



WORKING DRAWINGS

HARE & HUNTER
1G, 415 Remuera RD
Remuera Auckland

Legal Description: LOT 1 DP 556337

January 2023

DRAWING LEGEND			
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NOTES:	SERVICES LEGEND	WALL STRUCTURE
<p>FLOORING: EXISTING FLOOR SURFACES TO REMAIN AS IS.</p> <p>WALL FINISHES: WET AREA BEHIND SINK BENCH MUST BE IMPERVIOUS TO WATER. LINE WITH SERATONE LINING. OTHER AREAS TO RECEIVE SMOOTH AND EASY TO CLEAN FINISHES.</p>	<p>⊕H HOT WATER LOCATION ⊕C COLD WATER LOCATION TMV THERMOSTATIC MIXING VALVE AAV AIR ADMITTANCE VALVE EXISTING Ø25 COLD WATER MAIN SUPPLY PROVIDED BY LANDLORD. C.O.S TO CONFIRM LOCATION.</p>	<p>NEW TIMBER FRAMED NON - STRUCTURAL PARTITIONING WALL @ 2,385mmH AFFL IN ACCORDANCE WITH NZS3604:2011</p> <p>EXISTING NIB WALL @ 825mmH AROUND STAIRCASE TO REMAIN AS IS</p>
<p>NOTE: - RUN PIPEWORK WITHIN / ALONG THE WALL TO CONNECT TO EXISTING WASTE POINTS. ALL PLUMBING WORKS TO COMPLY WITH AS/NZS3500 & ITS AMENDMENTS. - ALL PLUMBING AND HYDRAULIC WORKS SHALL BE CARRIED OUT BY OR UNDER THE DIRECT SUPERVISION OF A CRAFTSMAN PLUMBER / REGISTERED DRAINLAYER AS PER PLUMBERS, GASFITTERS AND DRAINLAYERS ACT 2006. - ALL NEW PLUMBING TO BE UPVC sn8 GRADE TO AS/NZS1260 COMPLETE WITH SOLVENT JOINTS AND DESIGNED TO COMPLY W/ AS/NZS3500 & ITS AMENDMENTS. - AIR ADMITTANCE VALVES SHALL BE ACCESSIBLE & BUILDER TO PROVIDE ACESS PANELS WHERE REQUIRED. - PLUMBING DRAINAGE DIAGRAMMATIC ONLY. EXACT LAYOUT TO BE CONFIRMED WITH PLUMBING CONTRACTOR. - ALL PLUMBING AND HYDRAULIC WORKS TO BE COMPLETED IN ACCORDANCE WITH NZBC G12 & G13/AS1 AND AS/NZS3500 AND ITS AMENDMENTS. BACKFLOW PREVENTION DEVICES TO BE INSTALLED IN ACCORDANCE WITH TABLE 2, NZBC G12/AS1 AND AS/NZS2845.1. - ALL BASINS AND SINK SHALL BE COMPLETED WITH TEMPERING VALVES. ALL HOT WATER TO PERSONAL HYGEINE FIXTURES SHALL BE DELIVERED NO MORE THAN 55°C. - PROVIDE HOT WATER 65°C AND COLD WATER TO SINK - PROVIDE HOT WATER 55°C AND COLD WATER TO HAIRDRESSING BASINS - CONTRACTORS TO PROVIDE PRODUCER STATEMENT CERTIFICATION UPON COMPLETION OF WORKS.</p> <p>- ALL SURFACE FINISHES TO COMPLY WITH RATINGS SPECIFIED IN FIRE REPORT. EXISTING BASEBUILD FIRE PROTECTION HVAC AND EMERGENCY LIGHTING SYSTEMS TO REMAIN AS IS. PROPOSED WORKS DO NOT AFFECT THESE SPECIFIED SYSTEMS. - ALL ELECTRICAL WORKS TO BE COMPLETED BY A REGISTERED ELECTRICIAN WITH PRODUCER STATEMENT AND ELECTRICAL CERTIFICATE OF COMPLETION TO BE PROVIDED UPON COMPLETION</p>	<p>--- HOT WATER PIPE, RUN WITHIN CABINETRY --- COLD WATER PIPE, RUN RUN WITHIN CABINETRY --- NEW 50mm DIA UPVC WASTE PIPE @ MIN 1:40 GRADIENT TO BE RUN WITHIN CABINETRY EXISTING Ø65 DIA WASTE STUB CONNECTION POINT PROVIDED BY LANDLORD - LOCATION C.O.S NEW RHEEM COMMERCIAL VINTREOUS ENAMEL HOT WATER CYLINDER 50L. MODEL A613050. INSTALLATION TO COMPLY WITH NZBC G12/AS1</p> <p>COLD WATER SUPPLY CONNECTION TO BE FITTED WITH TESTABLE BACKFLOW PREVENTION DEVICE IN ACCORDANCE W/ AS/NZS2845.1</p>	<p>EQUIPMENT LEGENG</p> <ol style="list-style-type: none"> CLIENT SUPPLIED LOOSE SEATTING CLIENT SUPPLIED LOOSE SEATTING CLIENT SUPPLIED HAIRDRESSING BASIN AND SHAMPOO SYSTEM NEW HWC - REEM A613050 NEW SINK - BUNNINGS Sink Bowl Project 1B 500 MODEL PR 1B 500 CLIENT SUPPLIED DISHWASHER CLIENT SUPPLIED BAR-FRIDGE CLIENT SUPPLIED WASHING MACHINE CLIENT SUPPLIED DRYER NEW TOILET TO MATCH DOWNSTAIRS NEW BASIN UNIT TO MATCH DOWNSTAIRS <p>BATHROOM REFURBISHMENT SPECIFICATIONS</p> <p><u>Plumbing Fittings</u> Evo 54 Wall Hung WC pan. Speedo mechanical full frame inwall cistern. Speedo mechanical metal flush panel Aged Brass. Buddy low curved spout bason mixer Aged Brass. Buddy 32mm bottle trap Aged Brass. Elementi Studio Plus vanity basin 460 x 280 1TH. Electrical Services Brightgreen D700 Curve downlights Whisper White. Clipsal Classic C200 Series white light switch.</p> <p><u>Hardware</u> Windsor 8201 Charleston lever handle round rose Brushed Brass. Windsor 1172 heavy sprung tubular latch. Windsor 8188 privacy turn & release round rose Brushed Brass. Halliday & Baillie HB1136 bronze door stop floor mounted. Buddy toilet roll holder Aged Brass. Buddy wall mount toilet brush Aged Brass. Buddy robe hook Aged Brass.</p> <p><u>Glazing</u> 5mm mirror with 12mm bronze angle frame.</p> <p><u>Tiling</u> Tundra grey 610 x 610 x 15mm stone tiles. Laid to floor and 200mm skirting upstand. Joinery Fittings 50mm thick solid floating oak shelf to support top mounted vanity basin. Smartfloor blond oak flooring wall mounted display shelf</p>



