WITH MANUFACTURERS ALLWANCES. SITE CHECK. SHOWER SCREENS & GLAZING WITHIN 1500mm VERTICALLY OR 500mm HORIZONTAL FROM BASE OF BATH / SHOWER SHALL BE TOUGHENED GLASS.
 - ALL LINTELS TO ENGINEERS DETAILS REFER TO ELEVATIONS FOR SASH LOCATIONS ALL STEEL ANGLE LINTELS TO BE 'HOT DIPPED GALVANIZED'.
 - ALL OPENING SASHES TO BE PROVIDED WITH WINDOW LOCKS, INCLUDING SLIDING DOORS.
 - ALL DOORS & WINDOW SASHES TO WHOLE JOB TO HAVE SEALS ALL ROUND.
 - ALL GLAZING IN BATHROOMS, ENSUITES OR THE LIKE, INCLUDING SHOWER DOORS, SHOWER SCREENS, BATH ENCLOSURES, AND ASSOCIATED WINDOWS, WHERE THE LOWEST SIGHT LINE IS LESS THAN 2.0m ABOVE THE HIGHEST ABUTTING FINISHES LEVEL OF THE FLOOR, BOTTOM OF BATH, OR SHOWER BASE MUST BE PROVIDED WITH GRADE A SAFETY GLAZING IN ACCORDANCE WITH NCC 2019 VOL.2 CLAUSE 3.6.4.5 AND TABLE 3.6.5

L THERMAL INSULATION

- SHALL BE INSTALLED STRICTLY IN ACCORDANCE WITH "CLIENT ENGAGED ENERGY CONSULTANT".
- PROPOSED BUILDINGS MUST ACHIEVE MINIMUM 6 STAR RATING OR BETTER
- ALL OPENING WINDOW SASHES ARE FITTED WITH DRAUGHT PROOF SEALS
- ALL EXHAUST FANS TO BE SELF CLOSING AT OUTLET DUCT
- GAPS BETWEEN WINDOW AND DOOR FRAMES AND THE BUILDING FABRIC TO BE DRAUGHT PROOF SEALED
- ALL EXTERNAL DOORS AND WINDOWS ARE TO BE WEATHER SEALED
- ALL SISALATION TO BE TAPED, SEALED AND TEARS PATCHED
- ALL PENETRATION, GAPS, CONDECK RIDGES, SERVICE PIPES AND THE LIKE BETWEEN TOWNHOUSES AND PASSAGES TO TOWNHOUSES TO BE ACOUSTICALLY CAULKED AND SEALED
- THE BUILDER SHALL PROVIDE ACOUSTIC, THERMAL AND FIRE RATING COMPLIANCE CERTIFICATES AT PRACTICAL COMPLETION

M SMOKE DETECTORS:

- SD - DENOTES HARDWIRED AND INTERCONNECTED SMOKE ALARMS COMPLYING WITH AS 3786-2014, CEILING MOUNTED WHERE INDICATED ON DESIGNER'S DRAWINGS.

N BATHROOM/ENSUITE/POWDER ROOM HINGE DOORS:

- ALL DOORS SERVING TOILETS ARE TO BE PROVIDED WITH LIFT OFF HINGES WHERE THE DOOR SWING (MEASURED FROM HINGE) IS WITHIN 1.2m OF THE PAN OF THE TOILET.
- DOOR TO BE ADJUSTED ACCORDINGLY.

O WET AREAS / BATHROOM & ENSUITE FLOORS:

- WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH AS3740.
- WET AREA WALL & FLOOR FINISHES TO COMPLY WITH 'WET AREAS' PART 3.8.1, VOL.2 OF THE BCA
- CERAMIC OR STONE TILES OVER 15mm THICK 'HARDIES' COMPRESSED FIBRE CEMENT SHEET SUBSTRATE LINING TO FIRST FLOOR.
- WALLS AND HOBBS: SELECTED CERAMIC OR STONE TILES OVER 10mm THICK W.R. GRADE 'BORAL' OR 'GYPROCK' PLASTERBOARD SHEET SUBSTRATE LINING. SHOWER AND BATH RECESS.

P VENTILATION NOTES:

- VENTILATION SHALL BE PROVIDED BY OPENABLE WINDOWS TO ALL ROOMS. OPENABLE AREA TO BE EQUIVALENT TO 5% OF THE FLOOR AREA OR GREATER, AS REQUIRED BY THE BUILDING CODE OF AUSTRALIA.
- PROVIDE MECHANICAL VENTILATION TO BATHROOMS AT A RATE OF 10m³/HOUR WHERE NO NATURAL VENTILATION CAN BE PROVIDED DISCHARGING TO THE OPEN AIR CONNECTED TO THE LIGHT SWITCH AS PER BUILDING CODE OF AUSTRALIA AND AUSTRALIAN STANDARD REQUIREMENTS.
- BATHROOM, POWDER ROOM & ENSUITE MECHANICAL VENTILATION OF A MINIMUM 25L/S DUCTED OUTSIDE AIR IN ACCORDANCE WITH AS1668/1991. OR BE VENTILATED DIRECTLY OUTSIDE.
- KITCHEN OR LAUNDRY MECHANICAL VENTILATION OF A MINIMUM 40L/S DUCTED OUTSIDE AIR IN ACCORDANCE WITH A1668/1991.
- EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY MUST BE DISCHARGED DIRECTLY OR VIA SHAFT OR DUCT TO OUTDOOR AIR; OR
- TO A ROOF SPACED THAT IS VENTILATED IN ACCORDANCE WITH 3.8.7.4.

Q HUMAN IMPACT SAFETY REQUIREMENTS TO COMPLY WITH NCC 2019 VOL.2 CLAUSE 3.6.4.

- DOORS IN ACCORDANCE WITH 3.6.4.1.
- DOOR SIDE PANELS IN ACCORDANCE WITH 3.6.4.2.
- FULL HEIGHT GLASS PANELS IN ACCORDANCE WITH 3.6.4.3.
- GLAZED PANELS, OTHER THAN DOORS OR SIDE PANELS, ON THE PERIMETER OF ROOMS IN ACCORDANCE WITH 3.6.4.4.
- BATHROOMS, ENSUITE AND SPA ROOM GLAZING IN ACCORDANCE WITH 3.6.4.5.
- VISIBILITY OF GLAZING IN ACCORDANCE WITH 3.6.4.6.

R CLADDING SYSTEMS:

- ALL CLADDING SYSTEMS PROPOSED MUST BE AN ACCREDITED SYSTEM AS APPROVED ON THE FOLLOWING WEBSITES: <http://www.abcb.gov.au/en/product-certification/codemark/list-of-codemark-certified-products.aspx>

http://www.vba.vic.gov.au/___data/assets/pdf_file/0013/25150/Listing-of-accredited-products.pdf

S TERMITE PROTECTION

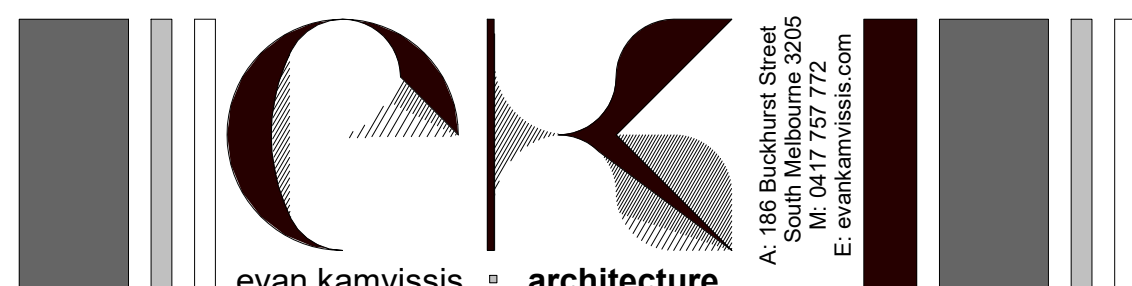
- THE MUNICIPALITY OF BAYSIDE IS NOT LOCATED IN A TERMITE ZONE.
- TERMITE RISK MANAGEMENT TO COMPLY WITH PART 3.1.3, VOL.2 OF THE NCC BCA.
- WHERE AUSTRALIAN BUILDING (OTHER THAN A CLASS 10A) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH AS3660-2000.

GENERAL LEGEND

TW1	Wall type
DP	Downpipe
RHW	Rainwater head
Fw	Floor waste
O	Operable window
F	Fixed window
Col	Column
AJ	Articulation Joint

SYMBOL LEGEND

	Window number
	Door number
	Direction of fall in slab or roof
	Direction of timber flooring/decking



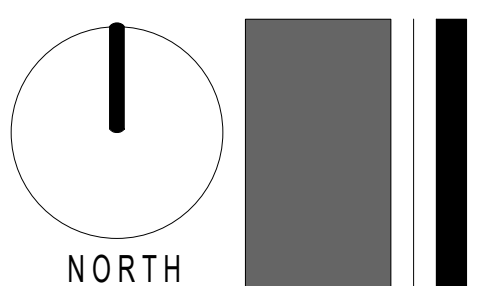
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GENERAL NOTES

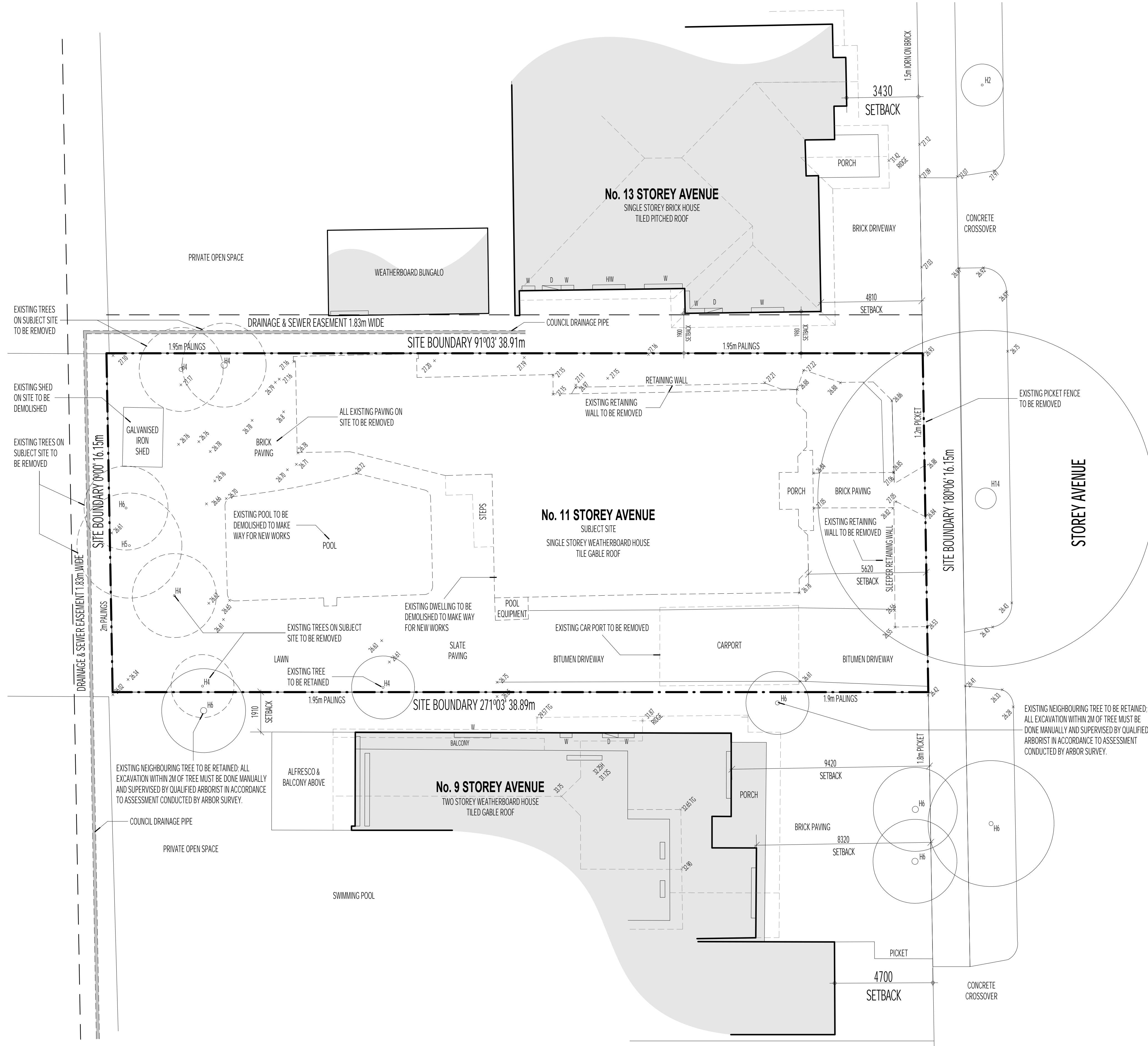
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EXCAVATION, SITEWORK & DRAINAGE

- GRUB OUT ORGANIC MATTER AND SURFACE VEGETATION WITHIN BUILDING AREA.
- STORMWATER DRAINAGE TO COMPLY WITH AS 3000.3 PLUMBING AND DRAINAGE PART 3 STORMWATER DRAINAGE.
- STORMWATER TO DISCHARGE TO EXISTING STORMWATER DRAINAGE SYSTEM. THE APPOINTED LICENSED PLUMBERS IS TO SITE CHECK & LOCATE ALL SERVICES ON SITE PRIOR TO PROCEEDING WITH THE WORKS.
- INSTALL MIN. 100mm DIA UPVC STORMWATER DRAIN AND SEWER TO MIN. 1 IN 100 FALL. SEWER TO BE SEWER GRADE UPVC & CONNECTED TO EXISTING SEWER SYSTEM TO THE RELEVANT AUTHORITIES APPROVAL.
- ALLOW FOR INSPECTION OPENINGS AT ALL BENDS AND/OR AT MAX. 9000mm LENGTHS.
- ALL SURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH THE ENGINEERS DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM AND SOIL CLASSIFICATION AND IN ACCORDANCE WITH CLAUSE 5.6.3 DRAINAGE REQUIREMENTS OF AS 2870:2011. WHEREIN FOR BUILDINGS ON MODERATELY, HIGHLY AND REACTIVE SITES - SURFACE DRAINAGE SHALL BE CONTROLLED THROUGHOUT CONSTRUCTION AND BE COMPLETED BY THE FINISH OF CONSTRUCTION. THE BASE TRENCHES SHALL SLOPE AWAY FROM THE BUILDING. WHERE PIPES PASS UNDER THE FOOTING SYSTEMS CLAY PLUGS MUST BE ADOPTED TO PREVENT THE INGRESS OF WATER.
- FOR BUILDINGS ON HIGHLY REACTIVE SITES, THE PLUMBER / DRAINER SHALL PROVIDE ARTICULATION TO ALL STORMWATER, SANITARY PLUMBING DRAINS AND DISCHARGE PIPES IN ACCORDANCE WITH CLAUSE 5.6.4 PLUMBING REQUIREMENTS, WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FLOORING AND COMMENCING WITHIN 1.0m AT THE BUILDING PERIMETER ARE REQUIRED TO ACCOMMODATE THE REQUIRED DIFFERENTIAL MOVEMENT BASED ON THE SOIL CLASSIFICATION.
- NEW STORMWATER DRAINS TO BE CONNECTED TO EXISTING STORMWATER DRAINS AND DISCHARGED TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES REQUIREMENTS.
- ALL WASTE FIXTURES TO BE CONNECTED TO SEWERAGE SYSTEM IN ACCORDANCE WITH THE RELEVANT WATER AUTHORITY.
- SURFACE WATER MUST BE DIVERTED AWAY FROM THE BUILDING AND GRADED AWAY FROM ALL FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE DWELLING.
- SUBSURFACE DRAINS TO REMOVE GROUND OR TABLE WATER SHALL BE DETAILED BY THE DESIGN ENGINEER. FURTHERMORE, DAMP-PROOFING MEMBRANE IN ACCORDANCE WITH CLAUSE 5.3.3 SHALL BE INSTALLED FOR GROUND WATER OR AGGRESSIVE SOILS.
- EXISTING DRAINAGE PIT IS TO BE MODIFIED / RECONSTRUCTED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
- STORM WATER DRAINAGE TO BE CONNECTED TO THE LEGAL POINT OF DISCHARGE AS PER THE REQUIREMENTS OF THE GOVERNING BODIES.
- IT IS THE RESPONSIBILITY OF THE PLUMBER TO ENSURE PROPOSED PIPES DONT ENCRORACH THE TITLE BOUNDARIES.
- WHERE SITE CUT IS NECESSARY TO ACHIEVE APPROPRIATE F.G.L & F.F.I AGGI DRAINS SHALL BE CONNECTED TO THE STORM WATER DRAIN VIA SALT PITS.
- PROPOSED SERVICE PIPES TO BE SUSPENDED UNDER FLOOR & TO BE CONNECTED TO STORM WATER DRAIN. PLUMBER TO ENSURE NEW SERVICES DO NOT ENCRORACH EASEMENT.
- IT IS THE RESPONSIBILITY OF THE QUALIFIED PLUMBER/CONTRACTOR TO SITE CHECK EXISTING LOCATIONS OF DRAIN/SEWER TO ENSURE THAT WORKS ARE CONDUCTED IN ACCORDANCE TO THE ANGLE OF REPOSE AND GUIDELINES SET OUT BY THE LOCAL AUTHORITIES.



ARCHITECTURAL GENERAL NOTES

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.

THE BUILDER SHALL TAKE ALL THE STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.

THE OWNER/BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS, SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, BUILDING REGULATIONS, LOCAL BY LAWS & TOWN PLANNING REQUIREMENTS.

INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITIES REQUIREMENTS.

THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AUTHORIZATION FOR THE USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION.

DO NOT SCALE DRAWINGS - USE WRITTEN DIMENSIONS ONLY.

REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION AND APPROVAL IN WRITING.

THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES. NO RESPONSIBILITY IS ACCEPTED FOR THEIR USE.

- NOTE:
- ALL EXPOSED STEEL WORK TO BE 316 MARINE GRADE STAINLESS STEEL UNLESS APPROVED OTHERWISE BY CLIENT.
 - ALL WATERPROOFING SYSTEMS TO COMPLY WITH AS 3401 / AS 1562 / AS 2904 / SAA H209
 - EXPANSION JOINTS AT APPROPRIATE / REQUIRED LOCATION IN ACCORDANCE WITH AS 3600 / 2009 IN LINE WITH WALL AND WINDOW JOINTS WHERE POSSIBLE.



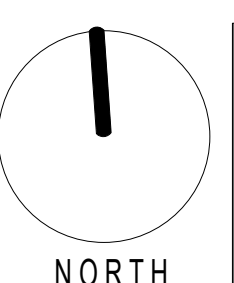
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DEMOLITION PLAN

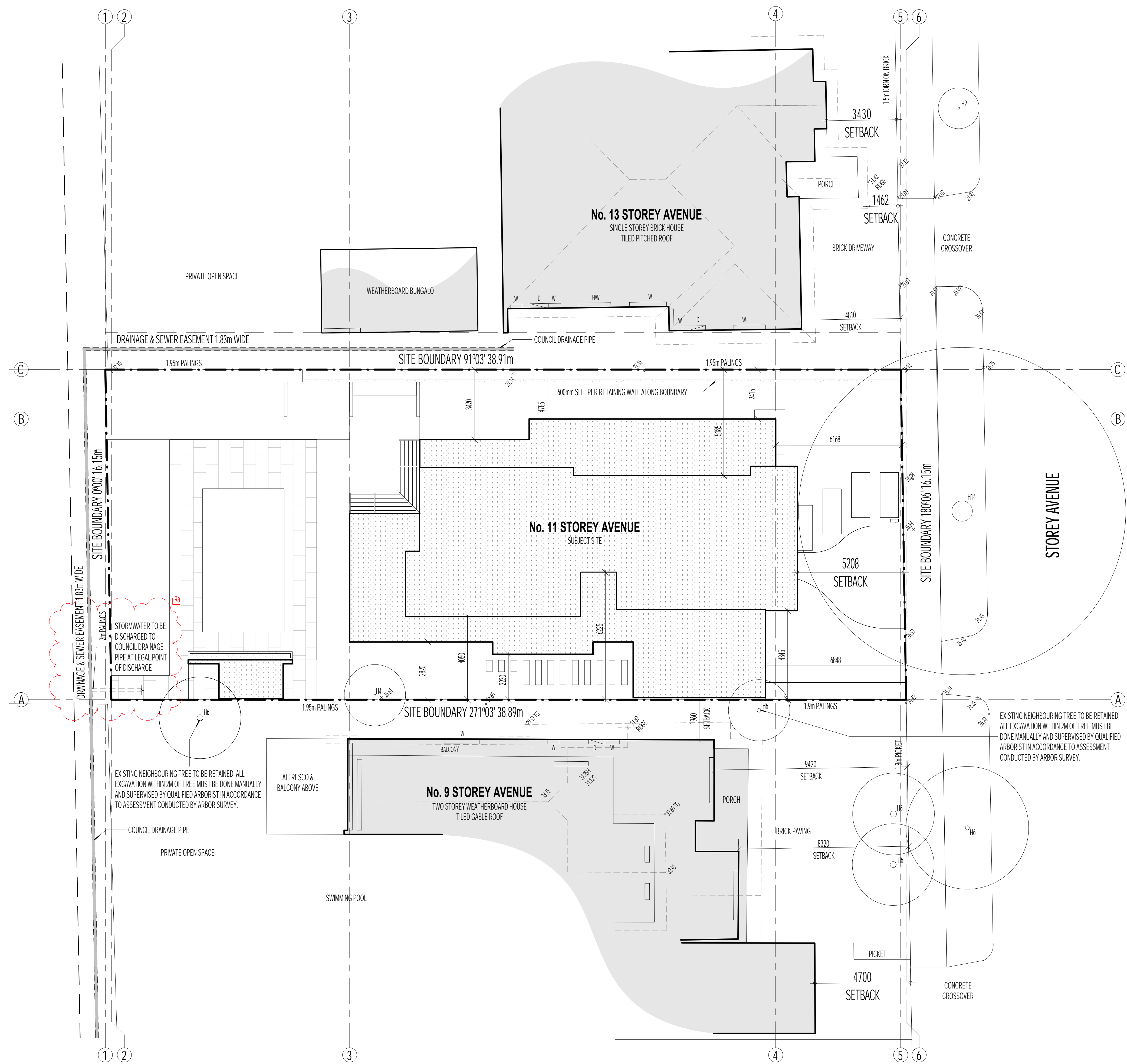
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PROPOSED RESIDENTIAL DEVELOPMENT AT 11 STOREY AVENUE, HAMPTON
CLIENT NAME: CORINNA & BOB NEILL

DATE:	DECEMBER 2020
SCALE:	1:100 AT A1 ; 1:200 AT A3
DWG No.:	2013
SHEET No.:	A100 REVISION:



EXCAVATION, SITEWORK & DRAINAGE

- GRUB OUT ORGANIC MATTER AND SURFACE VEGETATION WITHIN BUILDING AREA.
- STORMWATER DRAINAGE TO COMPLY WITH AS 3000.3 PLUMBING AND DRAINAGE PART 3. STORMWATER DRAINAGE.
- STORMWATER TO DISCHARGE TO EXISTING STORMWATER DRAINAGE SYSTEM. THE APPOINTED LICENSED PLUMBER IS TO SITE CHECK & LOCATE ALL SERVICES ON SITE PRIOR TO PROCEEDING WITH THE WORKS.
- INSTALL MIN. 100mm DIA UPVC STORMWATER DRAIN AND SEWER TO MIN. 1 IN 100 FALL. SEWER TO BE SEWER GRADE UPVC & CONNECTED TO EXISTING SEWER SYSTEM TO THE RELEVANT AUTHORITIES APPROVAL.
- ALLOW FOR INSPECTION OPENINGS AT ALL BENDS AND/OR AT MAX. 9000mm LENGTHS.
- ALL SURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH THE ENGINEERS DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM AND SOIL CLASSIFICATION AND IN ACCORDANCE WITH CLAUSE 5.6.3. DRAINAGE REQUIREMENTS OF AS 2870:2011. WHEREIN FOR BUILDINGS ON MODERATELY, HIGHLY AND REACTIVE SITES - SURFACE DRAINAGE SHALL BE CONTROLLED THROUGHOUT CONSTRUCTION AND BE COMPLETED BY THE FINISH OF CONSTRUCTION. THE BASE TRENCHES SHALL SLOPE AWAY FROM THE BUILDING. WHERE PIPES PASS UNDER THE FOOTING SYSTEMS CLAY PLUGS MUST BE ADOPTED TO PREVENT THE INGRESS OF WATER.
- FOR BUILDINGS ON HIGHLY REACTIVE SITES, THE PLUMBER / DRAINER SHALL PROVIDE ARTICULATION TO ALL STORMWATER, SANITARY PLUMBING DRAINS AND DISCHARGE PIPES IN ACCORDANCE WITH CLAUSE 5.6.4. PLUMBING REQUIREMENTS, WHEREIN FLEXIBLE JOINTS IMMEDIATELY OUTSIDE THE FLOORING AND COMMENCING WITHIN 1.0m AT THE BUILDING PERIMETER ARE REQUIRED TO ACCOMMODATE THE REQUIRED DIFFERENTIAL MOVEMENT BASED ON THE SOIL CLASSIFICATION.
- NEW STORMWATER DRAINS TO BE CONNECTED TO EXISTING STORMWATER DRAINS AND DISCHARGED TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES REQUIREMENTS.
- ALL WASTE FIXTURES TO BE CONNECTED TO SEWERAGE SYSTEM IN ACCORDANCE WITH THE RELEVANT WATER AUTHORITY.
- SURFACE WATER MUST BE DIVERTED AWAY FROM THE BUILDING AND GRADED AWAY FROM ALL FOUNDATIONS TO GIVE A SLOPE OF NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE DWELLING.
- SUBSURFACE DRAINS TO REMOVE GROUND OR TABLE WATER SHALL BE DETAILED BY THE DESIGN ENGINEER. FURTHERMORE, DAMP-PROOFING MEMBRANE IN ACCORDANCE WITH CLAUSE 5.3.3 SHALL BE INSTALLED FOR GROUND WATER OR AGGRESSIVE SOILS.
- EXISTING DRAINAGE PIT IS TO BE MODIFIED / RECONSTRUCTED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
- STORM WATER DRAINAGE TO BE CONNECTED TO THE LEGAL POINT OF DISCHARGE AS PER THE REQUIREMENTS OF THE GOVERNING BODIES.
- IT IS THE RESPONSIBILITY OF THE PLUMBER TO ENSURE PROPOSED PIPES DONT ENCRORACH THE TITLE BOUNDARIES.
- WHERE SITE CUT IS NECESSARY TO ACHIEVE APPROPRIATE F.G.L & F.F.I AGG DRAINS SHALL BE CONNECTED TO THE STORM WATER DRAIN VIA SILT PITS.
- PROPOSED SERVICE PIPES TO BE SUSPENDED UNDER FLOOR & TO BE CONNECTED TO STORM WATER DRAIN. PLUMBER TO ENSURE NEW SERVICES DO NOT ENCRORACH EASEMENT.
- IT IS THE RESPONSIBILITY OF THE QUALIFIED PLUMBER/CONTRACTOR TO SITE CHECK EXISTING LOCATIONS OF DRAIN/SEWER TO ENSURE THAT WORKS ARE CONDUCTED IN ACCORDANCE TO THE ANGLE OF REPOSE AND GUIDELINES SET OUT BY THE LOCAL AUTHORITIES.



ARCHITECTURAL GENERAL NOTES

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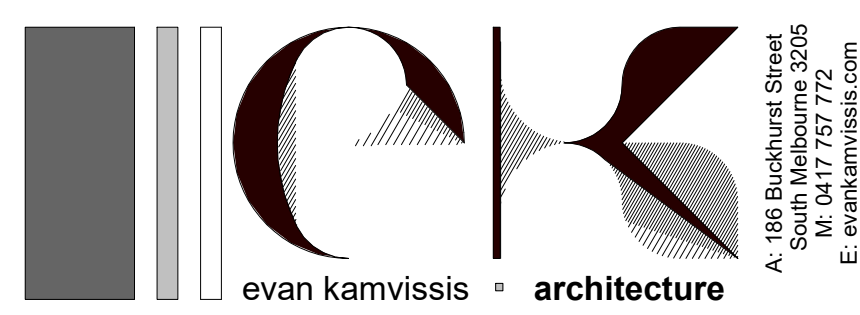
- NOTE:
- ALL EXPOSED STEEL WORK TO BE 316 MARINE GRADE STAINLESS STEEL UNLESS APPROVED OTHERWISE BY CLIENT.
 - ALL WATERPROOFING SYSTEMS TO COMPLY WITH AS 3400 / AS 1562 / AS 2004 / SIA 1839
 - EXPANSION JOINTS AT APPROPRIATE / REQUIRED LOCATION IN ACCORDANCE WITH AS 3600 / 2009 IN LINE WITH WALL AND WINDOW JOINTS WHERE POSSIBLE.

EXISTING NEIGHBOURING TREE TO BE RETAINED. ALL EXCAVATION WITHIN 2M OF TREE MUST BE DONE MANUALLY AND SUPERVISED BY QUALIFIED ARBORIST IN ACCORDANCE TO ASSESSMENT CONDUCTED BY ARBOR SURVEY.

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FLOOR AREAS

TOTAL - 11 STOREY AVENUE, HAMPTON	SIZE (m ²)	SIZE (Sq)	PERCENT (%)
SITE AREA	626.8	67.4	100
SITE COVERAGE	223.3	24.0	35.6
GARDEN AREA	306.4	32.9	48.9
PERMEABILITY	256.6	27.6	40.9
PARTICULARS - 11 STOREY AVENUE, HAMPTON			
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FIRST LEVEL	114.5	12.3	
ALFRESCO	28.2	3.0	
GARAGE	39.3	4.2	



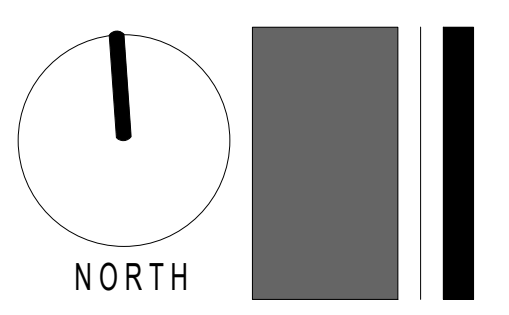
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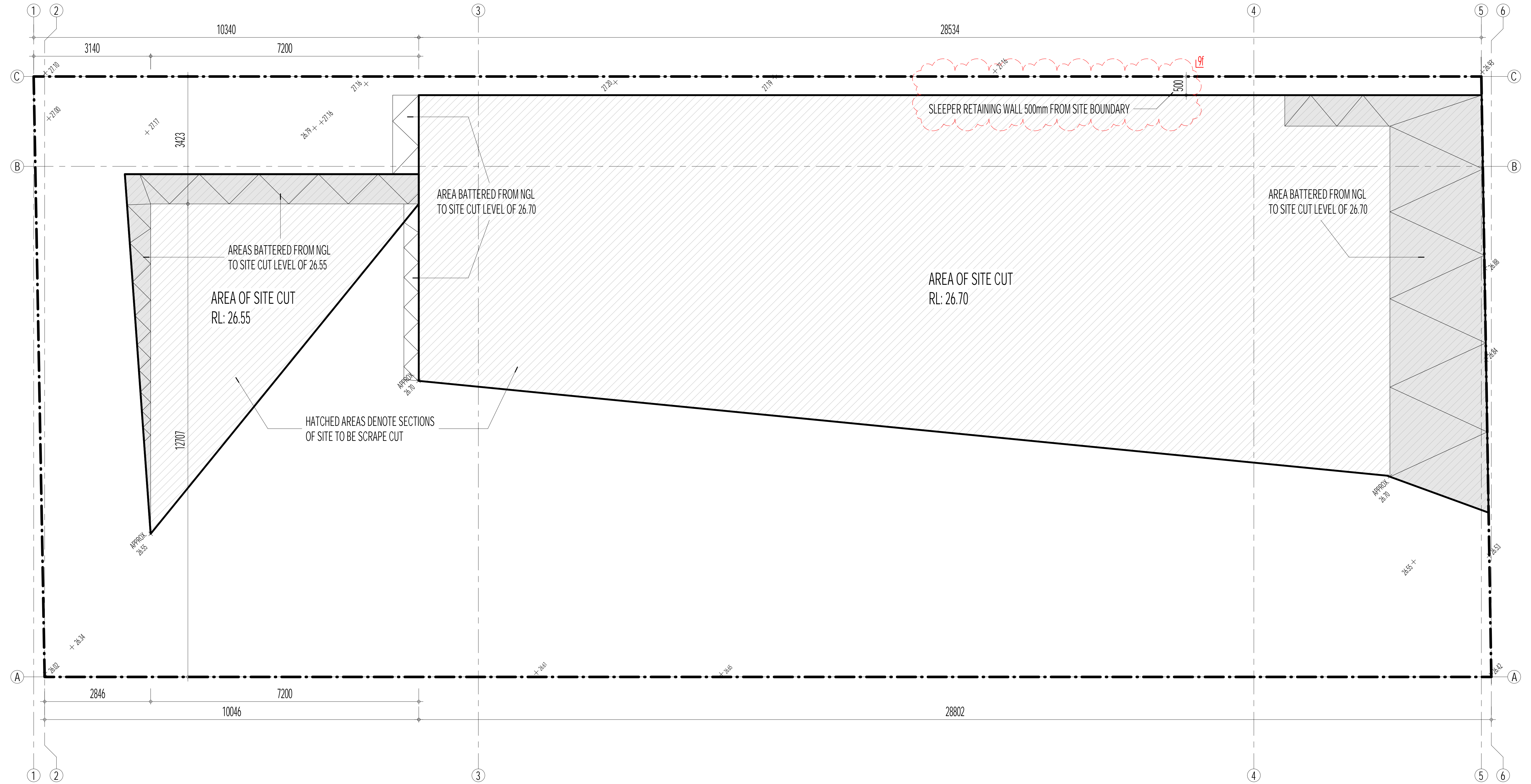
REV	DATE	DETAILS
*	11/06/2021	ISSUE FOR BUILDING PERMIT

SHEET NAME
SITE PLAN

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT AT 11 STOREY AVENUE, HAMPTON
CLIENT NAME: CORINNA & BOB NEILL

DATE:	DECEMBER 2020
SCALE:	1:100 AT A1 ; 1:200 AT A3
DWG No.:	2013
SHEET No.:	A101 REVISION:





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NOTE:
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 • ALL WATERPROOFING SYSTEMS TO COMPLY WITH AS 3420 / AS 1562 / AS 2904 / SAA HB59
 • EXPANSION JOINTS AT APPROPRIATE / REQUIRED LOCATION IN ACCORDANCE WITH AS 8000 / 2009 IN LINE WITH WALL AND WINDOW JOINTS WHERE POSSIBLE.

EXCAVATION - SITEWORK - DRAINAGE

- GRUBB OUT ORGANIC MATTER AND SURFACE VEGETATION WITHIN BUILDING AREA.
- STORMWATER DRAINAGE TO COMPLY WITH AS 3600.3:2015.
- STORMWATER TO DISCHARGE TO EXISTING SYSTEM. CONTRACTOR TO VERIFY EXISTING CONDITIONS ON SITE.
- INSTALL MIN. DIA 100MM UPVC STORMWATER DRAIN AND SEWER TO MIN. 1 IN 100 FALL (SEWER TO BE SEWER GRADE UPVC), TO EXISTING SEWER SYSTEM.
- ALLOW FOR INSPECTION OPENINGS AT ALL BENDS AND/OR MAX. 9000MM LENGTHS.
- NEW STORMWATER DRAINS TO BE CONNECTED TO EXISTING DRAINAGE DRAINS AND DISCHARGED TO A LEGAL POINT OF DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

CONCRETE SLAB & FOOTINGS

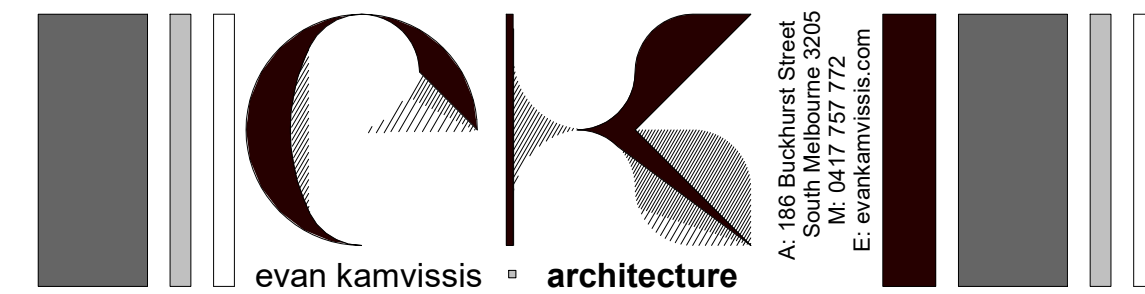
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SETDOWNS

- ALL TERRACES, BALCONIES AND PATIOS TO HAVE GRADED FALLS TO CAST IN OUTLETS, OVERFLOW POPS AND GRADED DISCHARGE TO CIVIL ENG'S DWGS

PLUMBING

- PLUMBING INSTALLATION SHALL COMPLY TO AS 3500.
- CONTRACTOR SHALL INTERPRET ARCHITECTURAL DRAWINGS FOR THE ADAPTION OF RETICULATED PLUMBING INSTALLATION DESIGN TO SUIT. CONTRACTOR TO DISCUSS WITH OWNER AND THEIR REQUIREMENTS.



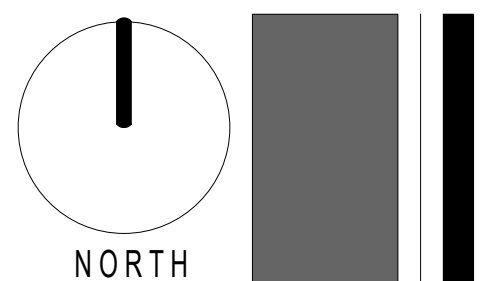
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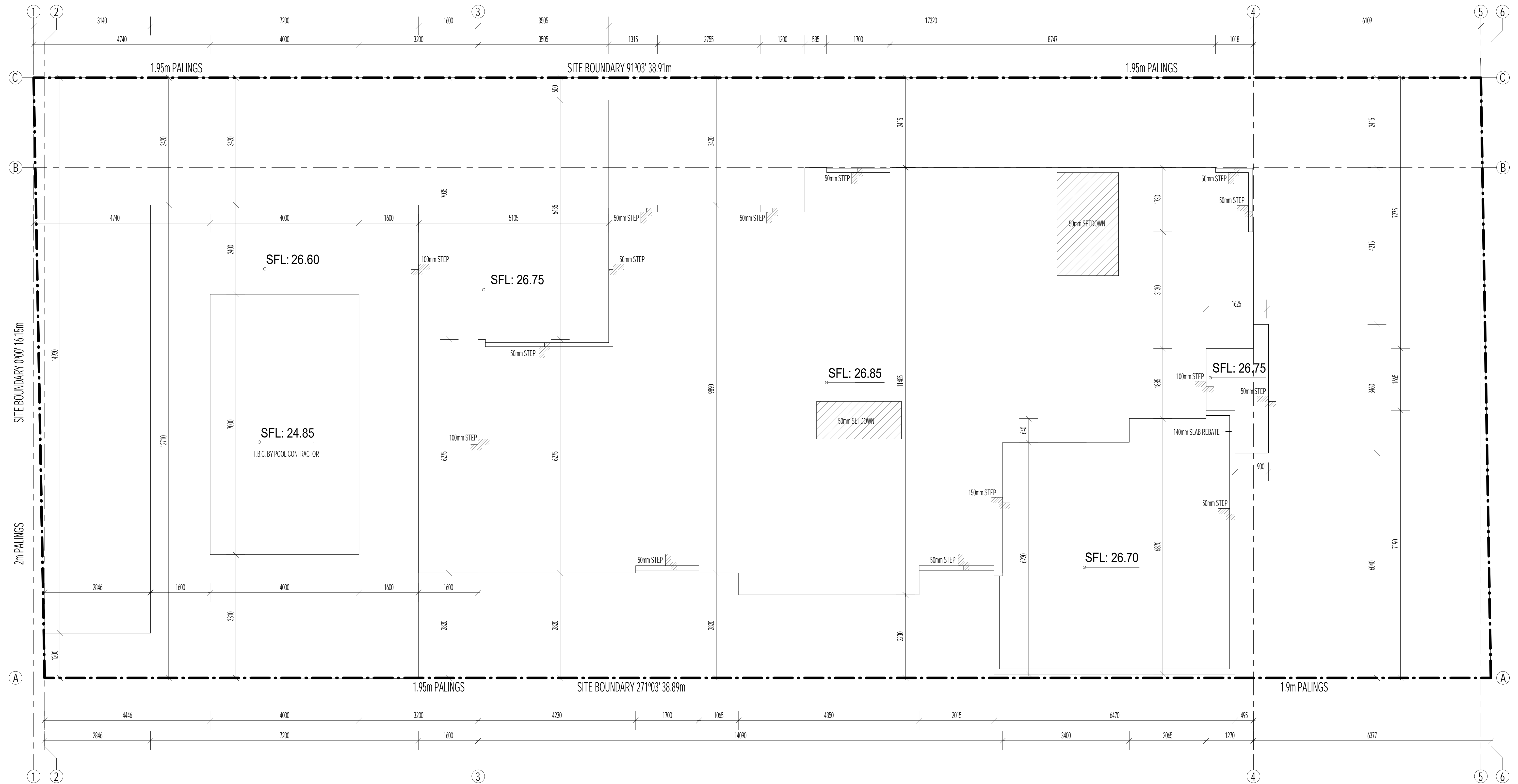
REV	DATE	DETAILS
*	11/06/2021	ISSUE FOR BUILDING PERMIT

SHEET NAME
SITE CUT PLAN

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT AT 11 STOREY AVENUE, HAMPTON
CLIENT NAME: CORINNA & BOB NEILL

DATE:	JULY 2020
SCALE:	1:50 AT A1 / 1:100 AT A3
DWG No.:	2013
SHEET No.:	A102 REVISION:





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EXCAVATION - SITEWORK - DRAINAGE

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- STORMWATER TO DISCHARGE TO EXISTING SYSTEM. CONTRACTOR TO VERIFY EXISTING CONDITIONS ON SITE.
- INSTALL MIN. DIA 100MM UPVC STORMWATER DRAIN AND SEWER TO MIN. 1 IN 100 FALL (SEWER TO BE SEWER GRADE UPVC) TO EXISTING SEWER SYSTEM.
- ALLOW FOR INSPECTION OPENINGS AT ALL BENDS AND/OR MAX. 9000MM LENGTHS.
- NEW STORMWATER DRAINS TO BE CONNECTED TO EXISTING DRAINAGE DRAINS AND DISCHARGED TO A LEGAL POINT OF DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

CONCRETE SLAB & FOOTINGS

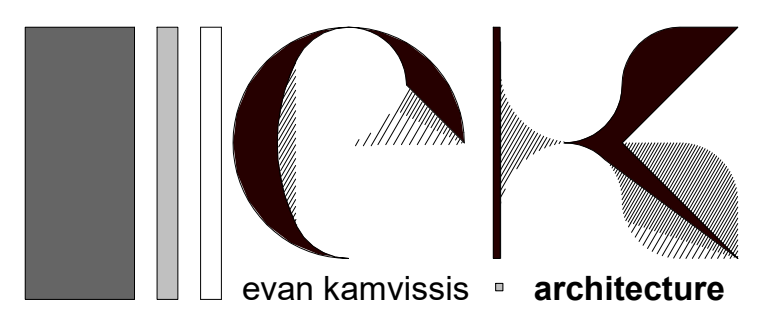
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SETDOWNS

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PLUMBING

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A: 188 Buckhurst Street,
Hampton VIC 3187
M: 0417 757 772
E: evan@kamvissis.com

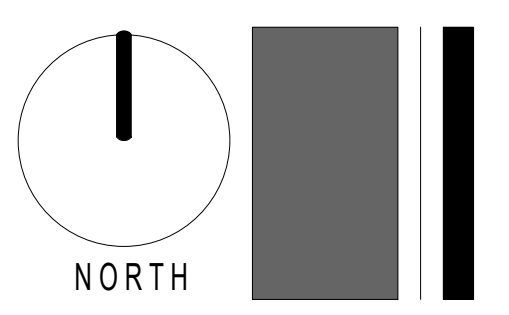
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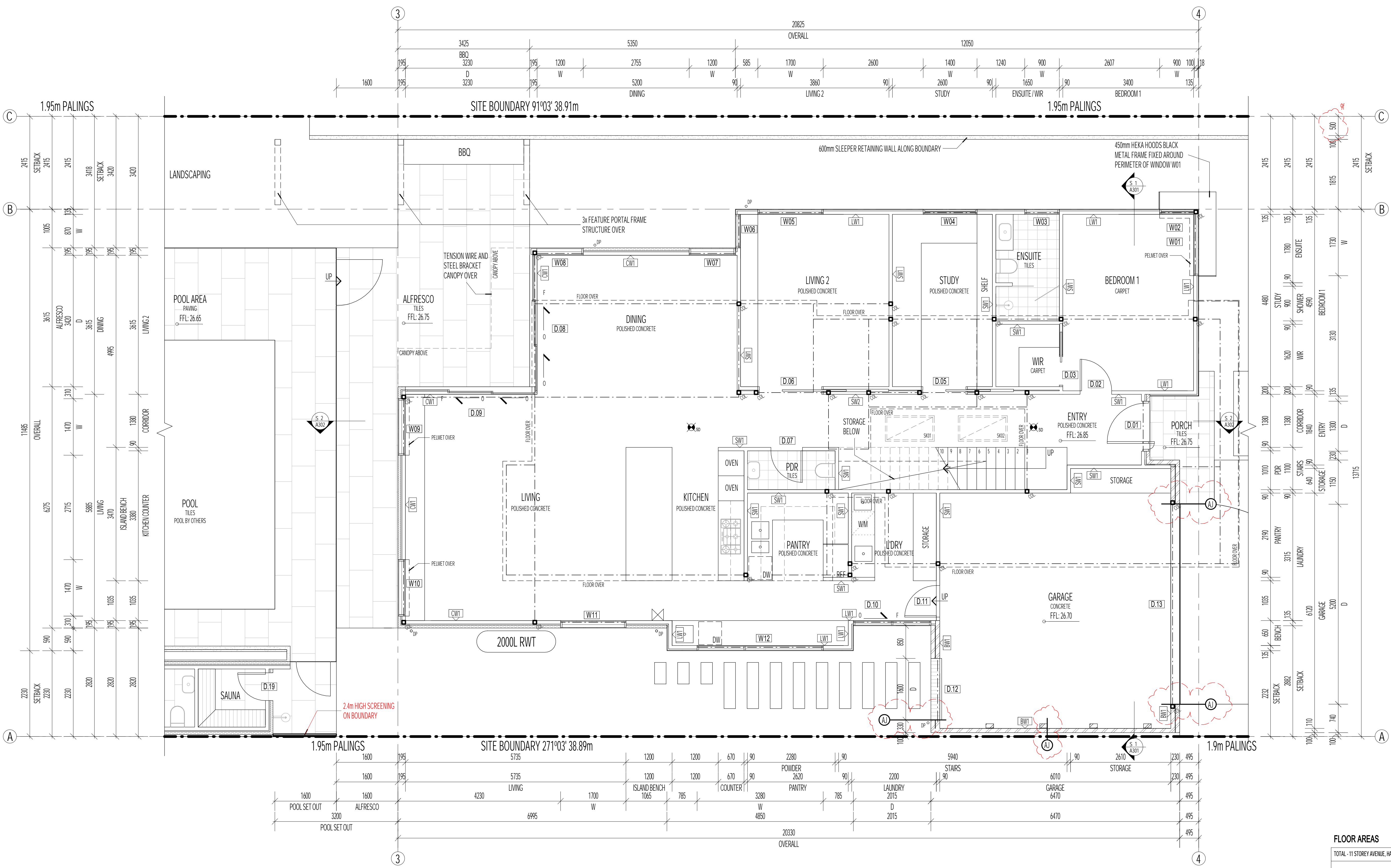
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*	11/06/2021	ISSUE FOR BUILDING PERMIT

SHEET NAME
SLAB SETOUT PLAN

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT AT 11 STOREY AVENUE, HAMPTON
CLIENT NAME: CORINNA & BOB NEILL

DATE:	JULY 2020
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DWG No.:	2013
SHEET No.:	A103 REVISION:





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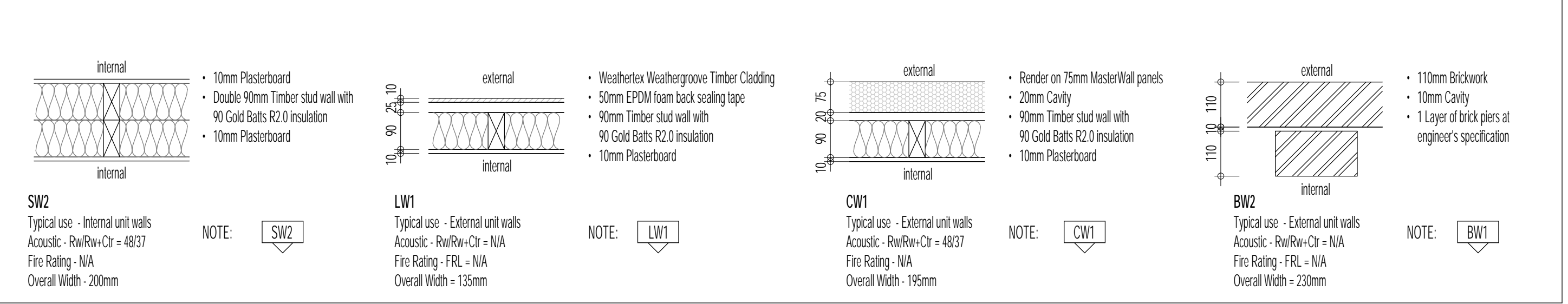
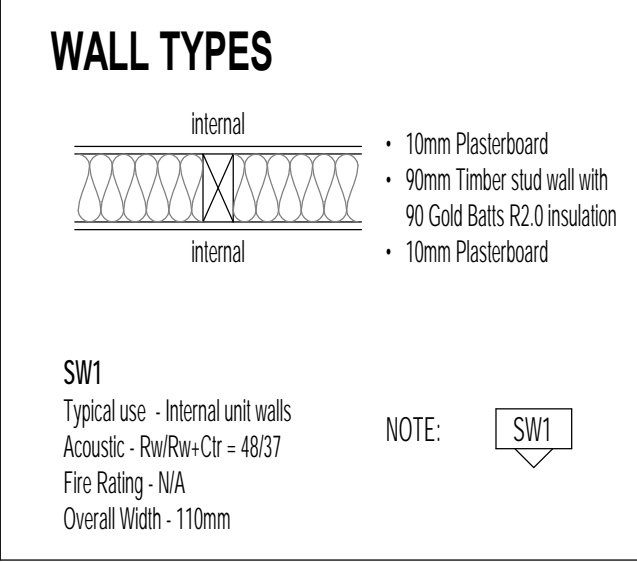
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 - EXPANSION JOINTS AT APPROPRIATE / REQUIRED LOCATION IN ACCORDANCE WITH AS3000 / 2009 IN LINE WITH WALL AND WINDOW JOINTS WHERE POSSIBLE.