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CEILING HEIGHT: 2,385

PROJECT TITLE:
HARE & HUNTER
1G, 415 Remuera RD
Remuera Auckland

PROJECT NUMBER: TBC

SHEET TITLE:
GENERAL NOTES

DATE: 10/01/2023 SCALE AS SHOWN AT A3

SHEET: 101 REV:







EXISTING EXTERNAL VERANDAH - NO WORKS REQUIRED

7.407
C.O.S

EXISTING TENANCY WALLS AND GLAZING TO REMAIN AS IS. NO WORKS REQUIRED.

EXISTING NIB WALL @ 825mmH AND SUPPORT POSTS AROUND STAIRCASE TO REMAIN AS IS

ALL EXISTING COLUMNS TO REMAIN. EXACT LOCATION C.O.S

EXISTING COLUMN TO REMAIN. EXACT LOCATION C.O.S

EXISTING W/C TO BE REPLACED WITH NEW TO MATCH DOWNSTAIRS SPECIFICATION.

EXISTING TENANCY WALL TO REMAIN

EXISTING INTERNAL WALL TO REMAIN

EXISTING FLOORING TO REMAIN AS IS.

EXISTING BASIN UNIT TO BE REPLACED WITH NEW TO MATCH DOWNSTAIRS SPECIFICATION.

EXISTING DOOR TO BE REMOVED. MAKE GOOD TO EXISTING OPENING UPON REMOVAL WHERE REQUIRED

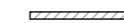


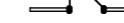
EXISTING TENANCY WALL TO REMAIN

LEVEL 1 FLOOR PLAN - EXISTING / DEMOLITION

1:50

LEGEND

EXISTING PLAN

-  EXISTING SOLID WALL
-  EXISTING NIB WALL @ 825mmH
-  EXISTING DOOR
-  EXISTING GLAZING

PROPOSED PLAN

-  PROPOSED STUD WALL

DEMOLITION PLAN

-  DEMOLISHED

SUPPLY AND INSTALL NEW WALL MOUNTED CABINET 2,100mmL x 300mmD x 400mmH. AM. WHITE OAK CROWN CUT VENEER WITH MATCHING 2mm PVC EDGE TAPE.

WITH 2 x SHELVES ABOVE 2,100mmL X 200mmD X 25mm THICK
ALLOW AM. WHITE OAK CROWN CUT VENEER ON M.R MDF SUBSTRATE WITH CLEARCOAT STAIN.