LEGEND

MARK	DESCRIPTION
BBO	BARBECUE PROVISION
BP	PILES TO STRUCTURAL ENGINEERS DESIGN & SPEC.
BS	BUILT IN BOOKSHELF JOINERY
C	BUILT IN CLIPBOARD
COL	STRUCTURAL COLUMN - REFER TO ENGINEERING.
DP	DOWNPIPE LOCATION ALLOW FOR 100x50mm STEEL COLORBOND DOWNPIPE.
DW	DISHWASHER PROVISION
EX	REF - 250mm ROUND EXHAUST FAN SKU 209031 ARFLOW - 320m ³ /HOUR WATTAGE: 35w
FW	FLOOR WASTE TRAP
HWS	RINWAL - INFINITY - GAS CONTINUOUS FLOW HOT WATER SYSTEM
INT	SECURITY INTERCOM & KEYPAD ACCESS
LED	DENOTES CONCEALED LED LIGHTING STRIP UNDER HANT LIGHTING - 4.8w 1P67 12v DC 4000K LED STRIP PART NUMBER: H41923-1P67-40-4K
LIN	LINEN CLIPBOARD
P	PANTRY
RAH	ROOF ACCESS HATCH
REF	REFRIGERATOR PROVISION
RWH	COLORBOND STEEL RAINWATER HEAD
WD	WASHER & DRYER PROVISION
SB	SWITCHBOARD
SD	CEILING MOUNTED SMOKE ALARM
SHED	FLATROOF SHED BY EASY SHED. 2.22m w x 0.78m d x 1.82m h - STEEL, SLATE GREY. MODEL: EF-S2308
SKY	SKYLIGHT LOCATION OVER
SN	STUDY NOOK

FLOOR AREAS

TOTAL - 11 STOREY AVENUE, HAMPTON	SIZE (m ²)	SIZE (Sq)	PERCENT (%)
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GARAGE	39.3	4.2	



evan kamvissis architecture
 A: 188 Buckhurst Street, Hampton VIC 3187
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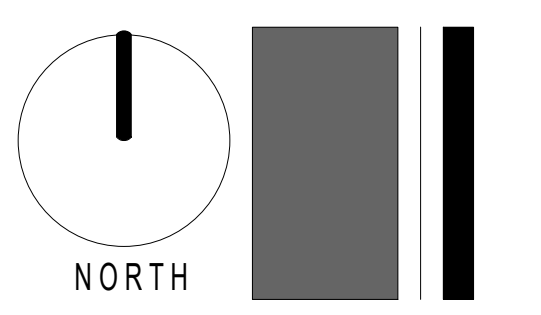
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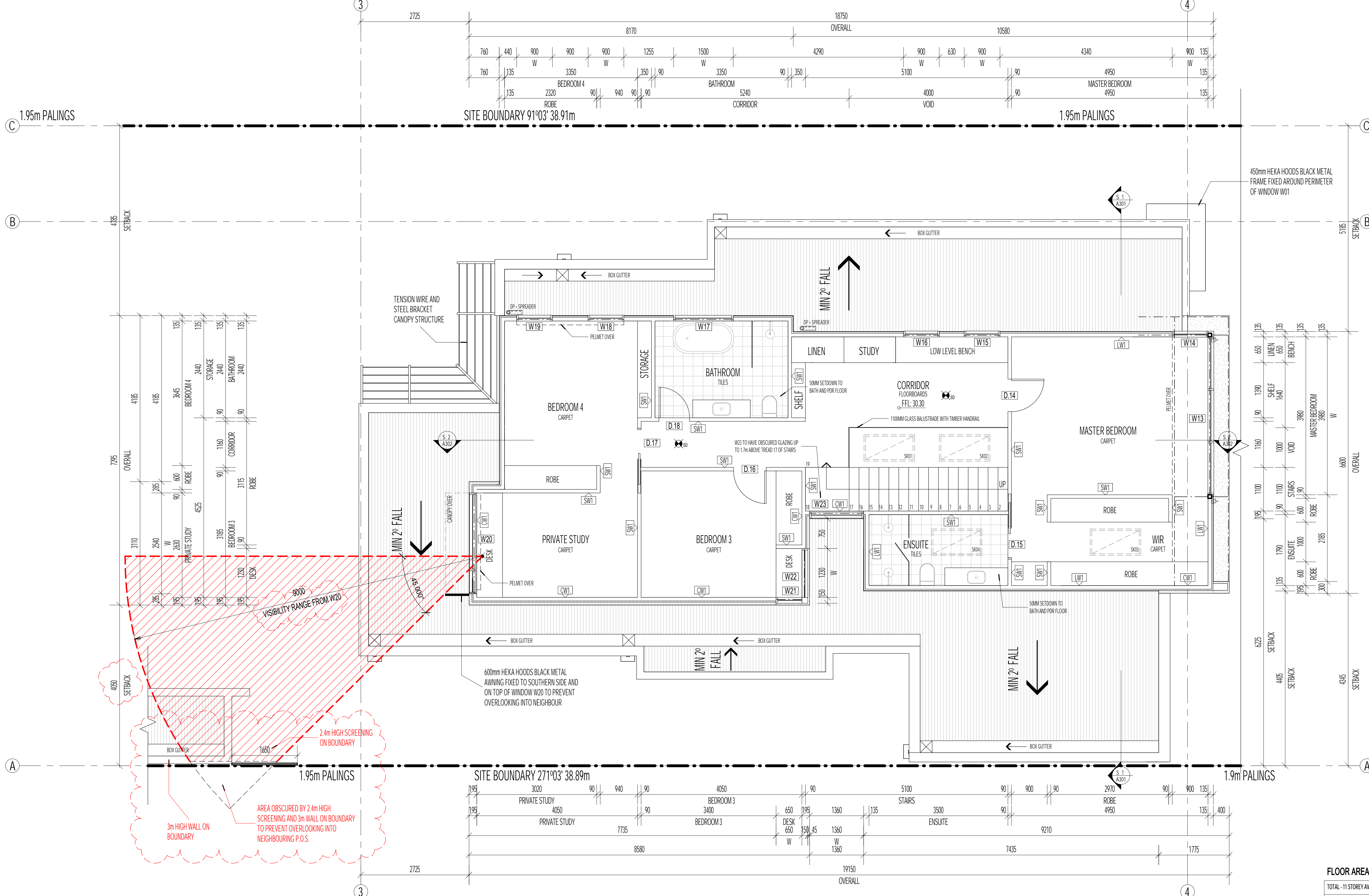
REV	DATE	DETAILS
*	11/06/2021	ISSUE FOR BUILDING PERMIT

SHEET NAME
GROUND FLOOR PLAN

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT AT 11 STOREY AVENUE, HAMPTON
CLIENT NAME: CORINNA & BOB NEILL

DATE:	JULY 2020
SCALE:	1:50 AT A1 / 1:100 AT A3
DWG No.:	2013
SHEET No.:	A104 REVISION:





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LEGEND

MARK	DESCRIPTION
BBQ	BARBECUE PROVISION
BP	PILES TO STRUCTURAL ENGINEERS DESIGN & SPEC.
BS	BUILT IN BOOKSHELF JOINERY
C	BUILT IN CUPBOARD
COL	STRUCTURAL COLUMN - REFER TO ENGINEERING
DP	DOWNPIPE LOCATION ALLOW FOR 100x50mm STEEL COLORBOND DOWNPIPE
DW	DISHWASHER PROVISION
EX	REF - 250mm ROUND EXHAUST FAN SKU 209031 ARFLOW - 320m ³ /HOUR WATTAGE: 35w
FW	FLOOR WASTE TRAP
HWS	RINWAL - INFINITY - GAS CONTINUOUS FLOW HOT WATER SYSTEM
INT	SECURITY INTERCOM & KEYPAD ACCESS
LED	DENOTES CONCEALED LED LIGHTING STRIP UNDER HAVIT LIGHTING - 4.8w 1P6T 12V DC 4000K LED STRIP PART NUMBER: H41923-1P6T-40-4K
LIN	LINEN CUPBOARD
P	PANTRY
RAH	ROOF ACCESS HATCH
REF	REFRIGERATOR PROVISION
RWH	COLORBOND STEEL RAINWATER HEAD
WD	WASHER & DRYER PROVISION
SB	SWITCHBOARD
SD	CEILING MOUNTED SMOKE ALARM
SHED	FLATROOF SHED BY EASY SHED. 2.22m w x 0.78m d x 1.82m h - STEEL, SLATE GREY. MODEL: EF-S2308
SKY	SKYLIGHT LOCATION OVER
SN	STUDY NOOK

FLOOR AREAS

TOTAL - 11 STOREY AVENUE, HAMPTON	SIZE (m ²)	SIZE (Sq)	PERCENT (%)
SITE AREA	626.8	67.4	100
SITE COVERAGE	223.3	24.0	35.6
GARDEN AREA	306.4	32.9	48.9
PERMEABILITY	256.6	27.6	40.9
PARTICULARS - 11 STOREY AVENUE, HAMPTON			
GROUND LEVEL	169.8	18.2	
FIRST LEVEL	114.5	12.3	
ALFRESCO	28.2	3.0	
GARAGE	39.3	4.2	

WALL TYPES

SW1
 Typical use - Internal unit walls
 Acoustic - R_wR_w+C_r = 48/37
 Fire Rating - N/A
 Overall Width - 110mm

SW2
 Typical use - Internal unit walls
 Acoustic - R_wR_w+C_r = 48/37
 Fire Rating - N/A
 Overall Width - 200mm

LW1
 Typical use - External unit walls
 Acoustic - R_wR_w+C_r = N/A
 Fire Rating - FRL = N/A
 Overall Width - 135mm

CW1
 Typical use - External unit walls
 Acoustic - R_wR_w+C_r = 48/37
 Fire Rating - N/A
 Overall Width - 195mm

BW1
 Typical use - External unit walls
 Acoustic - R_wR_w+C_r = N/A
 Fire Rating - FRL = N/A
 Overall Width - 230mm

STRUCTURAL LEGEND

--- DENOTES STRUCTURAL BEAM OVER

□ DENOTES COLUMN

REFER TO ENGINEERING DRAWINGS FOR STRUCTURAL MEMBER SCHEDULES AND DETAILS.

evan kamvissis architecture

A: 188 Buckhurst Street, Hampton VIC 3162
 M: 0417 757 772
 E: evan@kamvissis.com

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REV	DATE	DETAILS
*	11/06/2021	ISSUE FOR BUILDING PERMIT

SHEET NAME
FIRST FLOOR PLAN

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT AT 11 STOREY AVENUE, HAMPTON

CLIENT NAME: CORINNA & BOB NEILL

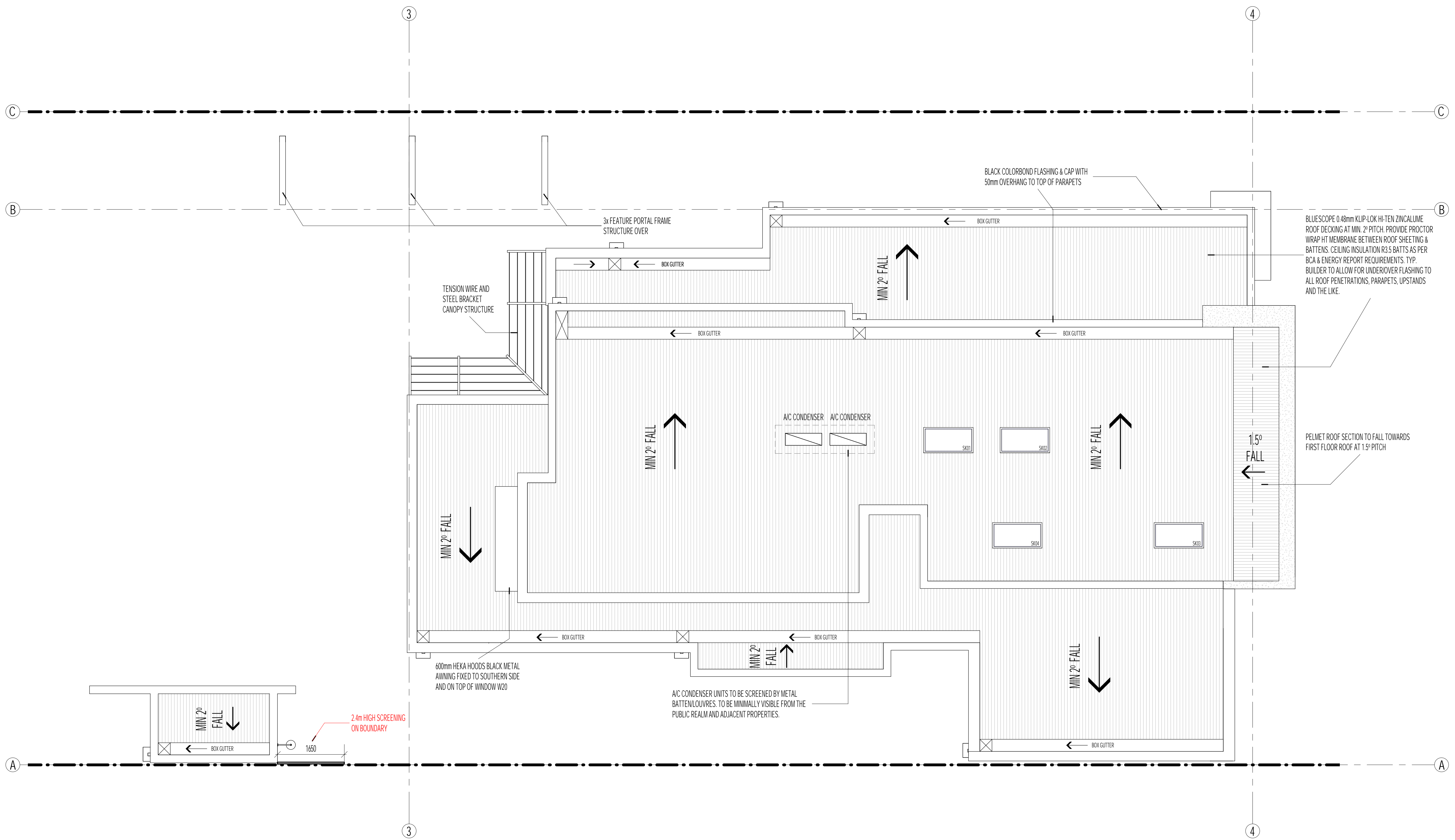
DATE: JULY 2020

SCALE: 1:50 AT A1 / 1:100 AT A3

DWG No.: 2013

SHEET No.: A105 **REVISION:**

NORTH



ARCHITECTURAL GENERAL NOTES

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- NOTE:
- ALL EXPOSED STEEL WORK TO BE 316 MARINE GRADE STAINLESS STEEL UNLESS APPROVED OTHERWISE BY CLIENT.
 - ALL WATERPROOFING SYSTEMS TO COMPLY WITH AS 3400 / AS 1562 / AS 2004 / SAA HB39
 - EXPANSION JOINTS AT APPROPRIATE / REQUIRED LOCATION IN ACCORDANCE WITH AS 3000 / 2009 IN LINE WITH WALL AND WINDOW JOINTS WHERE POSSIBLE.

METAL ROOF & GENERAL ROOF PLUMBING NOTES

- BHP KLIP-LOK HI-TEN 0.48 BMT metal roof decking with colourbond finish at min. 2 degree fall
- ROOFING SHALL BE TIGHT FITTING; excessive oversizing of penetration and / or undersizing of sheet lengths SHALL BE REJECTED
- Flash all service penetrations, such as vents, flues and the like with suitable flashings. EXCESSIVE AND OVERSIZED FLASHINGS AND CAPPINGS SHALL BE REJECTED
- Box Gutter 450 wide x min. 75 deep, colourbond box gutters, min. 0.55 BMT thick, set to min. 1 : 80 falls in directions as indicated on the roof plan. Provide 450 wide x 20mm thick continuous plywood gutter board under, supported at max. 450 ctrs
- Spreader Dia. 90mm C.B. spreader over roof deck, min. 3 outlets, refer to roof plan for locations
- Sumps 450 wide x min. 75 deeps, colourbond sumps, discharging into C.B. rainwater head with overflow pop. Installations may vary, allow to modify to suit location
- Downpipes (Dp) Dia. 90mm C.B. downpipes fixed to wall with sewer type brackets at max. 1800mm ctrs, evenly spaced unless noted otherwise
- Rainheads (Rh) 250 wide x 300 high x 125 deep, half round C.B. rainheads, min. 0.55 BMT, with dia. 30mm overflow pop. Installation may vary, allow to modify to suit location

PLUMBING NOTES

THE APPOINTED LICENSED PLUMBER IS TO SITE CHECK & LOCATE ALL SERVICES ON SITE PRIOR TO PROCEEDING WITH THE WORKS.
STORMWATER DRAINAGE TO BE CONNECTED TO THE LEGAL POINT OF DISCHARGE AS PER THE REQUIREMENTS OF THE GOVERNING BODIES.
IT IS THE RESPONSIBILITY OF THE PLUMBER TO ENSURE PROPOSED PIPES DO NOT ENCR OACH THE TITLE BOUNDARIES.
WHERE SITE CUT IS NECESSARY TO ACHIEVE APPROPRIATE F.G.L. & F.F.L. AGGI DRAINS SHALL BE CONNECTED TO THE STORMWATER DRAIN VIA SILT PITS.
PROPOSED SERVICE PIPES TO BE SUSPENDED UNDER FLOOR & TO BE CONNECTED TO STORMWATER DRAIN. PLUMBER TO ENSURE NEW SERVICES DOES NOT ENCR OACH EASEMENT.
IT IS THE RESPONSIBILITY OF THE QUALIFIED PLUMBER/CONTRACTOR TO SITE CHECK EXISTING LOCATION OF DRAIN/SEWER TO ENSURE THAT WORKS ARE CONDUCTED IN ACCORDANCE TO THE ANGLE OF REPOSE AND GUIDELINES SET OUT BY THE LOCAL AUTHORITIES.

STORMWATER NOTE

PROVIDE MIN. 140mm UPVC STORMWATER DRAIN & CONNECT TO THE LEGAL POINT OF DISCHARGE AS PER RELEVANT AUTHORITIES' APPROVAL & SPECIFICATIONS. DOWNPIPE LOCATIONS TO BE VERIFIED & WORKS TO BE CARRIED OUT BY A LICENSED/QUALIFIED PLUMBER.



A: 188 Buckhurst Street,
Hampton, VIC 3187
M: 0417 757 772
E: evan@kamvissis.com

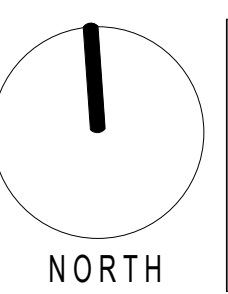
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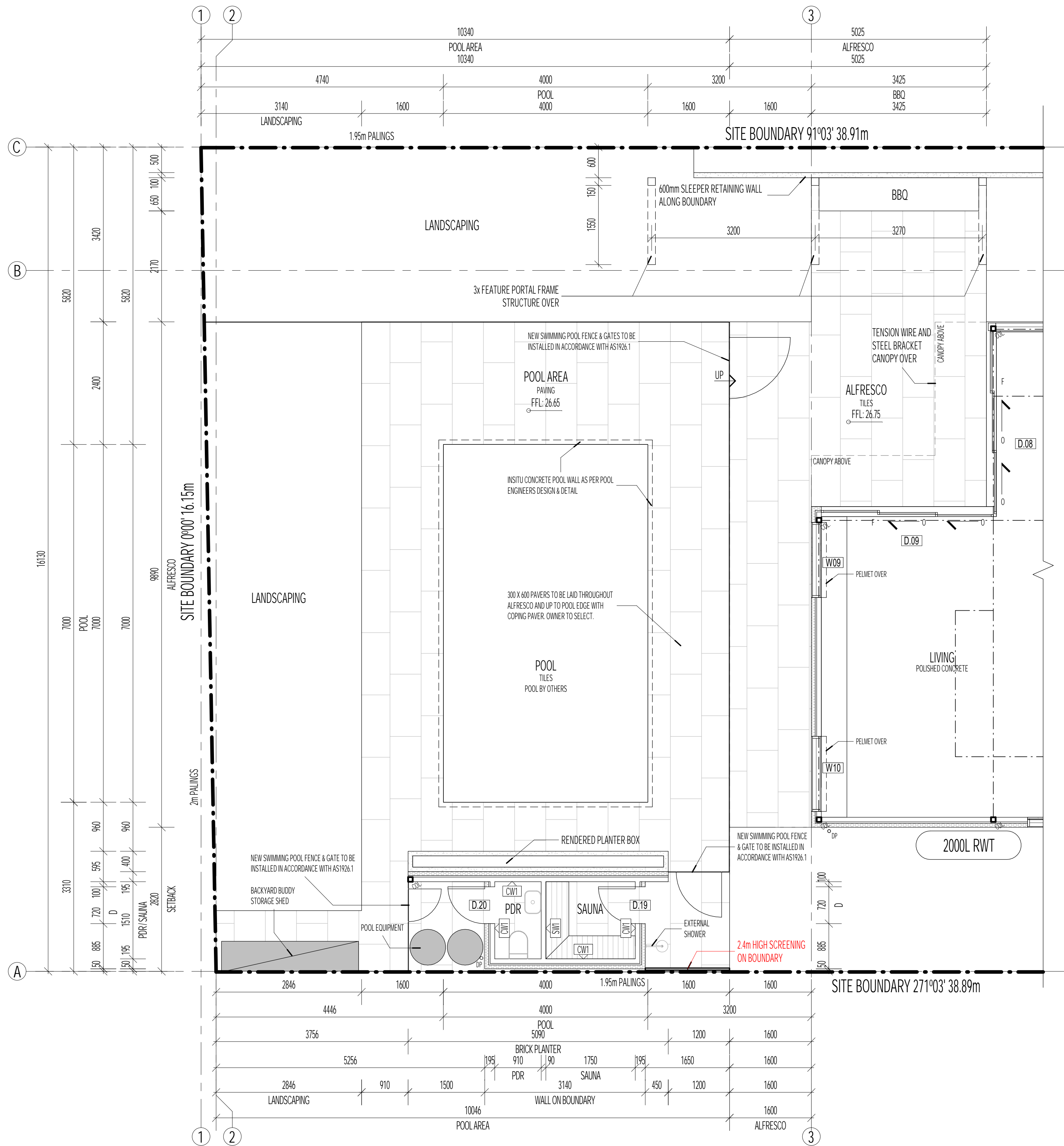
REV	DATE	DETAILS
*	11/06/2021	ISSUE FOR BUILDING PERMIT

SHEET NAME
ROOF PLAN

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT AT 11 STOREY AVENUE, HAMPTON
CLIENT NAME: CORINNA & BOB NEILL

DATE: DECEMBER 2020
SCALE: 1:100 AT A1 ; 1:200 AT A3
DWG No.: 2013
SHEET No.: A106 REVISION:





RAINWATER RETENTION NOTES

PROVISION FOR 2 x 2000L RAINWATER TANKS TO INDEPENDENTLY COLLECT WATER FROM DWELLINGS, BALCONY, TERRACE / COURTYARDS & DRIVEWAY CATCHMENT AREAS. RAINWATER COLLECTED & DISCHARGED INTO ENVISYS SENTINEL STORMWATER FILTRATION PIT OR SIMILAR. WATER TO BE DISCHARGED VIA A MECHANICALLY PUMPED OR FULLY CHARGED SYSTEM INTO A 1m³ 100mm RAINGARDEN, SETBACK 300mm FROM BUILDING BOUNDARY. RAINGARDEN TO BE FULLY LINED WITH AN IMPERVIOUS LINER AND HAVE ITS OVERFLOW & AGGI DRAIN CONNECTED TO THE LPOD.