*PRICE CLASSIC OAK NATURAL COMPACT LAMINATE WITH MATCHING 2mm PVC EDGE TAPE AS COST ALTERNATIVE.
HEIGHT AFFL T.B.C

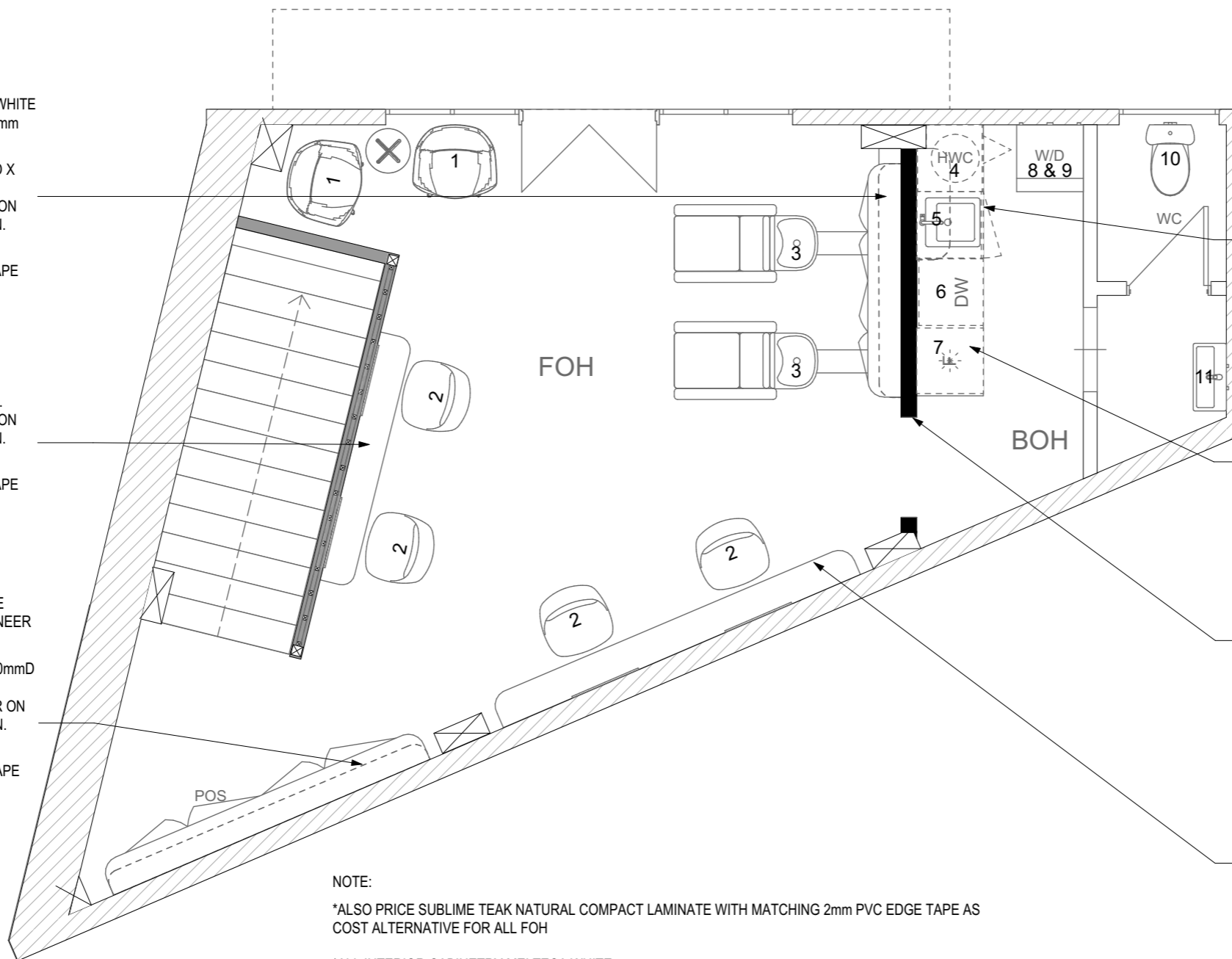
SUPPLY AND INSTALL NEW CUTTING STATION BENCHTOP 2,300mmL x 200mmD x 25mm THICK.
ALLOW AM. WHITE OAK CROWN CUT VENEER ON M.R MDF SUBSTRATE WITH CLEARCOAT STAIN.

*PRICE CLASSIC OAK NATURAL COMPACT LAMINATE WITH MATCHING 2mm PVC EDGE TAPE AS COST ALTERNATIVE.

SUPPLY AND INSTALL NEW WALL MOUNTED CABINET 3,100mmL x 300mmD x 400MMH. MADE WITH 18mm AM. WHITE OAK CROWN CUT VENEER WITH MATCHING 2mm PVC EDGE TAPE.

AND WITH 2 x SHELVES ABOVE 3100mmL X 200mmD X 25mm THICK
ALLOW AM. WHITE OAK CROWN CUT VENEER ON M.R MDF SUBSTRATE WITH CLEARCOAT STAIN.