THE INDEPENDENTLY COLLECTED FROM ROOF CATCHMENT AREAS IS TO BE COLLECTED AND DISCHARGED VIA A MECHANICALLY PUMPED, FULLY CHARGED OR GRAVITY FEED SYSTEM SELECTED BY OWNER IN 2000L CAPACITY RAINWATER TANK WHICH IS TO BE CONNECTED TO TOILETS FOR FLUSHING.

VENTILATION LEGEND

EXHAUST FAN FLUE TO PENETRATE ROOF OVER. ALL GAPS BETWEEN FLUE AND WALL / ROOF CLADDING MUST BE CAULKED AND SEALED. EXHAUST COUL TO BE INSTALLED ABOVE ROOF TO MANUFACTURERS SPECIFICATION.

VENTILATION COIL
NOTE: VENTILATION COIL SHOWN IN INDICATIVE LOCATIONS ONLY - FINAL LOCATION AND EQUIPMENT TYPE TO BE CONFIRMED WITH MECHANICAL CONTRACTOR.

ALL EXHAUST FANS ARE TO DISCHARGE TO OUTSIDE AIR AT A RATE OF 25L/S FOR A BATHROOM / SANITARY COMPARTMENT AND 40L/S FOR A KITCHEN OR LAUNDRY IN ACCORDANCE WITH NCC 2019, VOL 2, PART 3.8.7 CONDENSATION MANAGEMENT.

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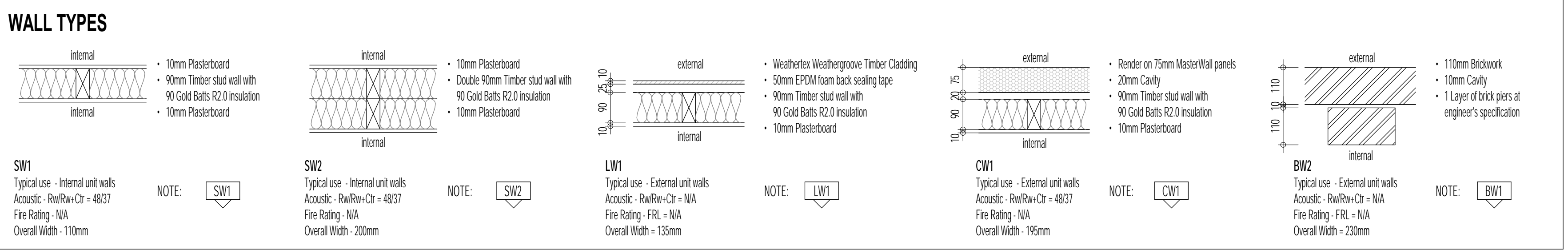
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LEGEND

MARK	DESCRIPTION
BBQ	BARBECUE PROVISION
BP	PILES TO STRUCTURAL ENGINEERS DESIGN & SPEC.
BS	BUILT IN BOOKSHELF JOINERY
C	BUILT IN CLIPBOARD
COL	STRUCTURAL COLUMN - REFER TO ENGINEERING.
DP	DOWNPIPE LOCATION ALLOW FOR 100 x 50mm STEEL COLORBOND DOWNPIPE.
DW	DISHWASHER PROVISION
EX	REEF - 250mm ROUND EXHAUST FAN AREFLOW - 320m ³ /HOUR WATTAGE: 35w SKU: 209031
FW	FLOOR WASTE TRAP
HWS	RINWAI - INFINITY - GAS CONTINUOUS FLOW HOT WATER SYSTEM
INT	SECURITY INTERCOM & KEYPAD ACCESS
LED	DENOTES CONCEALED LED LIGHTING STRIP UNDER HANT LIGHTING - 4.8w 1P67 12v DC 4000K LED STRIP PART NUMBER: H49723-IP67-40-4K
LIN	LINEN CLIPBOARD
P	PANTRY
RAH	ROOF ACCESS HATCH
REF	REFRIGERATOR PROVISION
RWH	COLORBOND STEEL RAINWATER HEAD
WD	WASHER & DRYER PROVISION
SB	SWITCHBOARD
SD	CEILING MOUNTED SMOKE ALARM
SHED	FLATROOF SHED BY EASY SHED. 2.22m x 0.78m d x 1.82m h - STEEL, SLATE GREY. MODEL: EF-S2308
SKY	SKYLIGHT LOCATION OVER
SN	STUDY NOOK



STRUCTURAL LEGEND

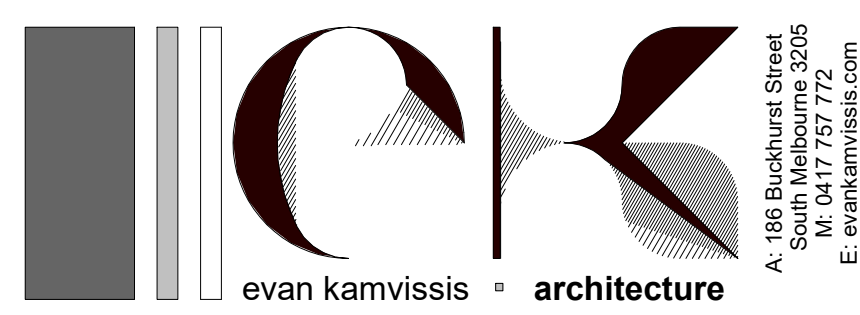
--- DENOTES STRUCTURAL BEAM OVER

□ DENOTES COLUMN

REFER TO ENGINEERING DRAWINGS FOR STRUCTURAL MEMBER SCHEDULES AND DETAILS.

FLOOR AREAS

TOTAL - 11 STOREY AVENUE, HAMPTON	SIZE (m ²)	SIZE (Sq)	PERCENT (%)
SITE AREA	626.8	67.4	100
SITE COVERAGE	223.3	24.0	35.6
GARDEN AREA	306.4	32.9	48.9
PERMEABILITY	256.6	27.6	40.9
PARTICULARS - 11 STOREY AVENUE, HAMPTON			
GROUND LEVEL	169.8	18.2	
FIRST LEVEL	114.5	12.3	
ALFRESCO	28.2	3.0	
GARAGE	39.3	4.2	



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REV	DATE	DETAILS
*	11/06/2021	ISSUE FOR BUILDING PERMIT

SHEET NAME

OUTDOOR LIVING AREA PLAN

PROJECT

PROPOSED RESIDENTIAL DEVELOPMENT AT
11 STOREY AVENUE, HAMPTON

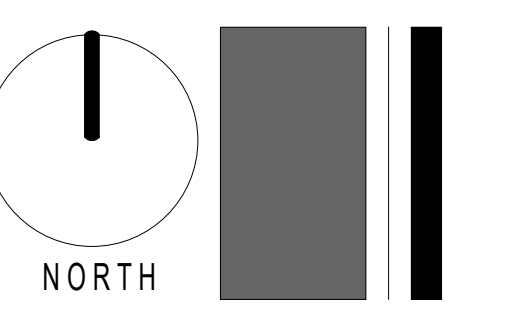
CLIENT NAME: CORINNA & BOB NEILL

DATE: JULY 2020

SCALE: 1:50 AT A1 / 1:100 AT A3

DWG No.: 2013

SHEET No.: A107 **REVISION:**



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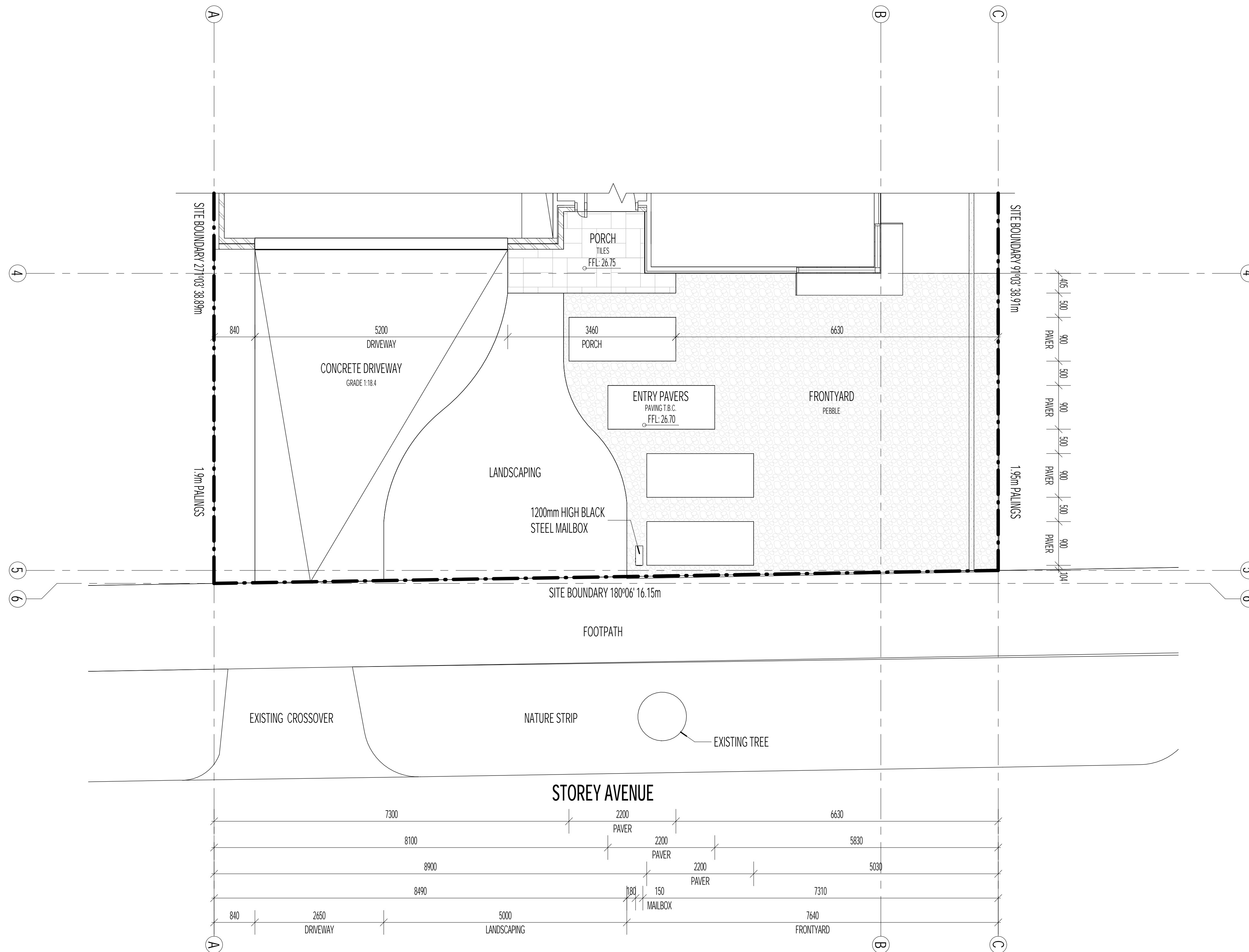
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 - ALL WATERPROOFING SYSTEMS TO COMPLY WITH AS 3401 / AS 1562 / AS 2904 / S544 / B09
 - EXPANSION JOINTS AT APPROPRIATE / REQUIRED LOCATION IN ACCORDANCE WITH AS 2600 / 2009 IN LINE WITH WALL AND WINDOW JOINTS WHERE POSSIBLE.

LEGEND

MARK	DESCRIPTION
BBO	BARBECUE PROVISION
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RAH	ROOF ACCESS HATCH
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RWH	COLORBOND STEEL RAINWATER HEAD
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SHED	FLATROOF SHED BY EASY SHED. 2.22m x 0.78m d x 1.82m h - STEEL SLATE GREY. MODEL: EF-S2308
SKY	SKYLIGHT LOCATION OVER
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FLOOR AREAS

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VENTILATION LEGEND

EXHAUST FAN FLUE TO PENETRATE ROOF OVER. ALL GAPS BETWEEN FLUE AND WALL / ROOF CLADDING MUST BE CALKED AND SEALED. EXHAUST COIL TO BE INSTALLED ABOVE ROOF TO MANUFACTURERS SPECIFICATION.

VENTILATION COIL
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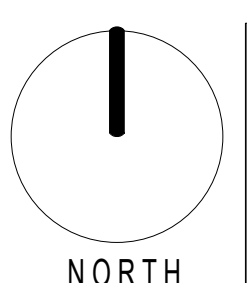
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REV	DATE	DETAILS
*	11/06/2021	ISSUE FOR BUILDING PERMIT

SHEET NAME
FRONT GARDEN PLAN

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT AT 11 STOREY AVENUE, HAMPTON
CLIENT NAME: CORINNA & BOB NEILL

DATE:	JULY 2020
SCALE:	1:50 AT A1 / 1:100 AT A3
DWG No.:	2013
SHEET No.:	A108 REVISION:



ARCHITECTURAL GENERAL NOTES

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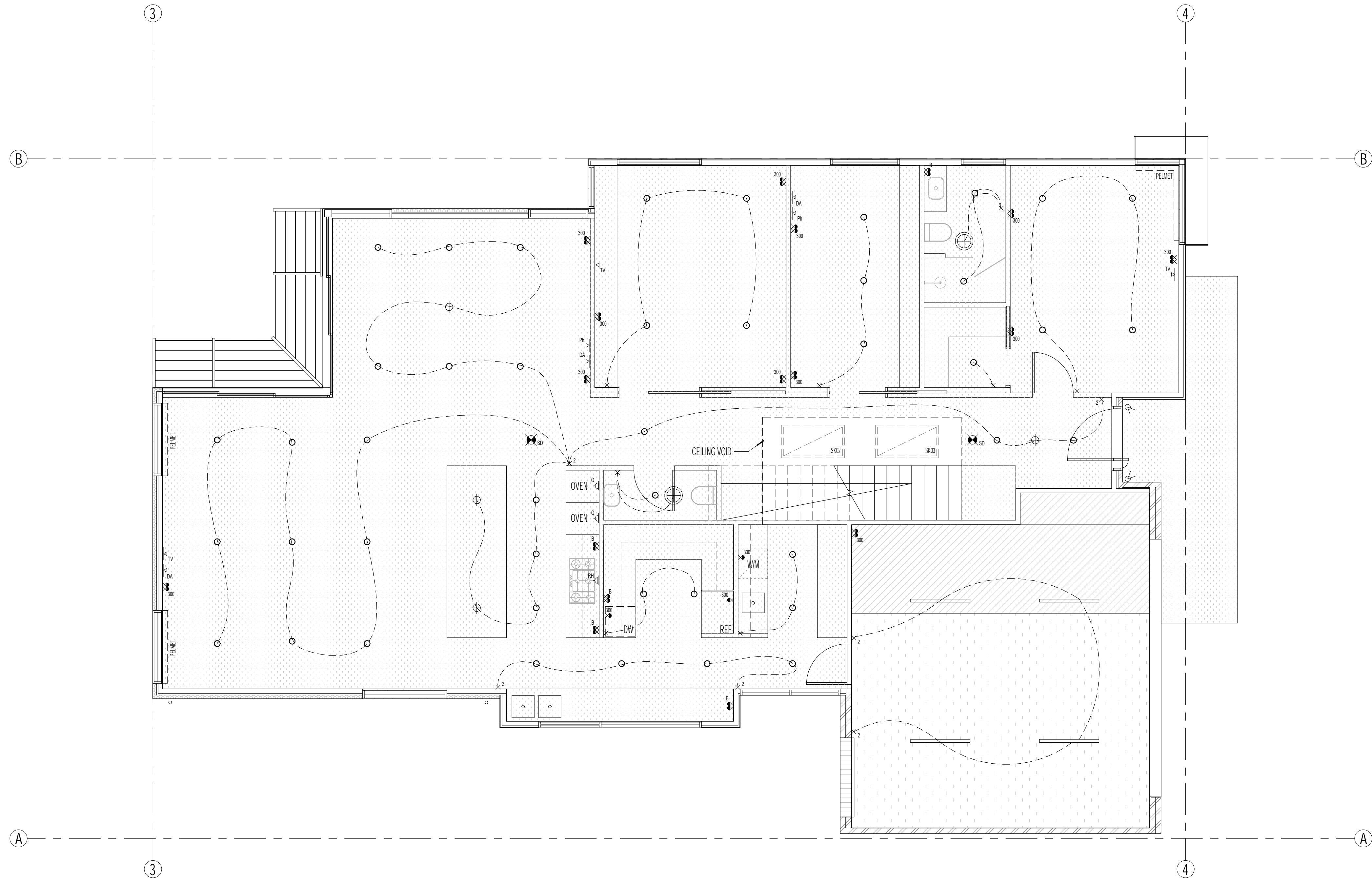
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- NOTE:
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 - ALL WATERPROOFING SYSTEMS TO COMPLY WITH AS 3420 / AS 1562 / AS 2994 / S44-1039
 - EXPANSION JOINTS AT APPROPRIATE / REQUIRED LOCATION IN ACCORDANCE WITH AS3400 / 2009 IN LINE WITH WALL AND WINDOW JOINTS WHERE POSSIBLE.



NOTE: LOCATION OF ALL ELECTRICAL LIGHTS, SWITCHES, POWERPOINTS AND ALL OTHER ELECTRICAL AND MECHANICAL EQUIPMENT ARE INDICATIVE ONLY. EXACT LOCATION AND TYPE TO BE CONFIRMED BY CLIENT WITH ELECTRICAL/MECHANICAL CONTRACT AND BUILDER ON SITE PRIOR TO INSTALLATION.

NOTE: EXTERNAL LIGHTS, SWITCHES AND POWERPOINTS ARE NOT SHOWN. EXACT LOCATION AND TYPE TO BE CONFIRMED BY CLIENT WITH ELECTRICAL CONTRACT AND BUILDER ON SITE PRIOR TO INSTALLATION.

EXHAUST SYSTEMS INSTALLED MUST HAVE A MINIMUM FLOW RATE OF 25LS FOR BATHROOM/ENSUITE, AND 40 L/S FOR KITCHEN LAUNDRY. EXHAUST FANS AS PER AS1668.2 INSTALLED IN ALL NEW BATHROOMS AND ENSUITES THAT DO NOT HAVE A WINDOW WITH AN OPENABLE AREA THAT IS 5% OF THE FLOOR AREA OF THE ROOM. EXHAUST FANS TO DISCHARGE DIRECTLY OUTSIDE.

SD- DENOTES HARDWIRED AND INTERCONNECTED SMOKE DETECTORS COMPLYING WITH AS3786-1993, CEILING MOUNTED WHERE INDICATED ON DESIGNER'S DRAWINGS.

ELECTRICAL AND LIGHTING LEGEND	
⊗	LIGHT SWITCH WITH DIMMER
×2	2 WAY SWITCH
×3	3 WAY SWITCH
⊕	CEILING EXHAUST FAN (TYP. CEILING EXHAUST FANS (25LS PER FIXTURE) WITH SELF-CLOSING DAMPER AND DISCHARGES TO OUTSIDE
○	LOW VOLTAGE DOWNLIGHT
⇨	DIRECTIONAL LOW VOLTAGE DOWNLIGHT
LED	LED STRIP LIGHT (L1)
↙	ADJUSTABLE DIRECTIONAL EXTERNAL LIGHT
⊕	FEATURE PENDANT
△	WALL MOUNTED MINI FLUORESCENT
⊕	INTERNAL WALL MOUNTED UP / DOWN LIGHT
○	SINGLE 40W SUBLINE FLUORESCENT
⊕	EXTERIOR BOLLARD WITH LOW VOLTAGE LIGHTING WITH DUSK TO DAWN SENSOR AND MANUAL SWITCH OVERRIDE INSIDE
●	EXTERIOR INGROUND UPLIGHT
⊕	WEATHERPROOF PERGOLA LIGHTS
⊕	MOTION SENSOR LIGHT
⊕	EXTERNAL WALL MOUNTED UP / DOWN LIGHT
⊕	EXTERNAL WALL MOUNTED FLUORESCENT LIGHTING
○	SINGLE GPO (NUMBER INDICATES HEIGHT FROM FLOOR)
○	DOUBLE GPO (NUMBER INDICATES HEIGHT FROM FLOOR)
○	SINGLE EXTERNAL GPO (NUMBER INDICATES HEIGHT FROM FLOOR)
○	DOUBLE EXTERNAL GPO (NUMBER INDICATES HEIGHT FROM FLOOR)
⊕	DOUBLE GPO, CONCEALED IN FLOOR
⊕	DOUBLE GPO ABOVE BENCH
⊕	20AMP 3 PHASE ISOLATION SWITCH
⊕	ELECTRICAL RANGE HOOD CONNECTION
⊕	ELECTRICAL OVEN CONNECTION
⊕	SWITCHBOARD, RECESSED INTO WALL OR SURFACE MOUNTED (IF IN CLIPD)
⊕	METER BOARD AS DIRECTED ON SITE
⊕	SMOKE DETECTOR TO AS1670 & AS3876
⊕	VIDEO INTERCOM
⊕	SECURITY CCTV MONITOR
⊕	3 OUTLETS IN COMMON SURROUND TO ALLOW FOR FREE TO AIR TV, FOXTEL AND FOXTEL IQ
⊕	PHONE CONNECTION
⊕	INTERNET DATA CONNECTION (CAT 6 CABLE)
⊕	ACCESS HATCH
⊕	AC DIFFUSER CEILING MOUNTED LINEAL TYPE
⊕	RETURN AIR
⊕	PROVISION FOR 160 X 140 X 380 TESLA WALL CONNECTOR ELECTRIC VEHICLE CHARGER
⊕	WALL MOUNTED MOTION SENSOR
⊕	WALL MOUNTED STEP LIGHT

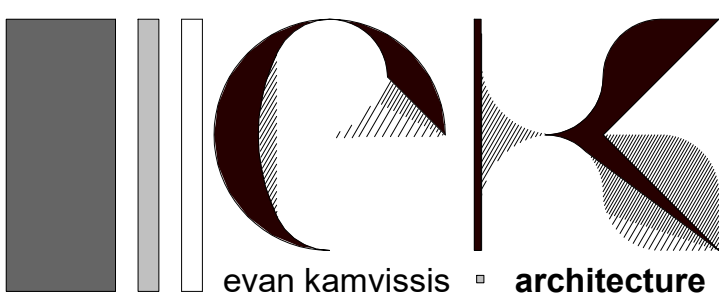
LIGHTING CALCULATION

11 STOREY AVENUE, HAMPTON	AREA (m ²)	MAX ILLUMINATION POWER DENSITY (W/m ²)	TOTAL MAX WATTS
ENTRY PORCH	1.5	4 W/m ²	6 Watts
GROUND FLOOR	183.8	5 W/m ²	919 Watts
GARAGE	40.2	5 W/m ²	201 Watts
FIRST FLOOR	115.4	5 W/m ²	577 Watts
			TOTAL 1703 Watts

PROPOSED DWELLING TO HAVE NO MORE THAN MAXIMUM ALLOWABLE WATTAGE TO COMPLY WITH BCA.