*PRICE CLASSIC OAK NATURAL COMPACT LAMINATE WITH MATCHING 2mm PVC EDGE TAPE AS COST ALTERNATIVE.
HEIGHT AFFL T.B.C



SUPPLY AND INSTALL NEW BOH CABINERY 2,440mmL x 600mmD x 900mmH. MADE WITH 18mm COMPACT LAMINATE STOCK WHITE WITH MATCHING 2mm PVC EDGE TAPE.

COMPLETED WITH TILE SPACE 100mmH X 300mmL WHITE GLOSS TILES CODE: RAK017 (1 ROW 100mmH) SPLASHBACK

AND WITH 3 x SHELVES ABOVE THE BENCHTOP 1,000mmL X 400mmD X 25mm THICK
STOCK WHITE COMPACT LAMINATE STOCK WHITE WITH MATCHING 2mm PVC TAPE

SUPPLY AND INSTALL NEW BENCHTOP - COMPACT LAMINATE STOCK WHITE WITH MATCHING 2mm PVC EDGE TAPE

SUPPLY AND INSTALL NEW TIMBER FRAMED PLASTERBOARD LINED WALL TO U/S EXISTING CEILING @2385mmH AFFL. 140 x 45 SG8 STUDS 2 600 CTRS MAX. FORM 900mmW X 2100mmH
ARCHED OPENING WITHIN WALL. FINISH EXTERNAL FACE OF THE WALL AND ARCH RETURNS WITH OFF WHITE RENDER PAINT FINISH. SAM NEWELL TO CONFIRM EXACT SPECIFICATIONS.

SUPPLY AND INSTALL NEW CUTTING STATION BENCHTOP 3,500mmL x 200mmD x 25mm THICK.
ALLOW AM. WHITE OAK CROWN CUT VENEER ON M.R MDF SUBSTRATE WITH CLEARCOAT STAIN.

*PRICE CLASSIC OAK NATURAL COMPACT LAMINATE WITH MATCHING 2mm PVC EDGE TAPE AS COST ALTERNATIVE.

LEGEND

- EXISTING PLAN**
- EXISTING SOLID WALL
 - EXISTING NIB WALL @ 825mmH
 - EXISTING DOOR
 - EXISTING GLAZING
- PROPOSED PLAN**
- PROPOSED STUD WALL
 - PROPOSED DOOR

NOTE:

*ALSO PRICE SUBLIME TEAK NATURAL COMPACT LAMINATE WITH MATCHING 2mm PVC EDGE TAPE AS COST ALTERNATIVE FOR ALL FOH

*ALL INTERIOR CABINERY MELTECA WHITE

LEVEL 1 FLOOR PLAN - PROPOSED LAYOUT

1:50



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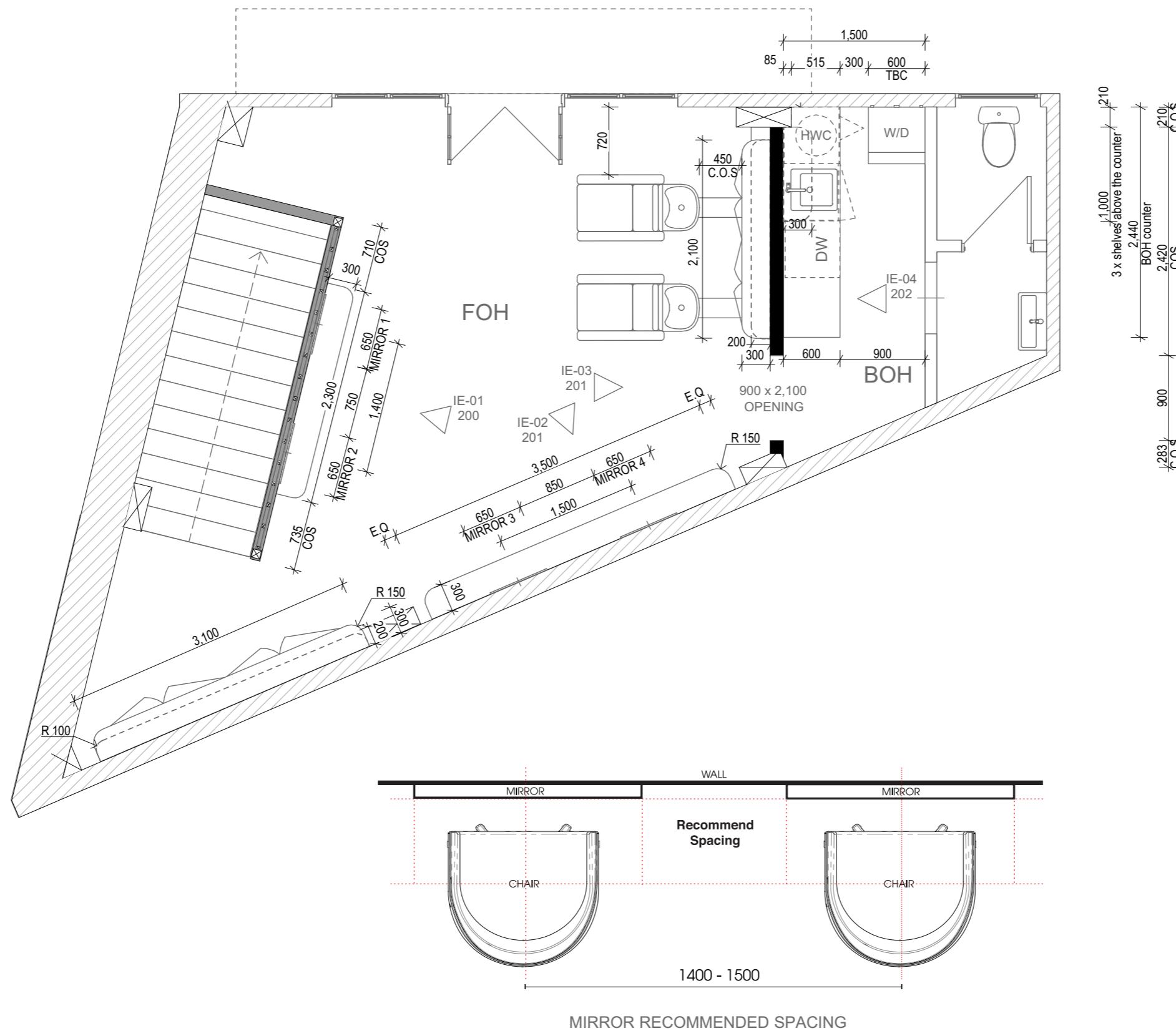
PROJECT TITLE:
HARE & HUNTER
1G, 415 Remuera RD
Remuera Auckland

PROJECT NUMBER: TBC

SHEET TITLE:
LEVEL 1 FLOOR PLAN - PROPOSED LAYOUT

DATE: 10/01/2023 SCALE AS SHOWN AT A3

SHEET: 112 REV: A



LEGEND

- EXISTING PLAN**
- EXISTING SOLID WALL
 - EXISTING NIB WALL @ 825mmH
 - EXISTING DOOR
 - EXISTING GLAZING
- PROPOSED PLAN**
- PROPOSED STUD WALL
 - PROPOSED DOOR