CEILING LEGEND

	2700mm HIGH CEILING		3000mm HIGH CEILING
	3150mm HIGH CEILING		3200mm HIGH CEILING



A: 188 Buckhurst Street,
Hampton VIC 3187
M: 0417 757 772
E: evan@kamvissis.com

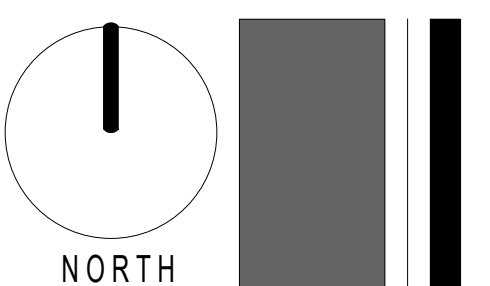
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REV	DATE	DETAILS
*	11/06/2021	ISSUE FOR BUILDING PERMIT

SHEET NAME
GROUND FLOOR RCP

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT AT 11 STOREY AVENUE, HAMPTON
CLIENT NAME: CORINNA & BOB NEILL

DATE: JULY 2020
SCALE: 1:50 AT A1 / 1:100 AT A3
DWG No.: 2013
SHEET No.: A109 REVISION:



ARCHITECTURAL GENERAL NOTES

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND GENERAL WATER TIGHTNESS OF NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.

THE BUILDER SHALL TAKE ALL THE STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.

THE OWNER/BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS, SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, BUILDING REGULATIONS, LOCAL BY-LAWS & TOWN PLANNING REQUIREMENTS.

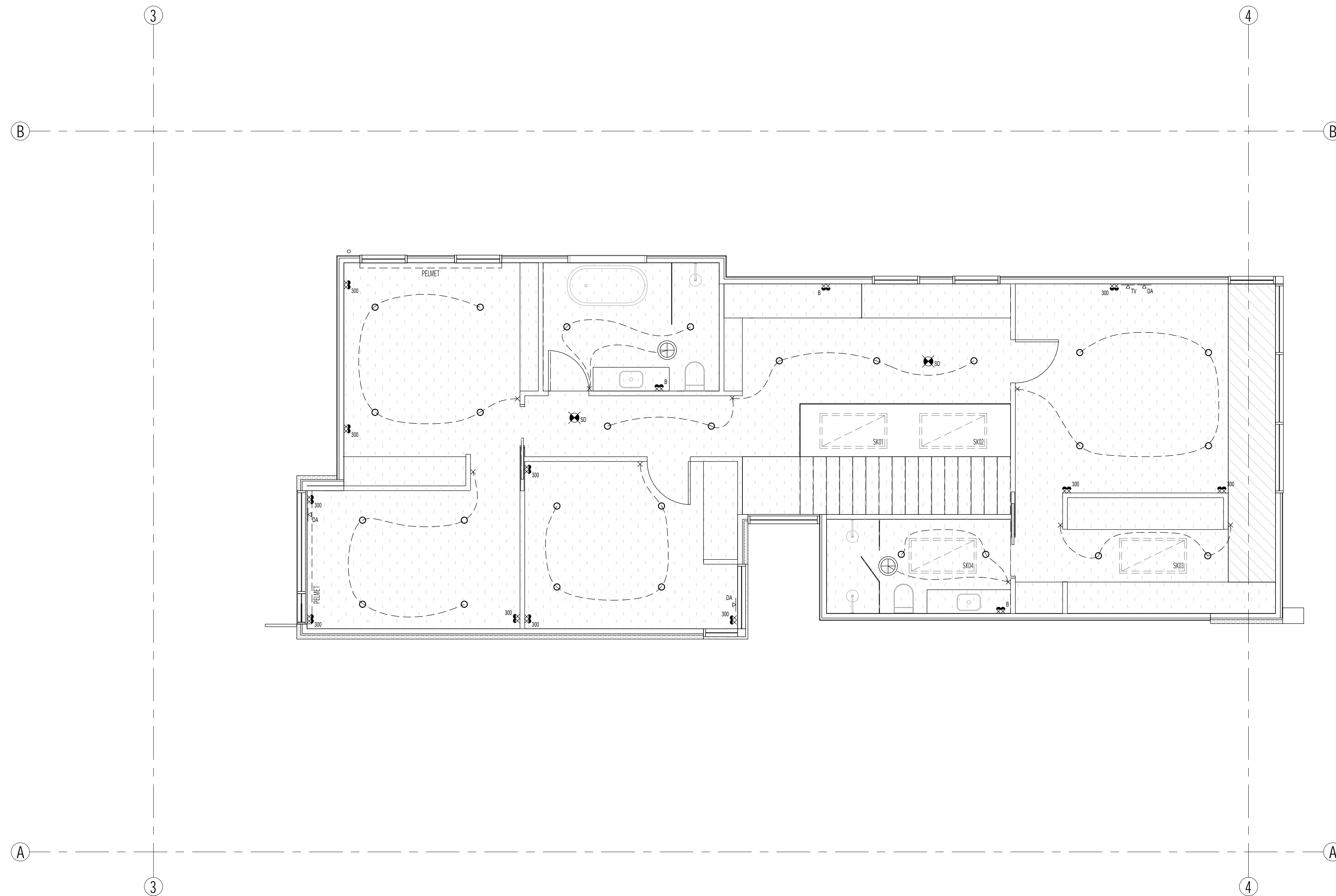
INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITIES REQUIREMENTS.

THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AUTHORIZATION FOR THE USE OR A CONTRACT VARIATION. ANY SAID VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING THE SAID VARIATION.

DO NOT SCALE DRAWINGS - USE WRITTEN DIMENSIONS ONLY.
REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION AND APPROVAL IN WRITING.

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- NOTE:**
- ALL EXPOSED STEEL WORK TO BE 316 MARINE GRADE STAINLESS STEEL UNLESS APPROVED OTHERWISE BY CLIENT.
 - ALL WATERPROOFING SYSTEMS TO COMPLY WITH AS 3420 / AS 1562 / AS 2904 / SAA HB59
 - EXPANSION JOINTS AT APPROPRIATE / REQUIRED LOCATION IN ACCORDANCE WITH AS 3600 / 2009 IN LINE WITH WALL AND WINDOW JOINTS WHERE POSSIBLE.



NOTE: LOCATION OF ALL ELECTRICAL, LIGHTS, SWITCHES, POWERPOINTS AND ALL OTHER ELECTRICAL AND MECHANICAL EQUIPMENT ARE INDICATIVE ONLY. EXACT LOCATION AND TYPE TO BE CONFIRMED BY CLIENT WITH ELECTRICAL/MECHANICAL CONTRACT AND BUILDER ON SITE PRIOR TO INSTALLATION.

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SD- DENOTES HARDWIRED AND INTERCONNECTED SMOKE DETECTORS COMPLYING WITH AS3786-1993, CEILING MOUNTED WHERE INDICATED ON DESIGNER'S DRAWINGS.

ELECTRICAL AND LIGHTING LEGEND	
⊗	LIGHT SWITCH WITH DIMMER
× 2	2 WAY SWITCH
× 3	3 WAY SWITCH
⊕	CEILING EXHAUST FAN (TYP. CEILING EXHAUST FANS (25LS PER FIXTURE) WITH SELF-CLOSING DAMPER AND DISCHARGES TO OUTSIDE
○	LOW VOLTAGE DOWNLIGHT
⇨	DIRECTIONAL LOW VOLTAGE DOWNLIGHT
LED	LED STRIP LIGHT (L1)
↕	ADJUSTABLE DIRECTIONAL EXTERNAL LIGHT
◇	FEATURE PENDANT
△	WALL MOUNTED MINI FLUORESCENT
⊕	INTERNAL WALL MOUNTED UP / DOWN LIGHT
○	SINGLE 40W SUBLINE FLUORESCENT
⊕	EXTERIOR BOLLARD WITH LOW VOLTAGE LIGHTING WITH DUSK TO DAWN SENSOR AND MANUAL SWITCH OVERRIDE INSIDE
●	EXTERIOR INGROUND UPLIGHT
⊙	WEATHERPROOF PERGOLA LIGHTS
⊕	MOTION SENSOR LIGHT
⊕	EXTERNAL WALL MOUNTED UP / DOWN LIGHT
⊕	EXTERNAL WALL MOUNTED FLUORESCENT LIGHTING
1	SINGLE GPO (NUMBER INDICATES HEIGHT FROM FLOOR)
2	DOUBLE GPO (NUMBER INDICATES HEIGHT FROM FLOOR)
1000	SINGLE EXTERNAL GPO (NUMBER INDICATES HEIGHT FROM FLOOR)
1000	DOUBLE EXTERNAL GPO (NUMBER INDICATES HEIGHT FROM FLOOR)
F	DOUBLE GPO, CONCEALED IN FLOOR
DB	DOUBLE GPO ABOVE BENCH
AC	20AMP 3 PHASE ISOLATION SWITCH
EH	ELECTRICAL RANGE HOOD CONNECTION
EO	ELECTRICAL OVEN CONNECTION
SW	SWITCHBOARD, RECESSED INTO WALL OR SURFACE MOUNTED (IF IN CLIPD)
MA	METER BOARD AS DIRECTED ON SITE
SD	SMOKE DETECTOR TO AS1670 & AS3876
INT	VIDEO INTERCOM
SEC	SECURITY CCTV MONITOR
TV	3 OUTLETS IN COMMON SURROUND TO ALLOW FOR FREE TO AIR TV, FOXTEL AND FOXTEL IQ
PH	PHONE CONNECTION
DA	INTERNET DATA CONNECTION (CAT 6 CABLE)
HA	ACCESS HATCH
AC	AC DIFFUSER CEILING MOUNTED LINEAL TYPE
RA	RETURN AIR
EV	PROVISION FOR 160 X 140 X 380 TESLA WALL CONNECTOR ELECTRIC VEHICLE CHARGER
MS	WALL MOUNTED MOTION SENSOR
SL	WALL MOUNTED STEP LIGHT

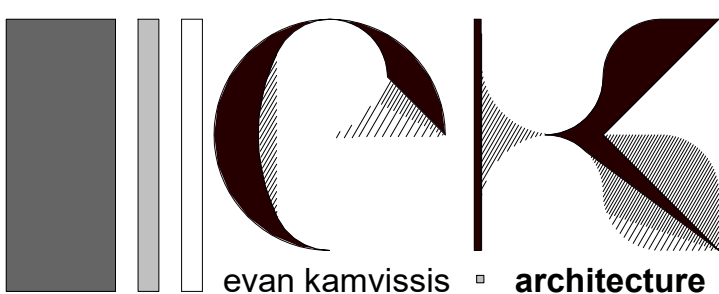
LIGHTING CALCULATION

11 STOREY AVENUE, HAMPTON	AREA (m²)	MAX ILLUMINATION POWER DENSITY (W/m²)	TOTAL MAX WATTS
ENTRY PORCH	1.5	4 W/m²	6 Watts
GROUND FLOOR	183.8	5 W/m²	919 Watts
GARAGE	40.2	5 W/m²	201 Watts
FIRST FLOOR	115.4	5 W/m²	577 Watts
			TOTAL 1703 Watts

PROPOSED DWELLING TO HAVE NO MORE THAN MAXIMUM ALLOWABLE WATTAGE TO COMPLY WITH BCA.

CEILING LEGEND

	2700mm HIGH CEILING		3000mm HIGH CEILING
	3150mm HIGH CEILING		3200mm HIGH CEILING



A: 188 Buckhurst Street
Hampton VIC 3187
M: 0417 757 772
E: evan@kamvissis.com

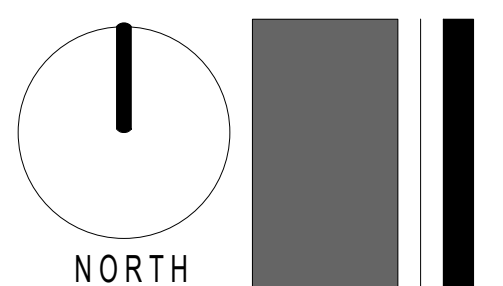
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REV	DATE	DETAILS
*	11/06/2021	ISSUE FOR BUILDING PERMIT

SHEET NAME
FIRST FLOOR RCP

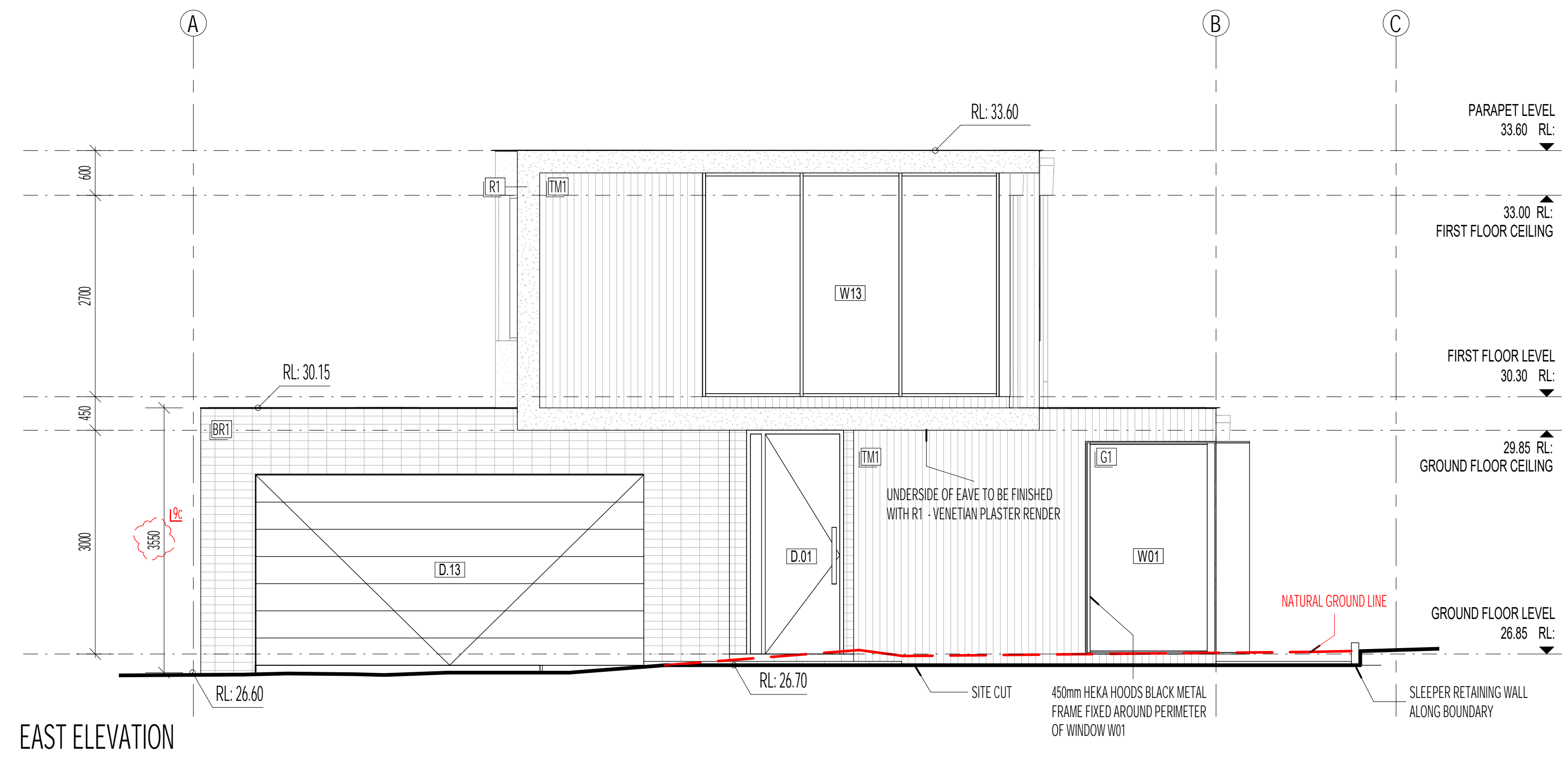
PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT AT 11 STOREY AVENUE, HAMPTON
CLIENT NAME: CORINNA & BOB NEILL

DATE:	JULY 2020
SCALE:	1:50 AT A1 / 1:100 AT A3
DWG No.:	2013
SHEET No.:	A110 REVISION:

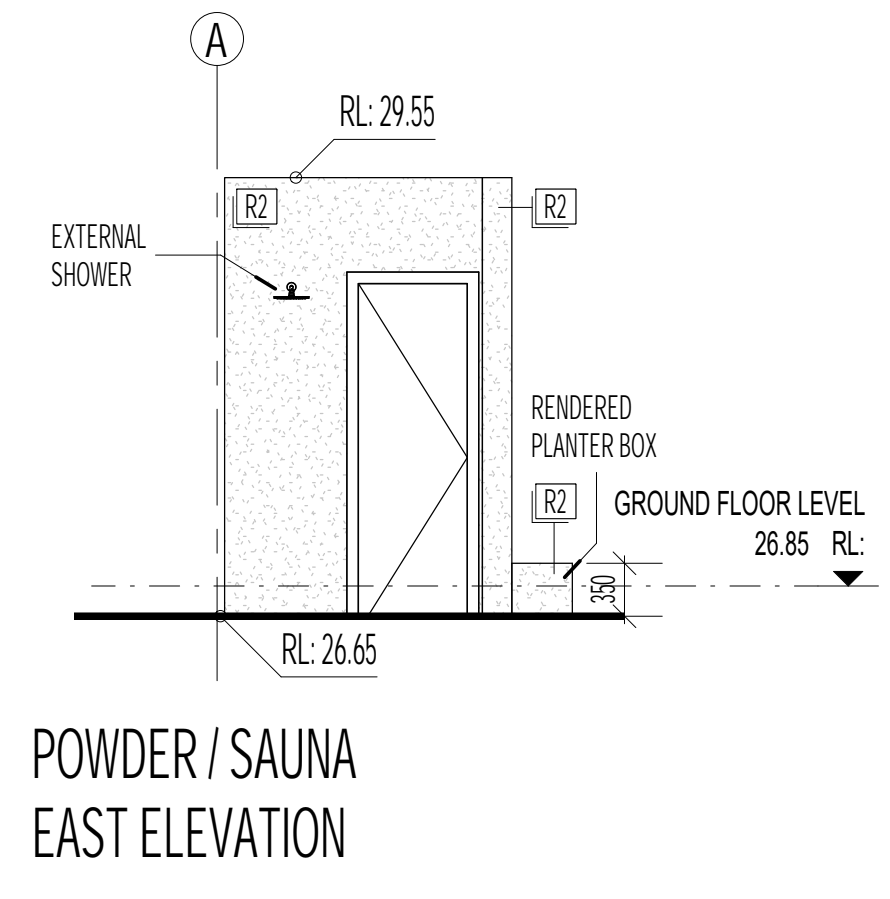


MATERIALS & FINISHES SCHEDULE

BR1	MATERIAL: AUSTRAL BRICKS METALLIX FINISH: EMERY
R1	MATERIAL: VENETIAN PLASTER RENDER FINISH: BLACK
R2	MATERIAL: RENDER FINISH: CONCRETE
PV1	MATERIAL: PAVING FINISH: BLUESTONE
M1	MATERIAL: METAL FINISH: BLACK/NIGHT SKY
TM1	MATERIAL: WEATHEREX WEATHER-GROOVE WOODSMAN 75mm TIMBER CLADDING FINISH: BLACK
G1	MATERIAL: GLAZING FINISH: CLEAR GLASS
G2	MATERIAL: GLAZING FINISH: OBSCURED FILM OR SIMILAR



EAST ELEVATION



POWDER / SAUNA
EAST ELEVATION

ARCHITECTURAL GENERAL NOTES

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INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITIES REQUIREMENTS.

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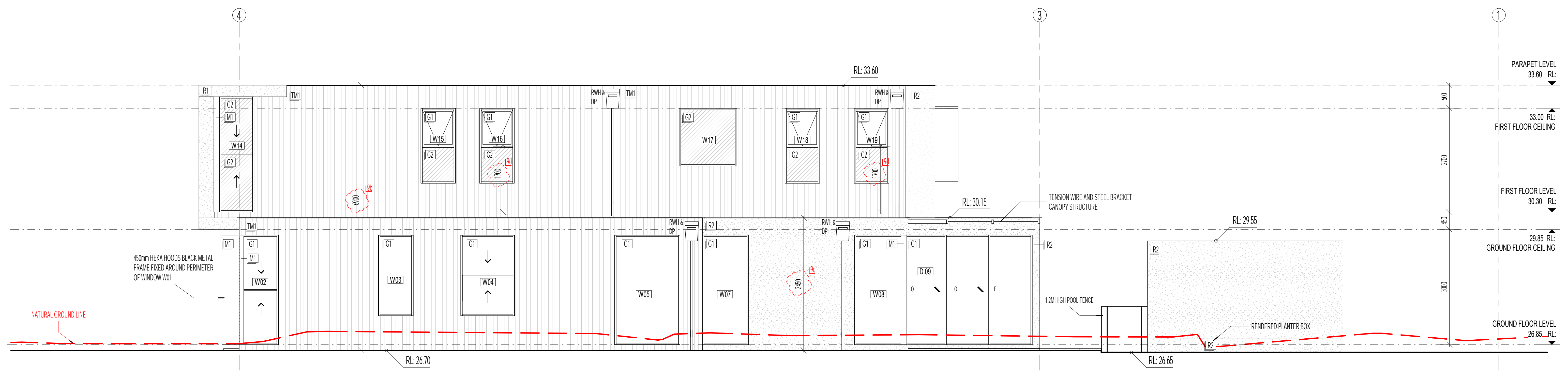
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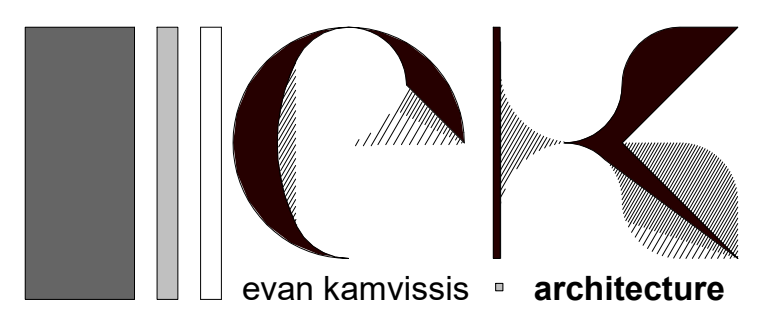
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NOTE:

- ALL EXPOSED STEEL WORK TO BE 316 MARINE GRADE STAINLESS STEEL UNLESS APPROVED OTHERWISE BY CLIENT.
- ALL WATERPROOFING SYSTEMS TO COMPLY WITH AS 3400 / AS 1562 / AS 2994 / SAA H89.
- EXPANSION JOINTS AT APPROPRIATE / REQUIRED LOCATION IN ACCORDANCE WITH AS 8001 / 2009 IN LINE WITH WALL AND WINDOW JOINTS WHERE POSSIBLE.



NORTH ELEVATION



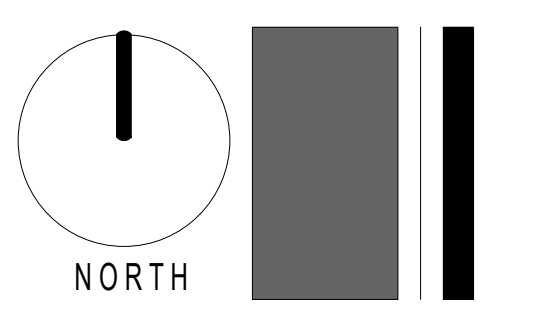
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REV	DATE	DETAILS
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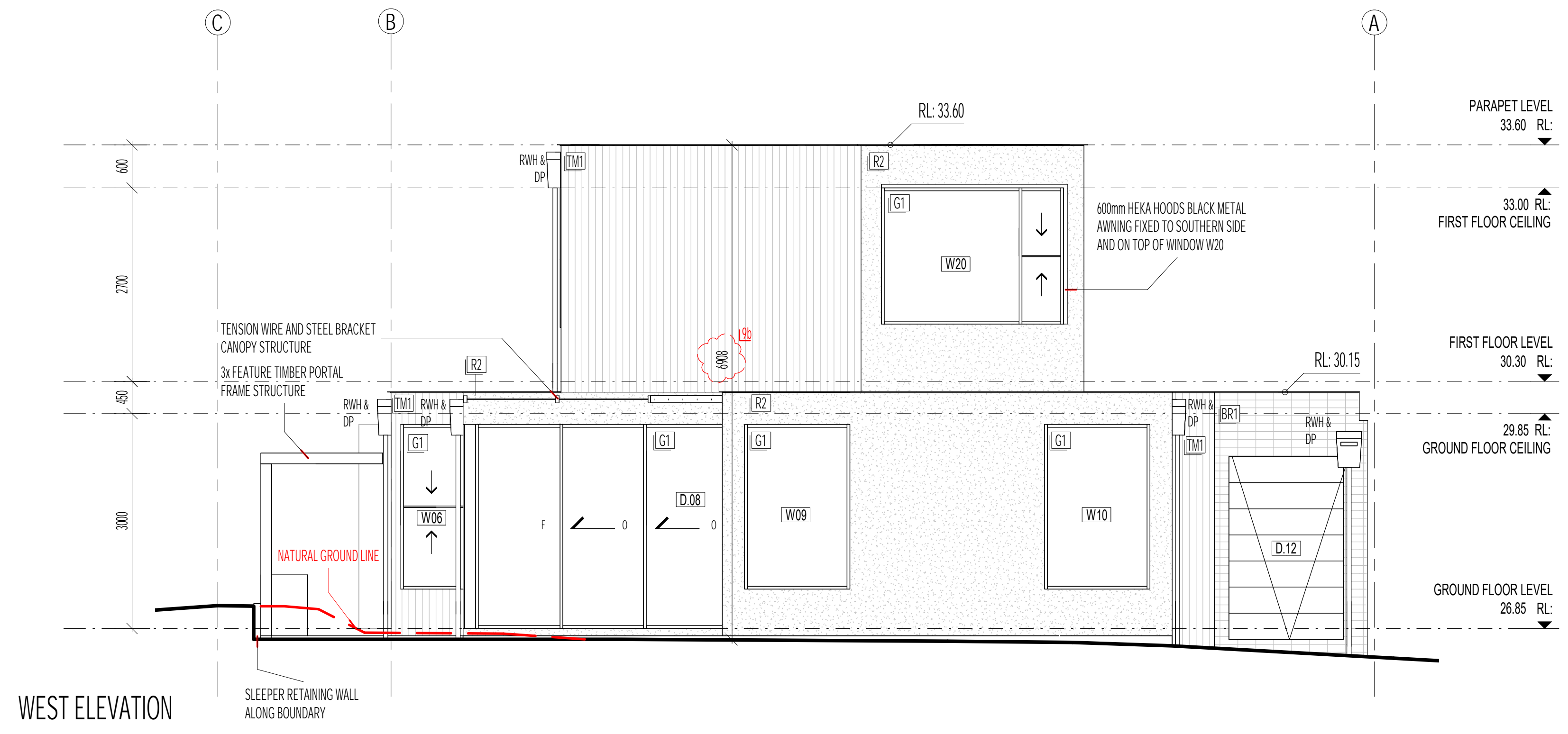
SHEET NAME	NORTH & EAST ELEVATIONS
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PROJECT	PROPOSED RESIDENTIAL DEVELOPMENT AT 11 STOREY AVENUE, HAMPTON
CLIENT NAME:	CORINNA & BOB NEILL

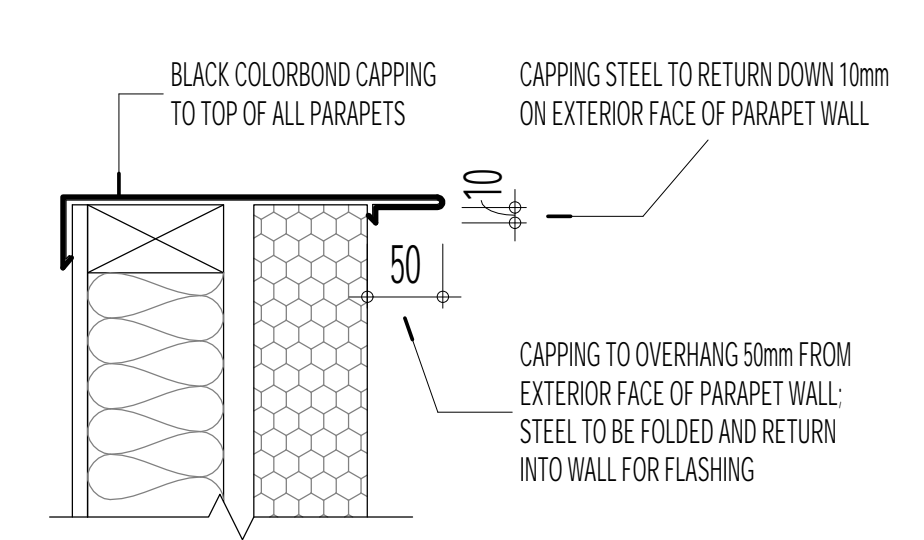
DATE:	JULY 2020
SCALE:	1:50 AT A1 / 1:100 AT A3
DWG No.:	2013
SHEET No.:	A201 REVISION:



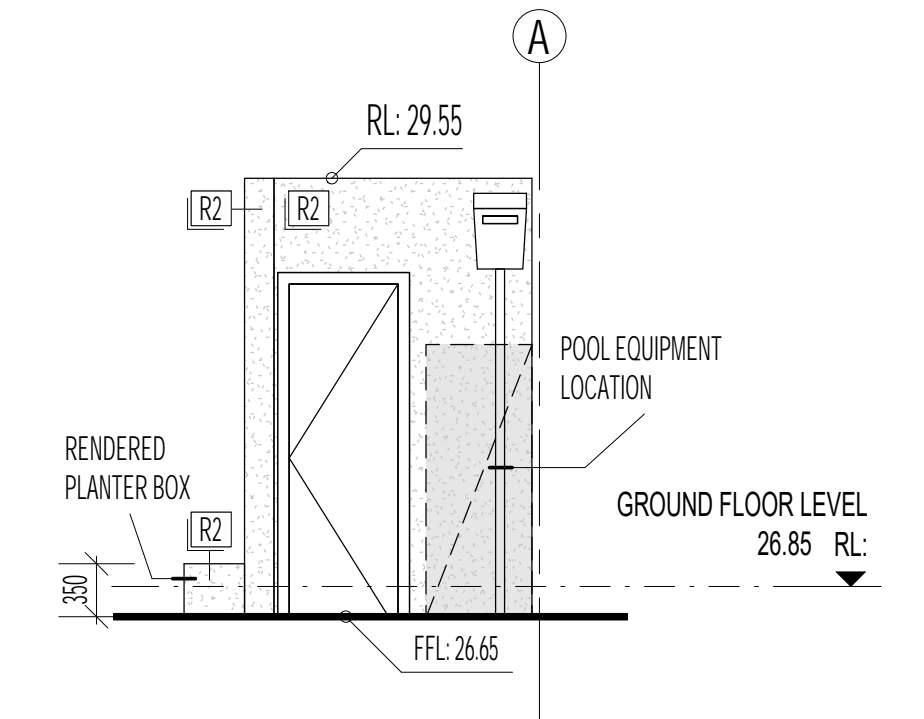
MATERIALS & FINISHES SCHEDULE	
BR1	MATERIAL: AUSTRAL BRICKS METALLIX FINISH: EMERY
R1	MATERIAL: VENETIAN PLASTER RENDER FINISH: BLACK
R2	MATERIAL: RENDER FINISH: CONCRETE
PV1	MATERIAL: PAVING FINISH: BLUESTONE
M1	MATERIAL: METAL FINISH: BLACK/NIGHT SKY
TM1	MATERIAL: WEATHEREX WEATHER-GROOVE WOODSMAN 75mm TIMBER CLADDING FINISH: BLACK
G1	MATERIAL: GLAZING FINISH: CLEAR GLASS
G2	MATERIAL: GLAZING FINISH: OBSCURED FILM OR SIMILAR



WEST ELEVATION



PARAPET CAPPING DETAIL
1:5 AT A1 / 1:10 AT A3



POWDER / SAUNA
WEST ELEVATION

ARCHITECTURAL GENERAL NOTES

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.

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INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITIES REQUIREMENTS.

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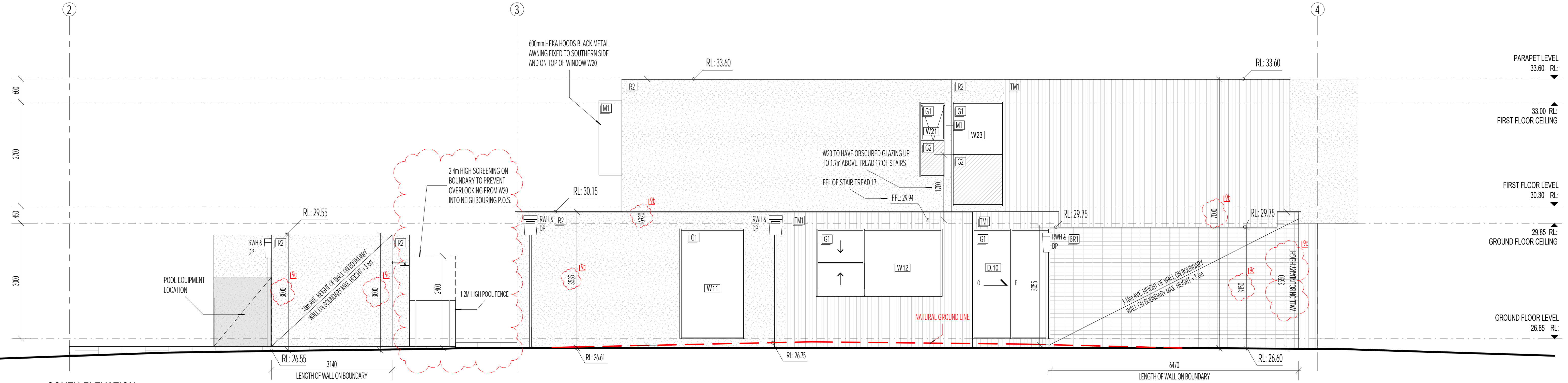
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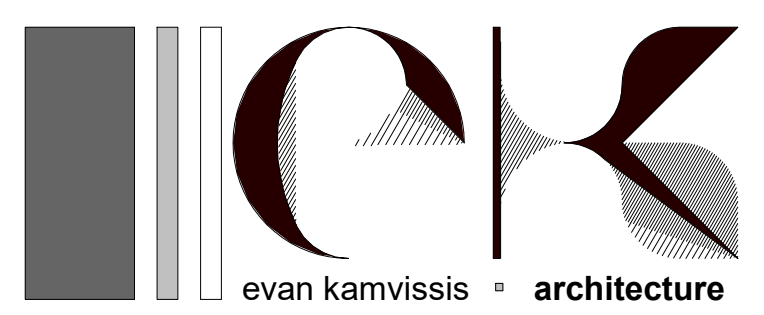
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NOTE:

- ALL EXPOSED STEEL WORK TO BE 316 MARINE GRADE STAINLESS STEEL UNLESS APPROVED OTHERWISE BY CLIENT.
- ALL WATERPROOFING SYSTEMS TO COMPLY WITH AS 3400 / AS 1562 / AS 2904 / S344-1809
- EXPANSION JOINTS AT APPROPRIATE / REQUIRED LOCATION IN ACCORDANCE WITH AS 3600 / 2009 IN LINE WITH WALL AND WINDOW JOINTS WHERE POSSIBLE.



SOUTH ELEVATION



186 Buckhurst Street
Hampton VIC 3187
M: 0417 757 772
E: evan@kamvissis.com

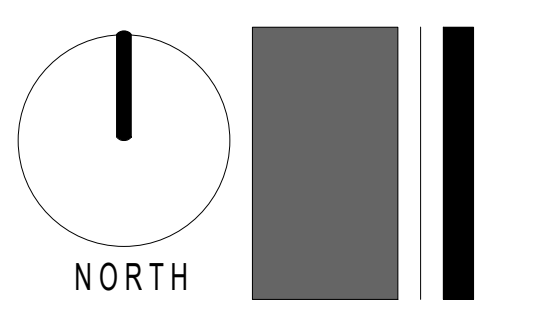
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REV	DATE	DETAILS
*	11/06/2021	ISSUE FOR BUILDING PERMIT

SHEET NAME
SOUTH & WEST ELEVATIONS

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT AT 11 STOREY AVENUE, HAMPTON
CLIENT NAME: CORINNA & BOB NEILL

DATE:	JULY 2020
SCALE:	1:50 AT A1 / 1:100 AT A3
DWG No.:	2013
SHEET No.:	A202 REVISION:



ARCHITECTURAL GENERAL NOTES

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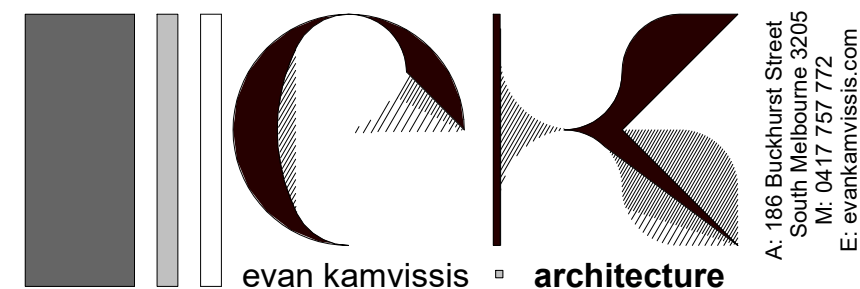
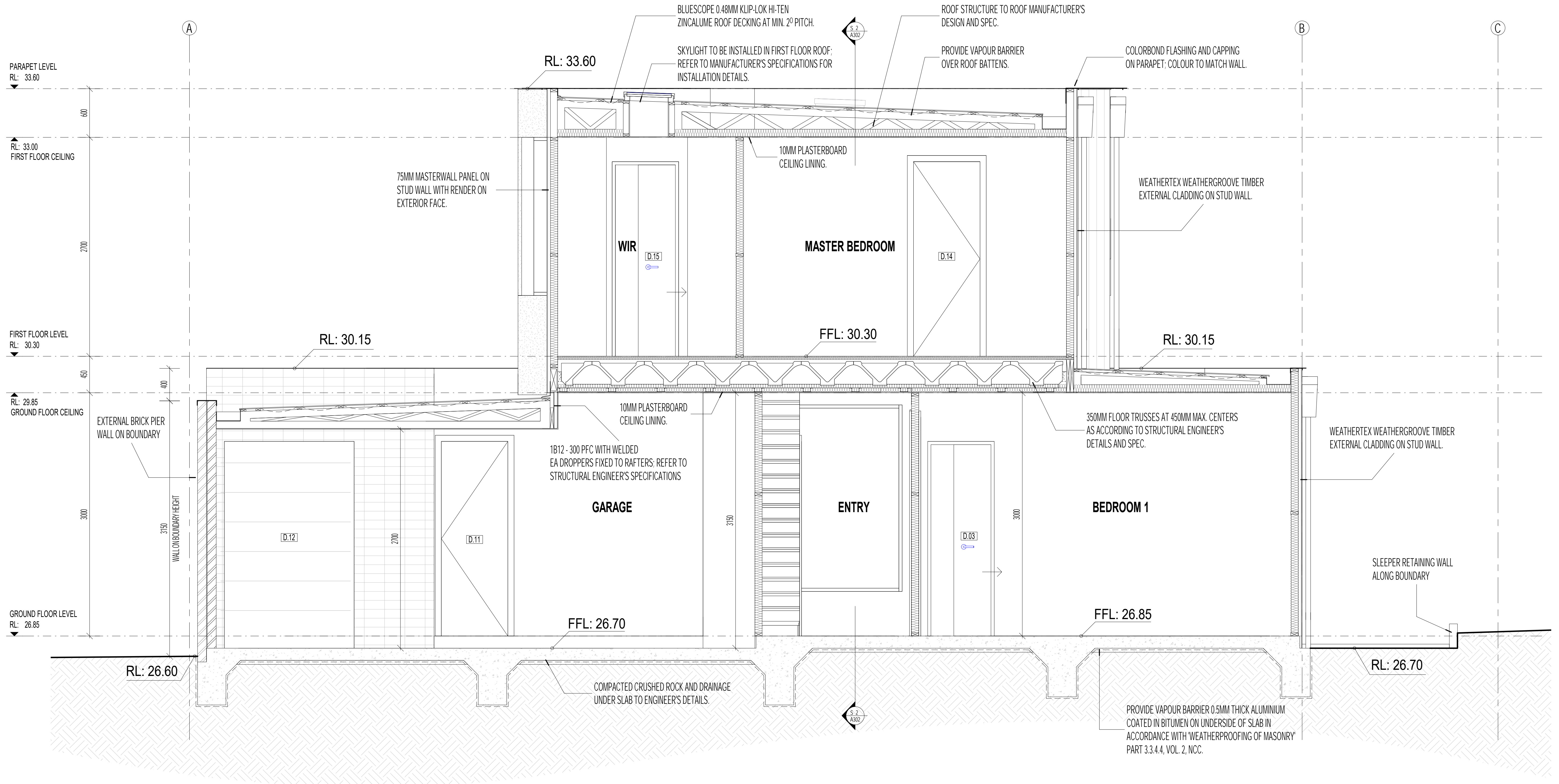
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 • ALL WATERPROOFING SYSTEMS TO COMPLY WITH AS 3420 / AS 1562 / AS 2994 / SAA H639.
 • EXPANSION JOINTS AT APPROPRIATE / REQUIRED LOCATION IN ACCORDANCE WITH AS 3600 / 2009 IN LINE WITH WALL AND WINDOW JOINTS WHERE POSSIBLE.



186 Buchburt Street
 North Sydney NSW 1585
 M: 0417 757 772
 E: evan@kamvissis.com

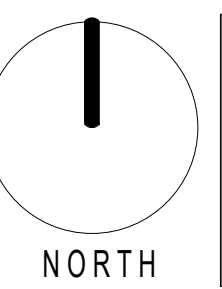
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REV	DATE	DETAILS
*	11/06/2021	ISSUE FOR BUILDING PERMIT

SHEET NAME	SECTION
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PROJECT	PROPOSED RESIDENTIAL DEVELOPMENT AT 11 STOREY AVENUE, HAMPTON
CLIENT NAME:	CORINNA & BOB NEILL

DATE:	JULY 2020
SCALE:	1:25 AT A1 / 1:50 AT A3
DWG No.:	1911
SHEET No.:	A301 REVISION:



ARCHITECTURAL GENERAL NOTES

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THE OWNER/BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS, SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, BUILDING REGULATIONS, LOCAL BY-LAWS & TOWN PLANNING REQUIREMENTS.

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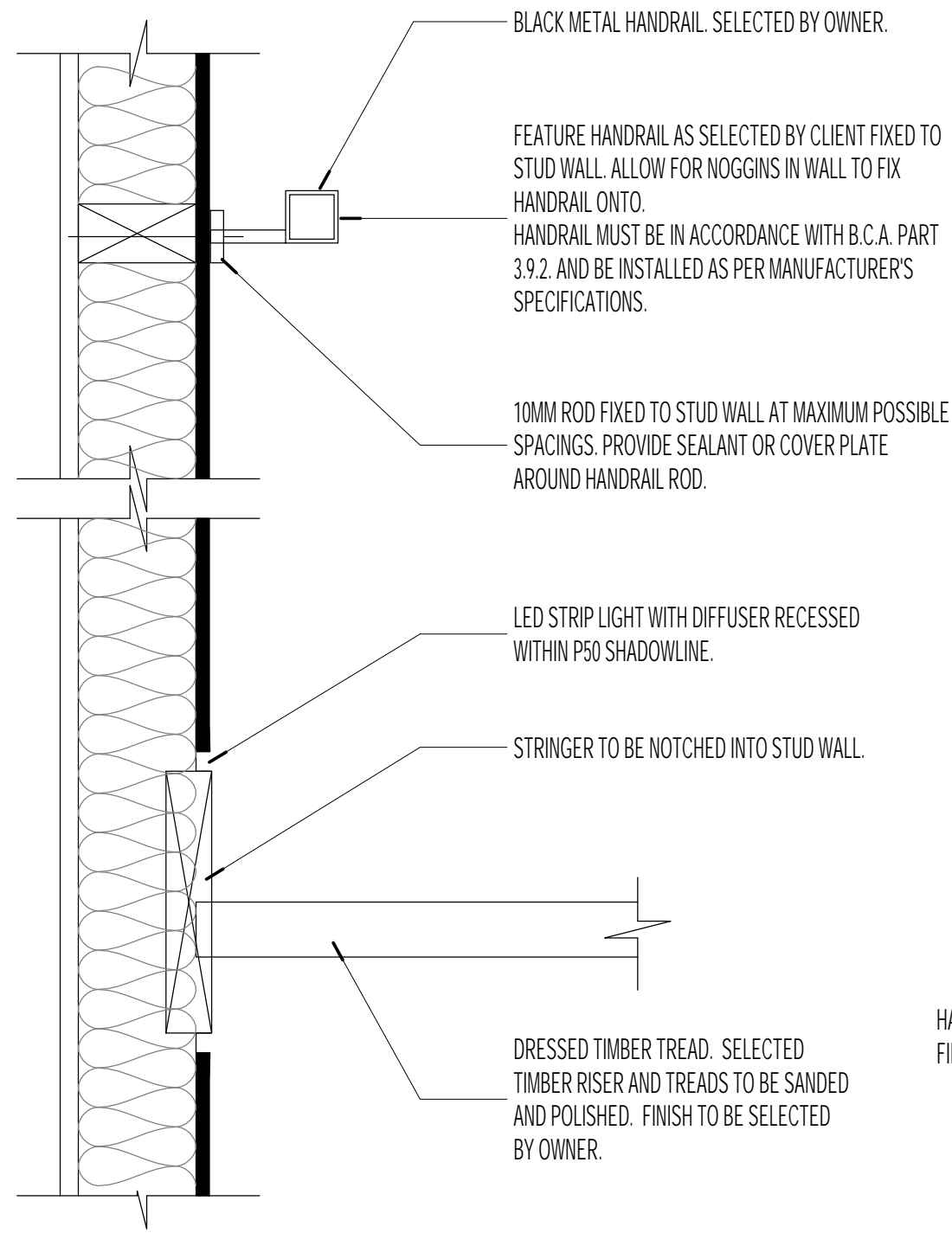
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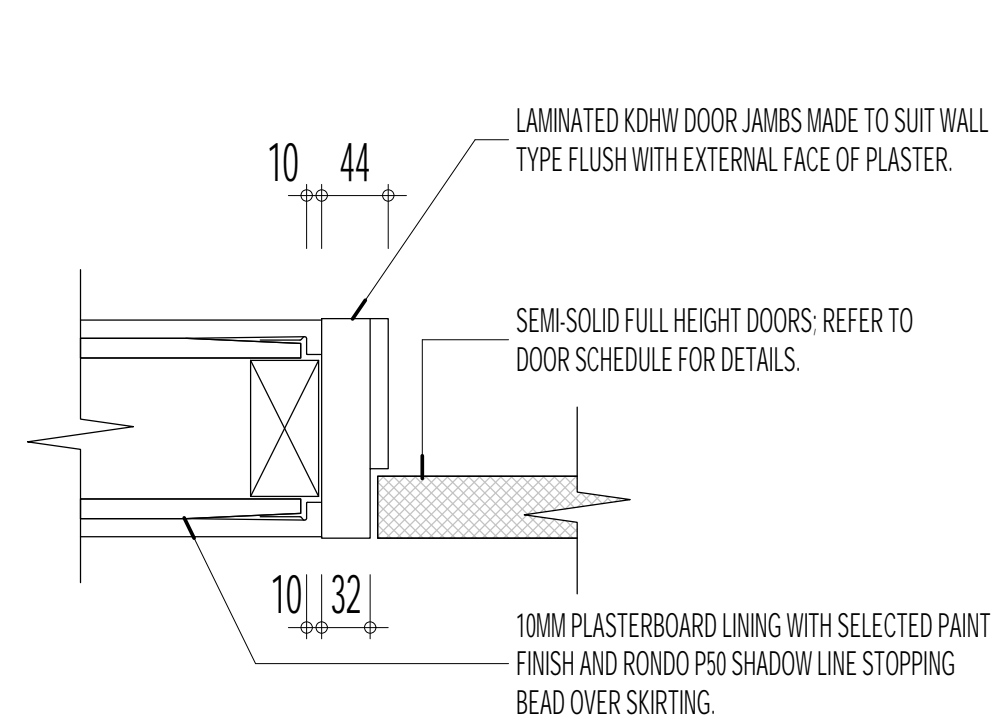
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NOTE:

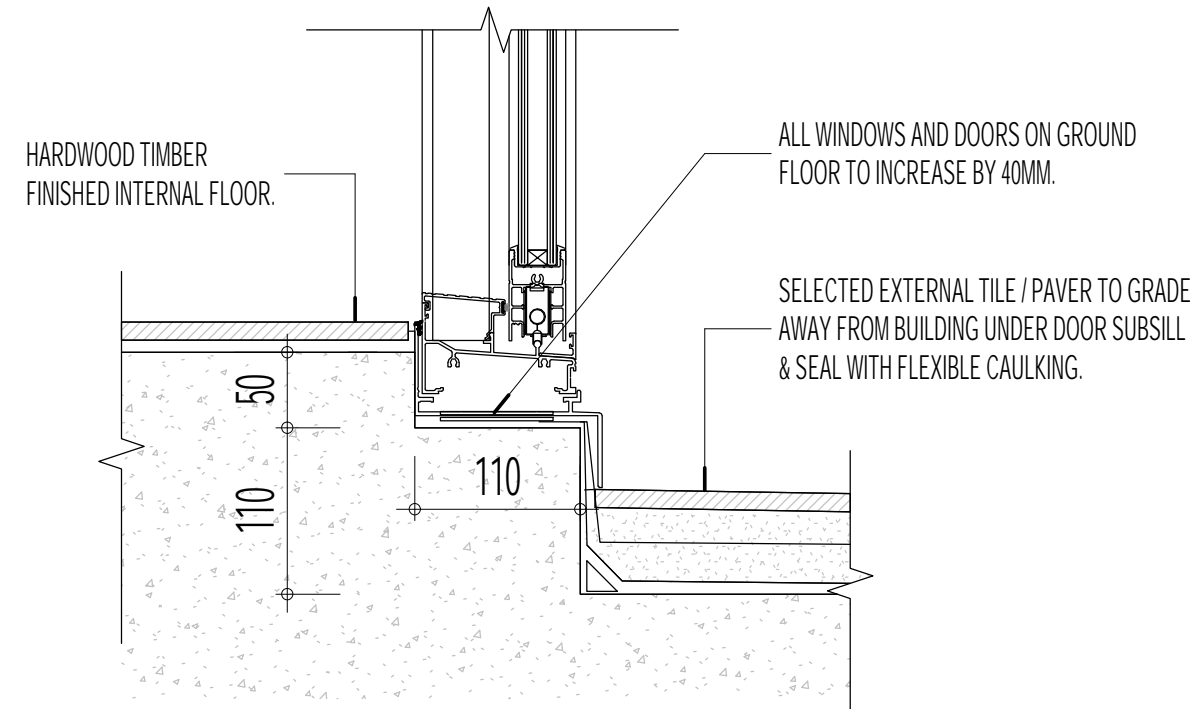
- ALL EXPOSED STEEL WORK TO BE 316 MARINE GRADE STAINLESS STEEL UNLESS APPROVED OTHERWISE BY CLIENT.
- ALL WATERPROOFING SYSTEMS TO COMPLY WITH AS 3401 / AS 1562 / AS 2904 / S34-HB39
- EXPANSION JOINTS AT APPROPRIATE, REQUIRED LOCATION IN ACCORDANCE WITH AS 3601 / 2009 IN LINE WITH WALL AND WINDOW JOINTS WHERE POSSIBLE.