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SHEET TITLE:
LEVEL 1 FLOOR PLAN - PROPOSED
SET OUT PLAN

DATE:
10/01/2023

SCALE AS
SHOWN AT A3

SHEET: 113

REV: A

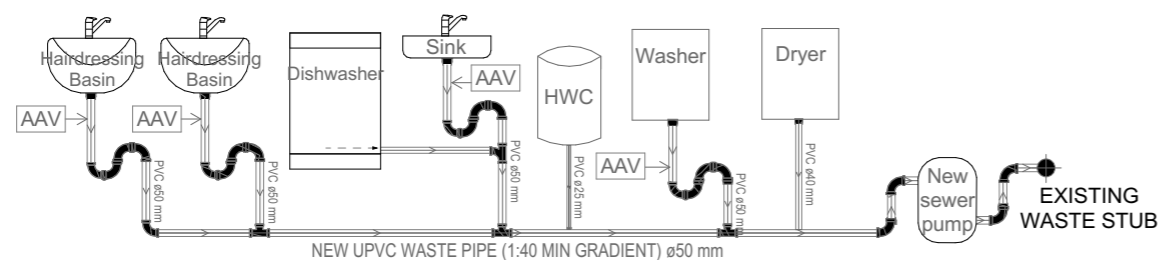
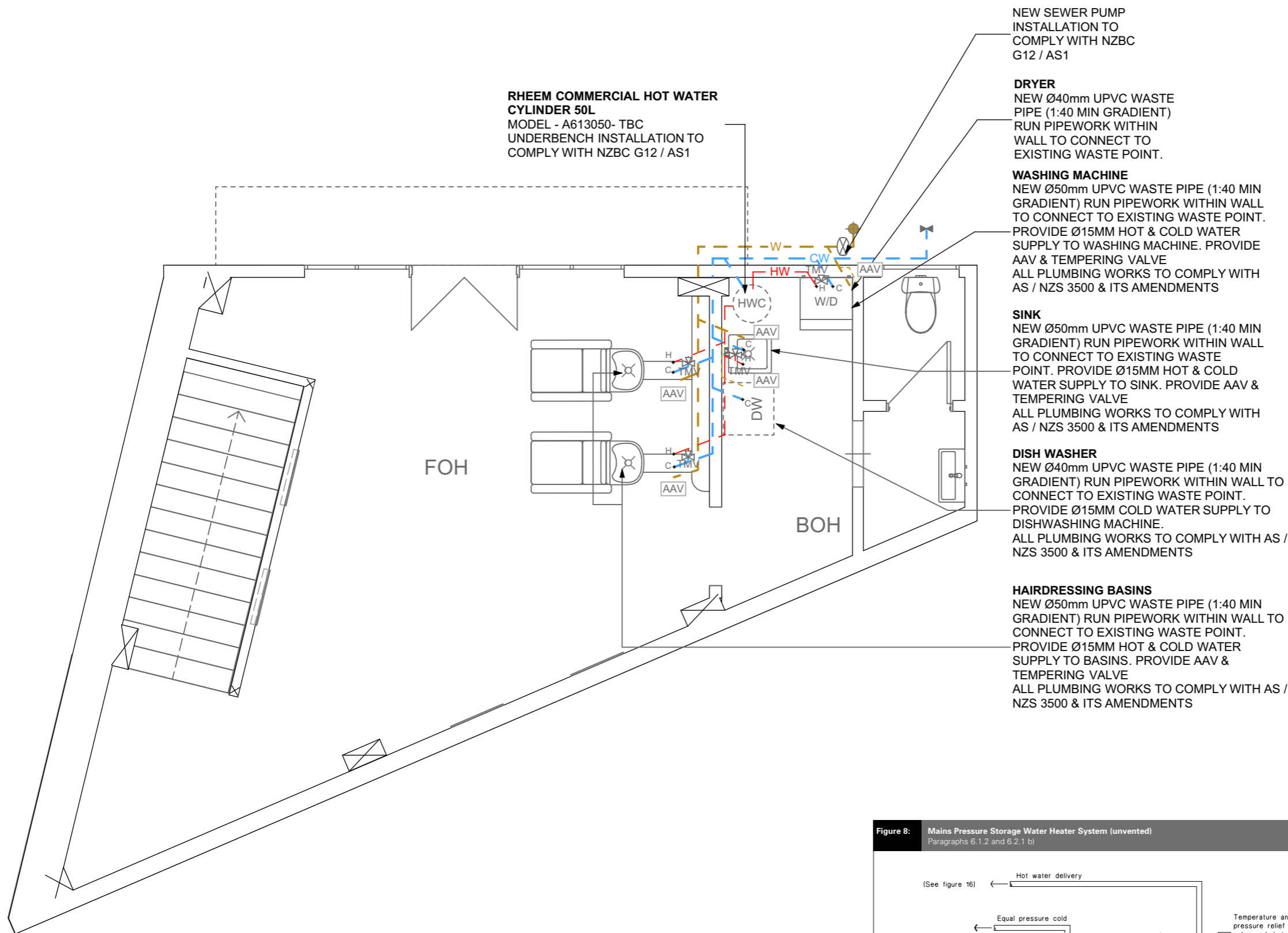
LEVEL 1 FLOOR PLAN - PROPOSED SET OUT PLAN

1:50

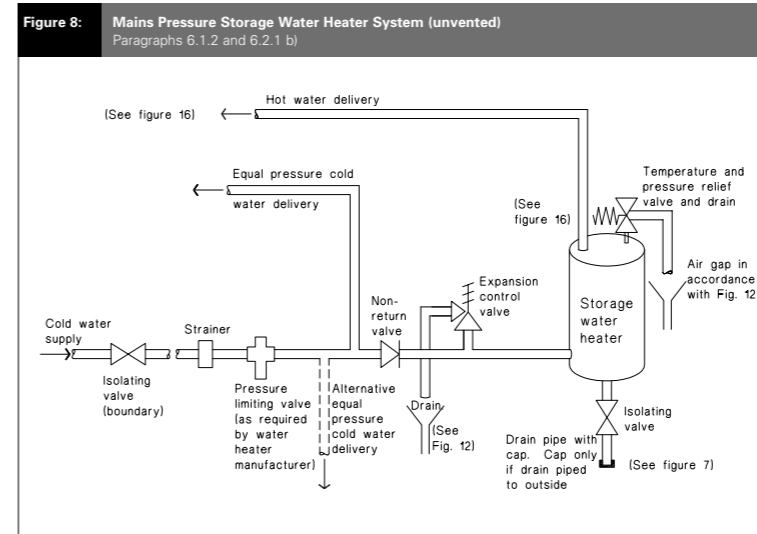
PLUMBING LEGEND

- HW — NEW 15mm HW FEED
- CW — NEW 15mm CW SUPPLY
- W — NEW 50mm DIA UPVC WASTE PIPE @ MIN 1:40 GRADIENT TO BE RUN WITHIN WALL
- EXISTING COLD WATER SUPPLY
- EXISTING Ø65 DIA WASTE STUB CONNECTION POINT- EXACT LOCATION C.O.S

DRAWING INDICATIVE ONLY
Register plumber to check and verify before commencing any work



PLUMBING SCHEMATIC



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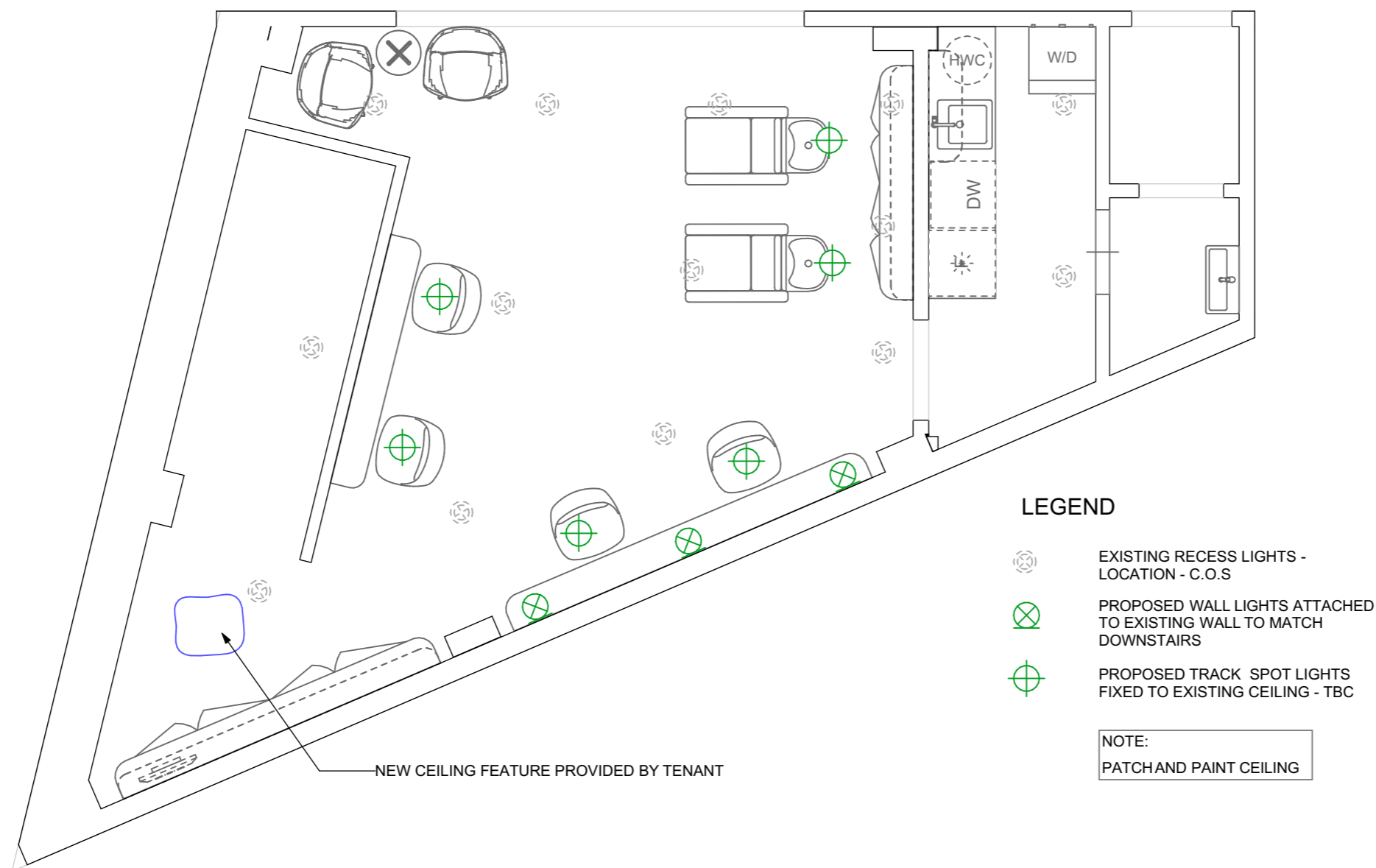
SHEET TITLE:
LEVEL 1 FLOOR PLAN - PROPOSED
PLUMBING PLAN

DATE:
10/01/2023




SCALE AS
SHOWN AT A3

SHEET: 114

REV: A



LEGEND

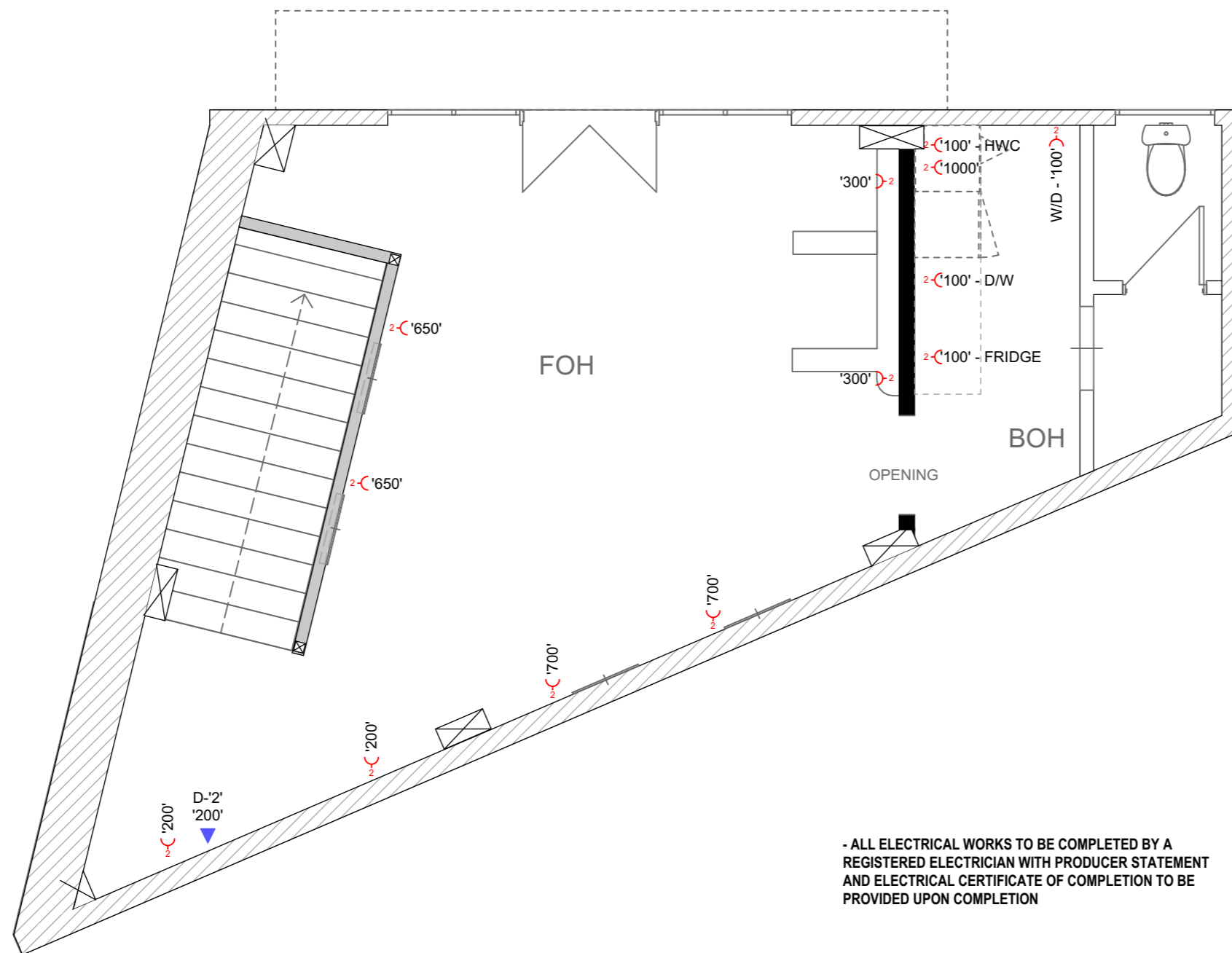
-  EXISTING RECESS LIGHTS - LOCATION - C.O.S
-  PROPOSED WALL LIGHTS ATTACHED TO EXISTING WALL TO MATCH DOWNSTAIRS
-  PROPOSED TRACK SPOT LIGHTS FIXED TO EXISTING CEILING - TBC

NOTE:
PATCH AND PAINT CEILING

LEVEL 1 FLOOR PLAN - PROPOSED REFLECTIVE CEILING

1:50

<i>hare</i> -&- HUNTER	
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PROJECT TITLE:	HARE & HUNTER 1G, 415 Remuera RD Remuera Auckland
PROJECT NUMBER:	TBC
SHEET TITLE:	LEVEL 1 FLOOR PLAN - PROPOSED REFLECTIVE CEILING
DATE: 10/01/2023	SCALE AS SHOWN AT A3
SHEET: 115	REV: A



LEGEND

POWER & DATA

- x-C 'LL or 900' = Proposed = x - number of sockets
= Low level or height above floor
- D-'x' = Data = x - number of sockets
'LL or 900' = Low level or height above floor



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PROJECT NUMBER: TBC

SHEET TITLE:
LEVEL 1 FLOOR PLAN - POWER &
DATA

DATE: 10/01/2023