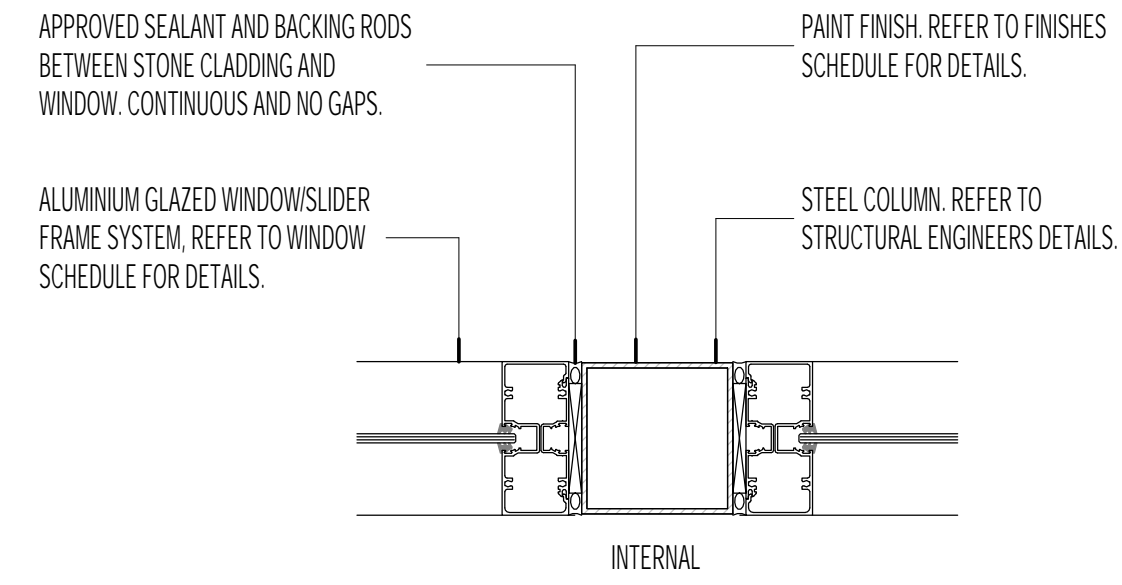
STAIR HANDRAIL & STRIP LIGHT DETAIL
1:5 AT A1 / 1:10 AT A3



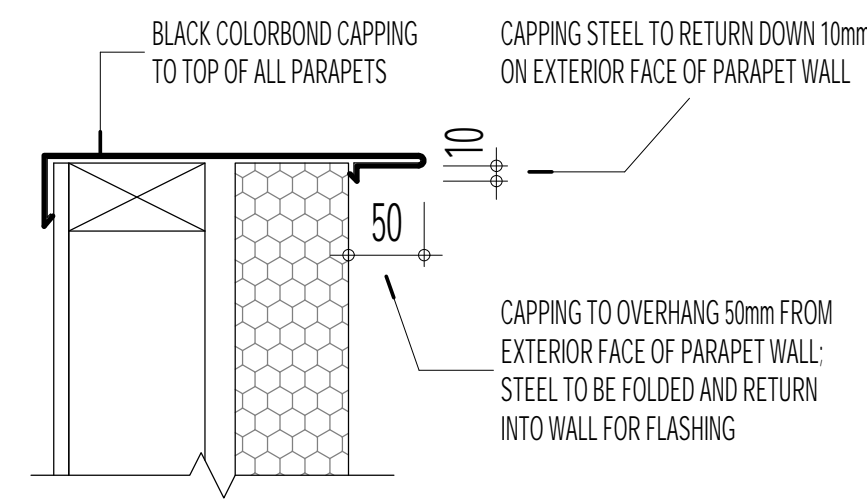
TYP. DOOR JAMB DETAIL (PLAN)
1:5 AT A1 / 1:10 AT A3



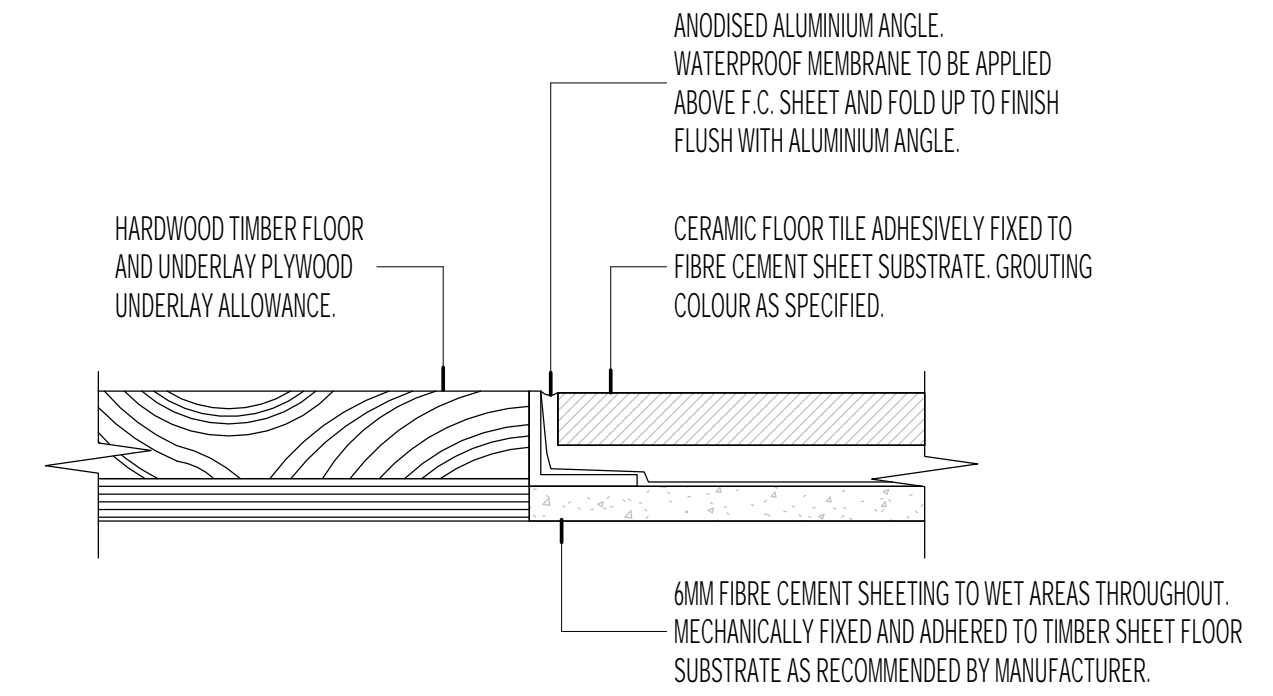
TYP. SLAB SETDOWN DOOR DETAIL
1:5 AT A1 / 1:10 AT A3



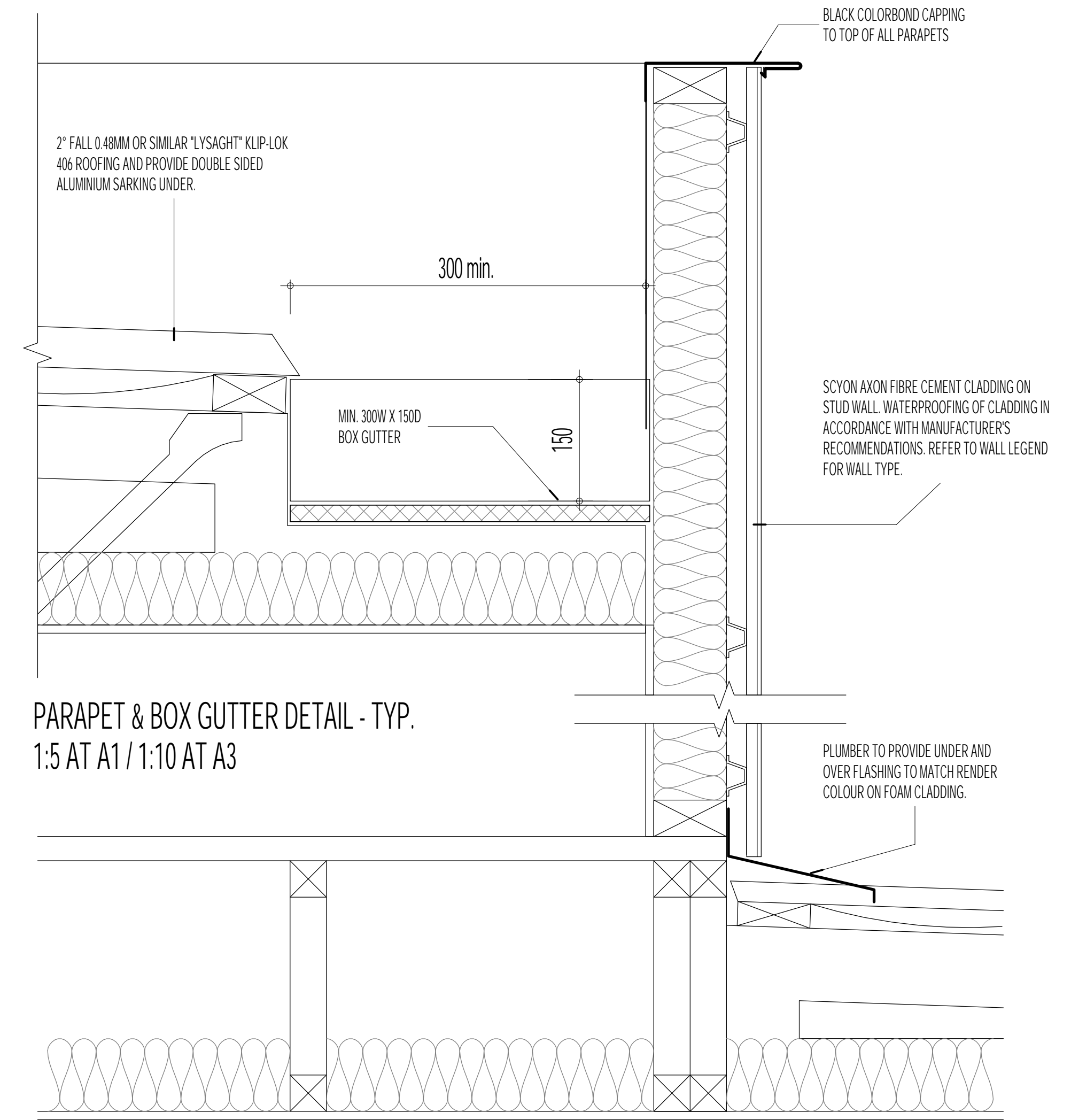
TYP. WINDOW/COLUMN DETAIL (PLAN)
1:5 AT A1 / 1:10 AT A3



PARAPET CAPPING DETAIL
1:5 AT A1 / 1:10 AT A3

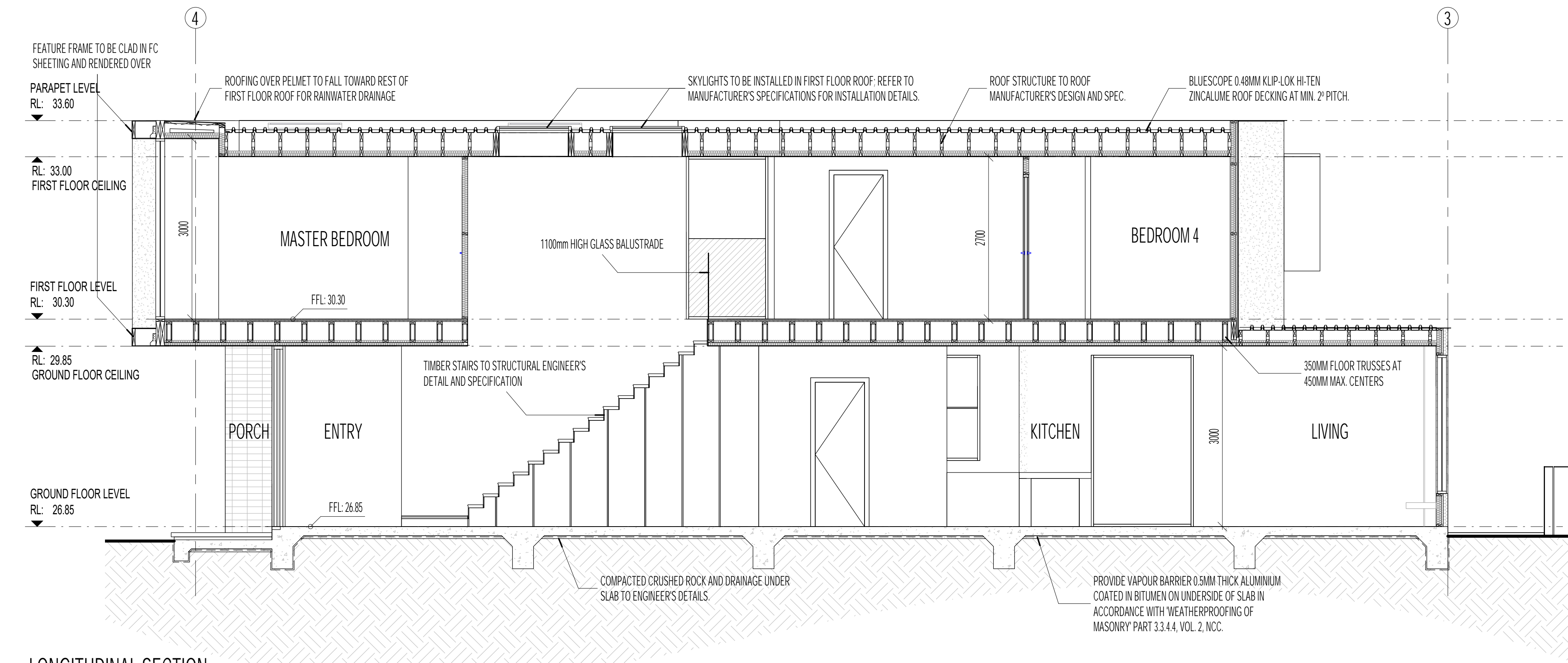


TYPICAL TILE TO TIMBER FLOORBOARD
1:1 AT A3



PARAPET & BOX GUTTER DETAIL - TYP.
1:5 AT A1 / 1:10 AT A3

FOAM WALL & ROOF FLASHING DETAIL - TYP.
1:5 AT A1 / 1:10 AT A3



LONGITUDINAL SECTION
1:50 AT A1 / 1:100 AT A3



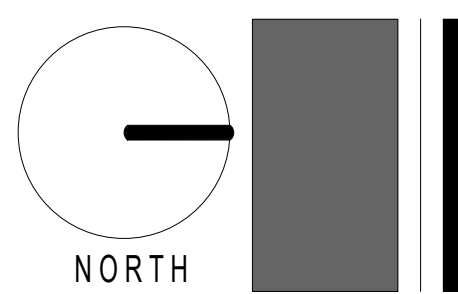
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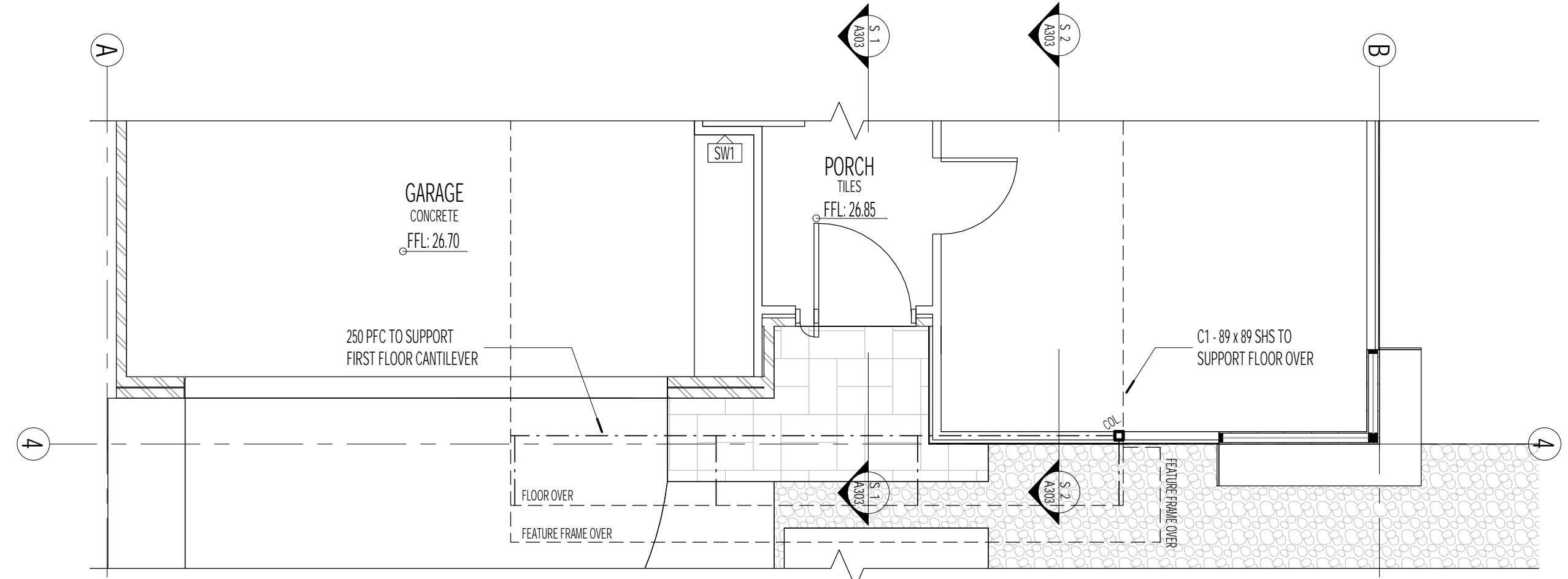
REV	DATE	DETAILS
*	11/06/2021	ISSUE FOR BUILDING PERMIT

SHEET NAME
LONGITUDINAL SECTION + TYPICAL DETAILS

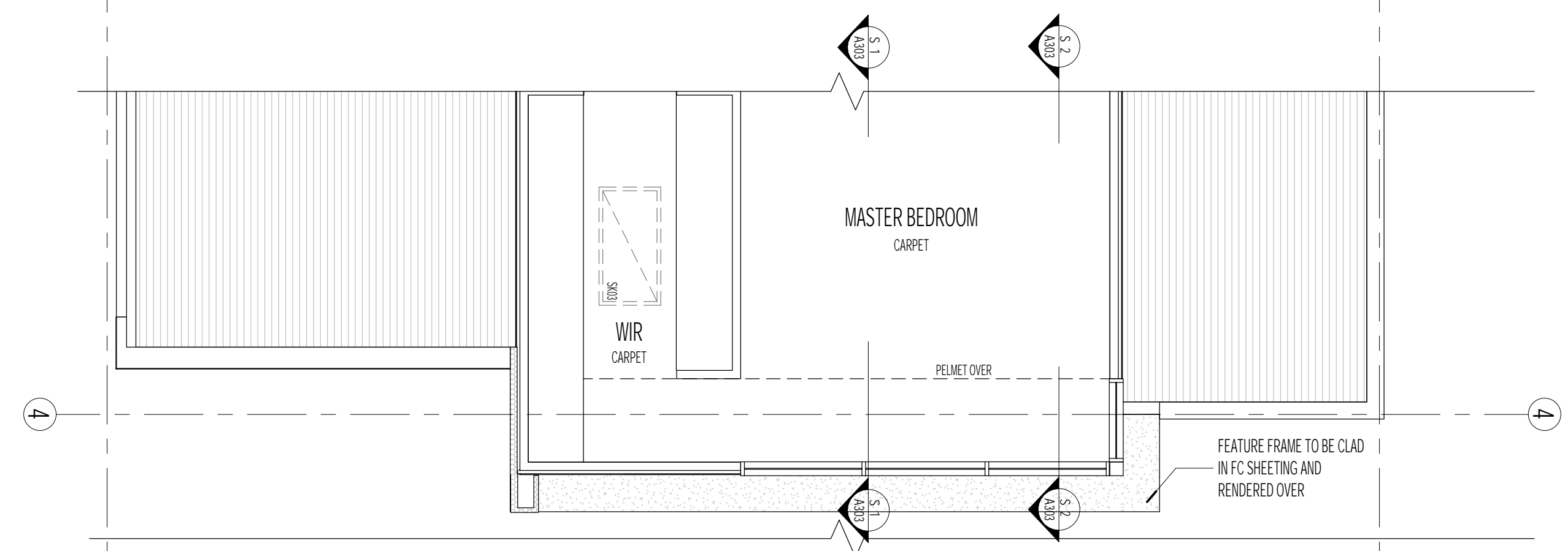
PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT AT 11 STOREY AVENUE, HAMPTON
CLIENT NAME: CORINNA & BOB NEILL

DATE:	02/01/21
SCALE:	AS SPECIFIED
DWG No.:	2013
SHEET No.:	A302 REVISION:

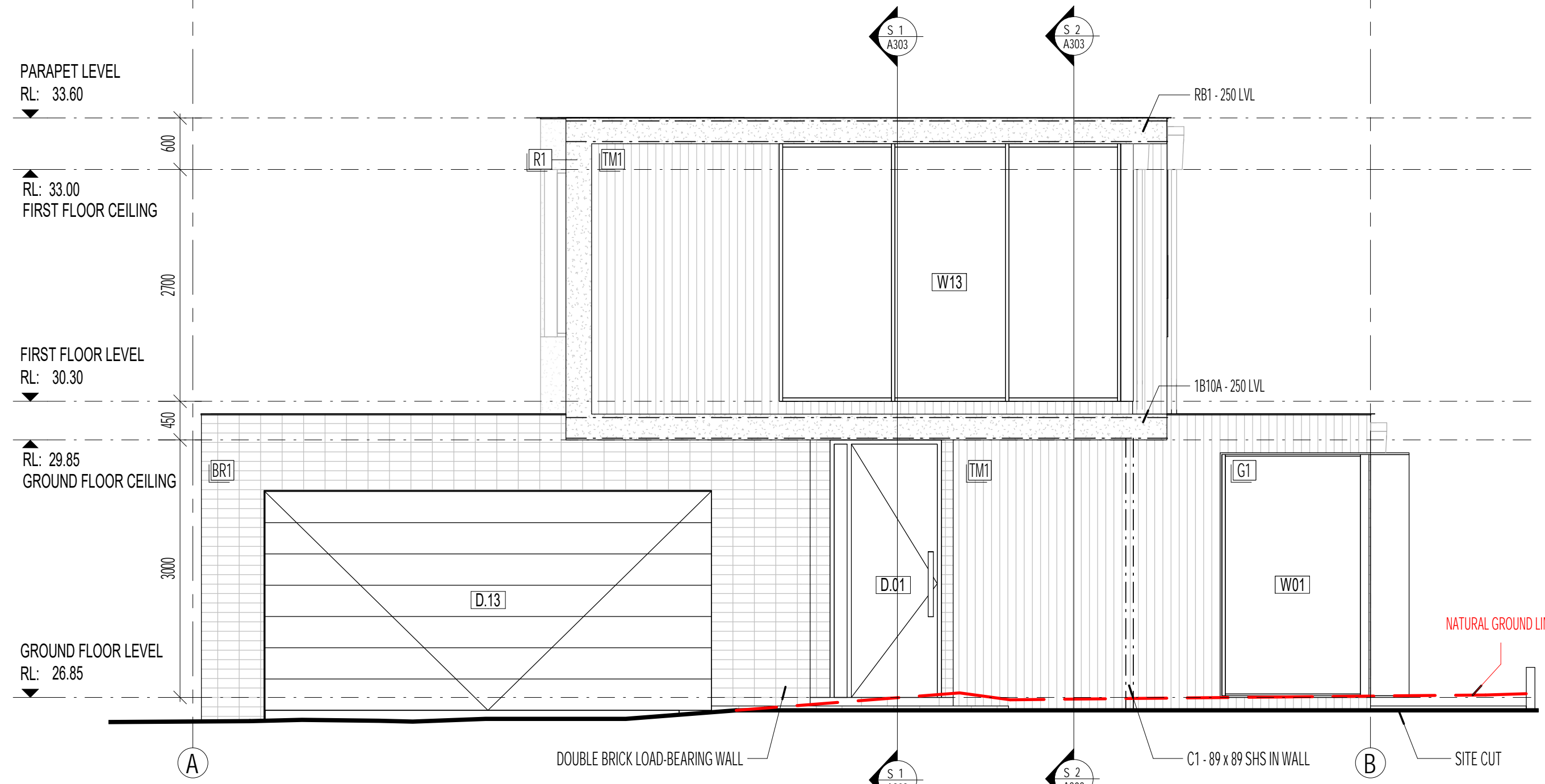




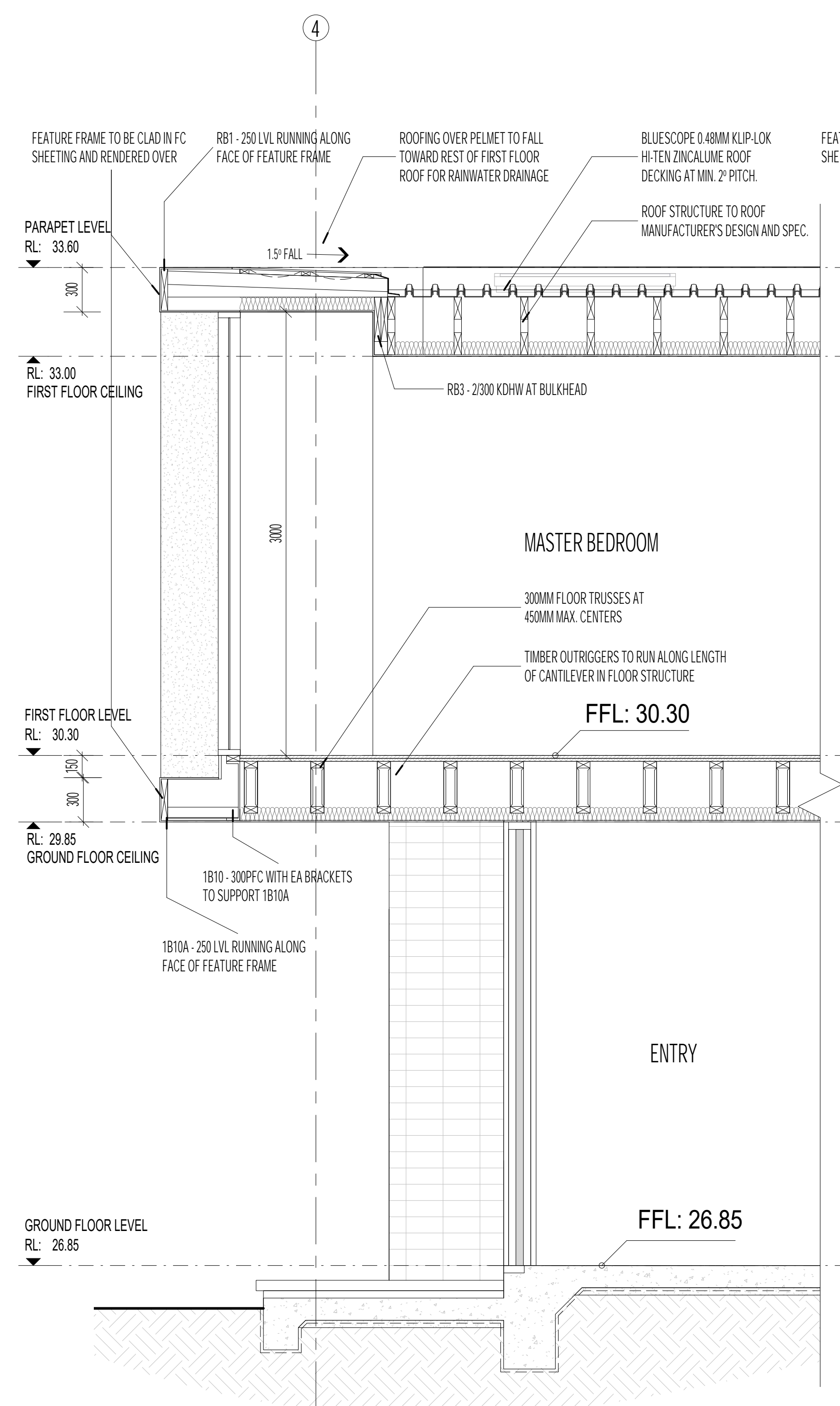
GROUND FLOOR PLAN
1:50 AT A1 / 1:100 AT A3



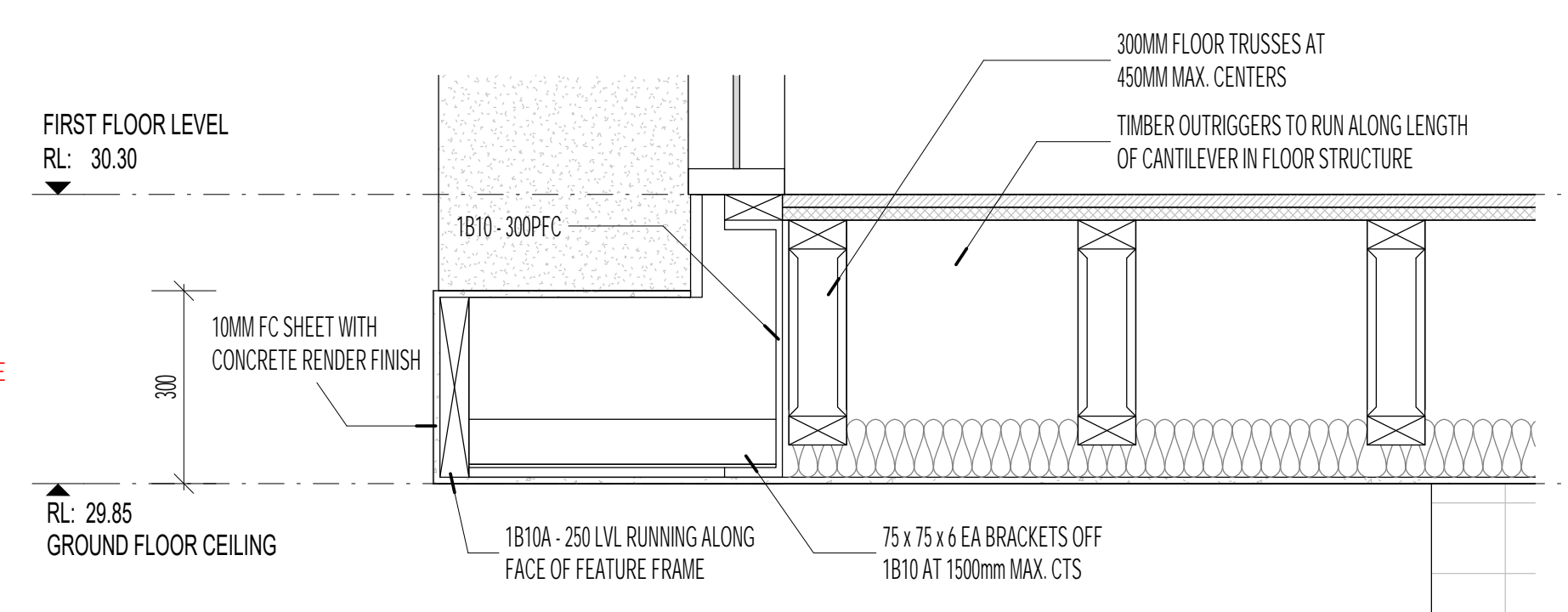
FIRST FLOOR PLAN
1:50 AT A1 / 1:100 AT A3



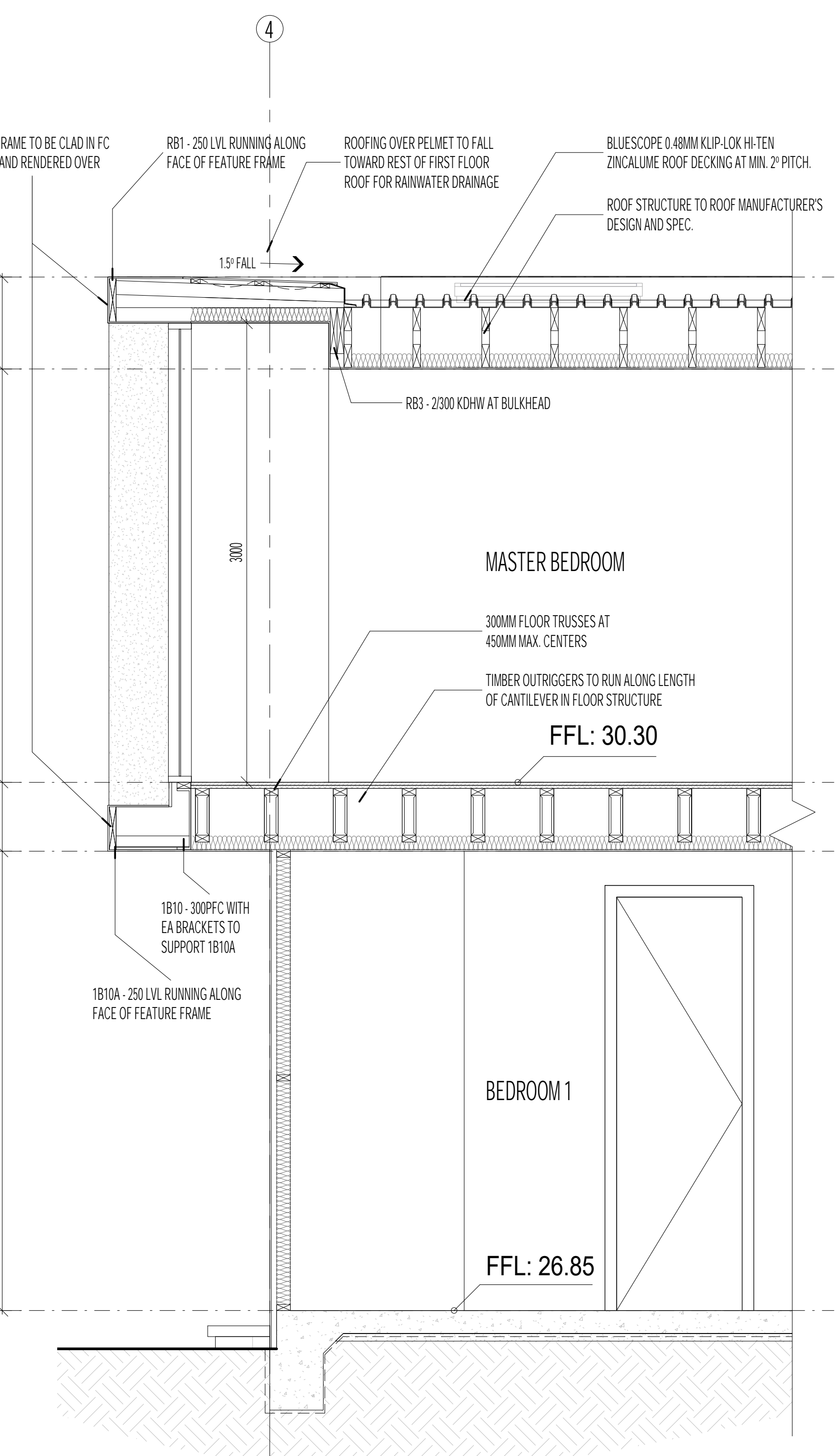
EAST ELEVATION
1:50 AT A1 / 1:100 AT A3



SECTION S1
1:25 AT A1 / 1:50 AT A3



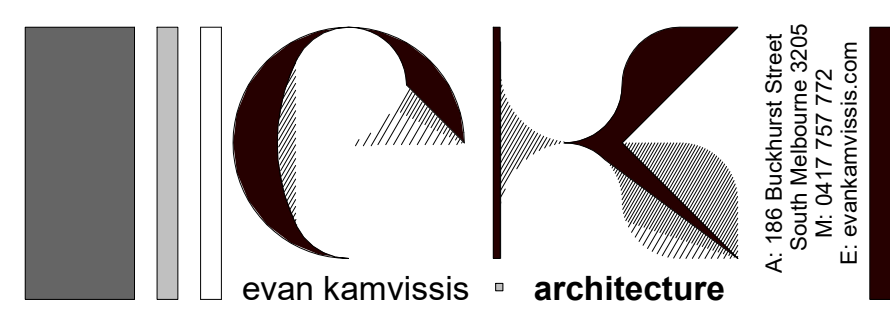
FEATURE FRAME SECTION DETAIL
1:10 AT A1 / 1:20 AT A3



SECTION S2
1:25 AT A1 / 1:50 AT A3

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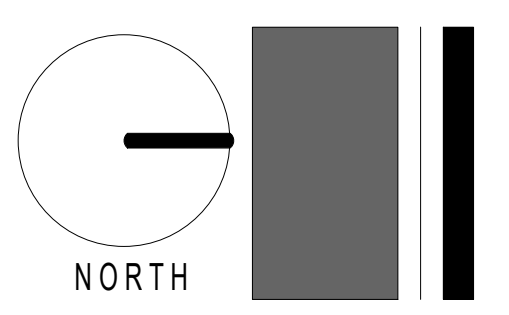
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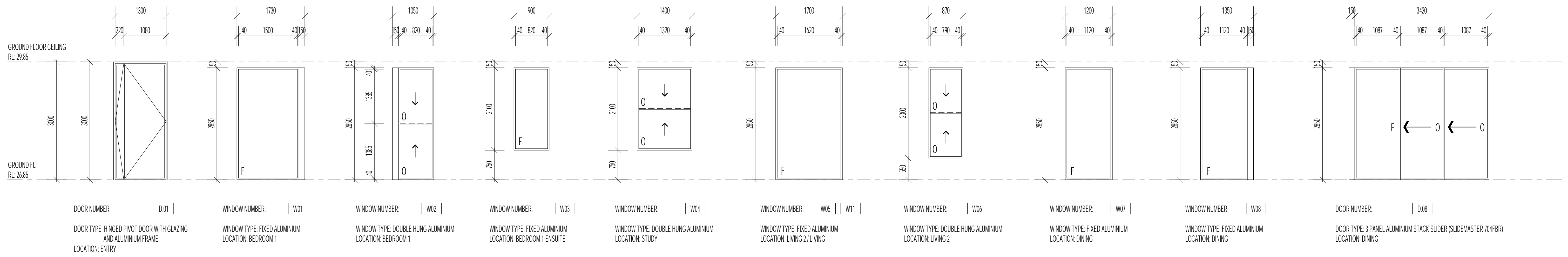
REV	DATE	DETAILS
*	11/06/2021	ISSUE FOR BUILDING PERMIT

SHEET NAME
CANTILEVER DETAILS

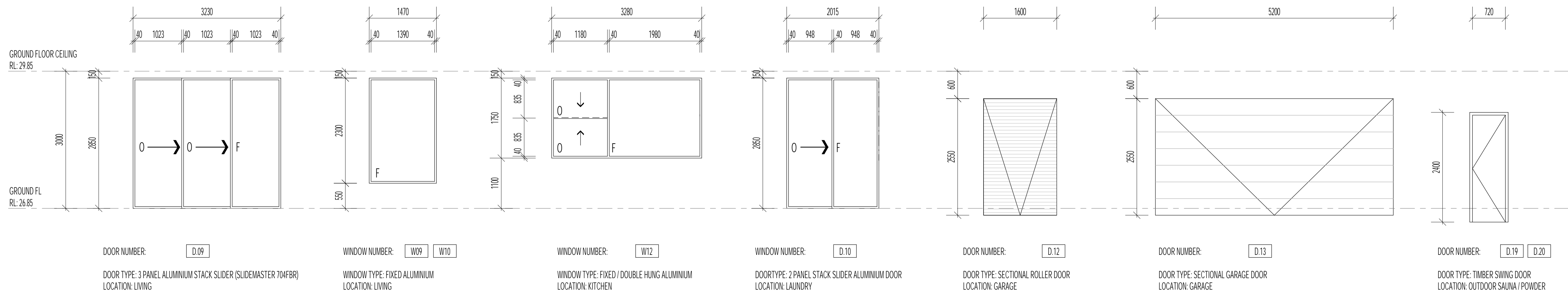
PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT AT 11 STOREY AVENUE, HAMPTON
CLIENT NAME: CORINNA & BOB NEILL

DATE:	JULY 2020
SCALE:	AS SPECIFIED
DWG No.:	2013
SHEET No.:	A303 REVISION:

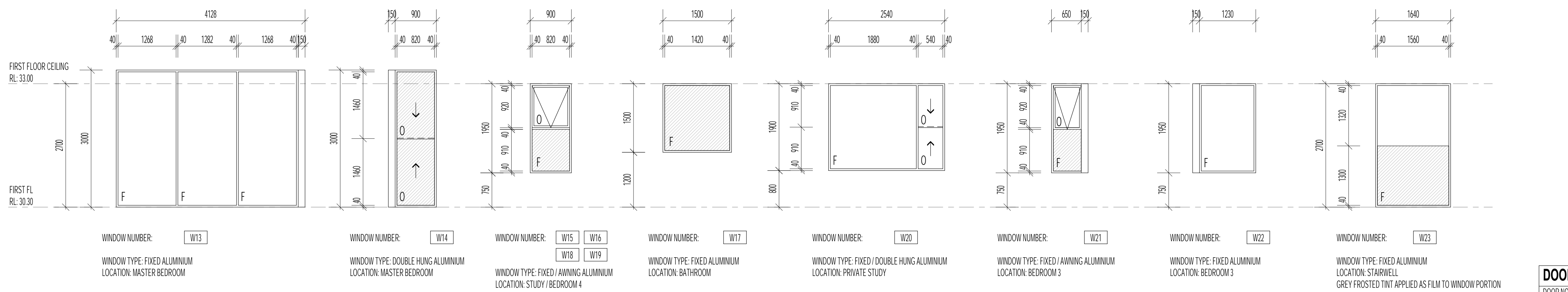




GROUND FLOOR



GROUND FLOOR



FIRST FLOOR

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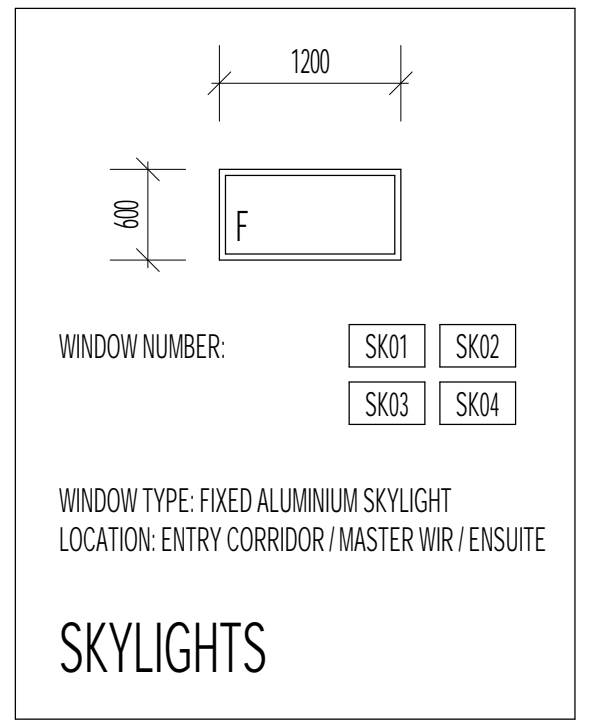
GLAZING NOTES

TO BE READ IN CONJUNCTION WITH ASSOCIATED ENERGY RATING REPORT.

- ALL WINDOWS TO BE AS PER ENERGY REPORT PREPARED BY:
- ALL GLAZING TO COMPLY WITH AS1288:2006
- ALL WINDOWS ARE TO COMPLY WITH THE REQUIREMENTS OF AS2047
- WINDOWS ARE TO BE FLASHED AND SEALED ALL ROUND
- WINDOW SIZES NOMINATED ARE NOMINAL ONLY. ACTUAL SIZES MAY VARY ACCORDING TO MANUFACTURER

BEDROOM WINDOWS ON UPPER LEVEL

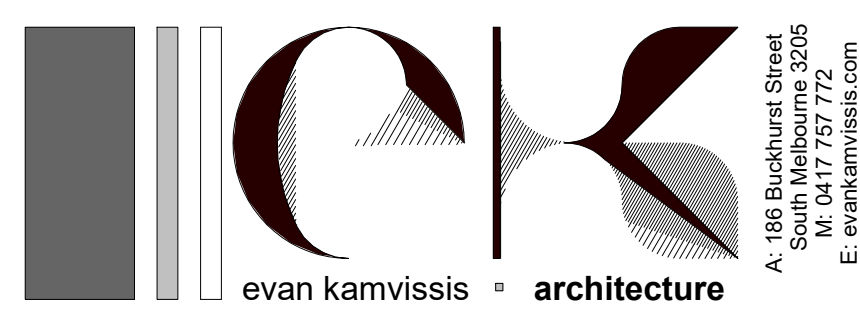
- A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION, IF THE FLOOR BELOW THE WINDOW IN THE BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH, PROTECTION IS TO BE PROVIDED BY ONE OF THE FOLLOWING METHODS:
- A) THE WINDOW OPENINGS ARE TO BE GREATER THAN 1.7M ABOVE FFL, OR
- B) THE WINDOWS WITH OPENING LOWER THAN 1.7M ARE REQUIRED TO BE PERMANENTLY RESTRICTED TO A MAXIMUM 125MM OPENINGS.
- C) MUST HAVE A PERMANENT SCREEN TO THE OPENABLE PORTION AND MAXIMUM 125MM OPENINGS.



- ALL EXTERNAL DOORS AND WINDOWS ARE TO BE WEATHER SEALED.
- ENTRY DOORS TO BE WEATHER STRIPPED.
- ALL GENERAL BUILDING GAPS AND CRACKS TO BE FILLED.
- ALL SISALATION TO BE TAPE SEALED AND TEARS PATCHED.
- EXHAUST FANS TO BE SELF CLOSING AT OUTLET DUCT.
- TO BE READ IN CONJUNCTION WITH ASSOCIATED ENERGY RATING REPORT.
- ALL GLAZING TO COMPLY WITH AS1288:2006.



DOOR SCHEDULE				
DOOR NO.	DOOR TYPE	DOOR SIZE (mm)	DOOR HEIGHT	NOTE
GROUND FLOOR				
D.02	SWING	820	2700	
D.03	CAVITY SLIDER	820	2400	
D.04	CAVITY SLIDER	820	2400	
D.05	CAVITY SLIDER	920	2700	
D.06	CAVITY SLIDER	1700	2700	
D.07	SWING	820	2400	
D.11	SWING	820	2400	
FIRST FLOOR				
D.14	SWING	820	2400	
D.15	CAVITY SLIDER	820	2400	
D.16	SWING	820	2400	
D.17	CAVITY SLIDER	820	2400	
D.18	SWING	770	2400	



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REV	DATE	DETAILS
*	11/06/2021	ISSUE FOR BUILDING PERMIT

SHEET NAME
WINDOW & DOOR SCHEDULE

PROJECT
PROPOSED RESIDENTIAL DEVELOPMENT AT 11 STOREY AVENUE, HAMPTON
CLIENT NAME: CORINNA & BOB NEILL

DATE: JULY 2020
SCALE: 1:50 AT A1 / 1:100 AT A3
DWG No.: 2013
SHEET No.: A400 REVISION:

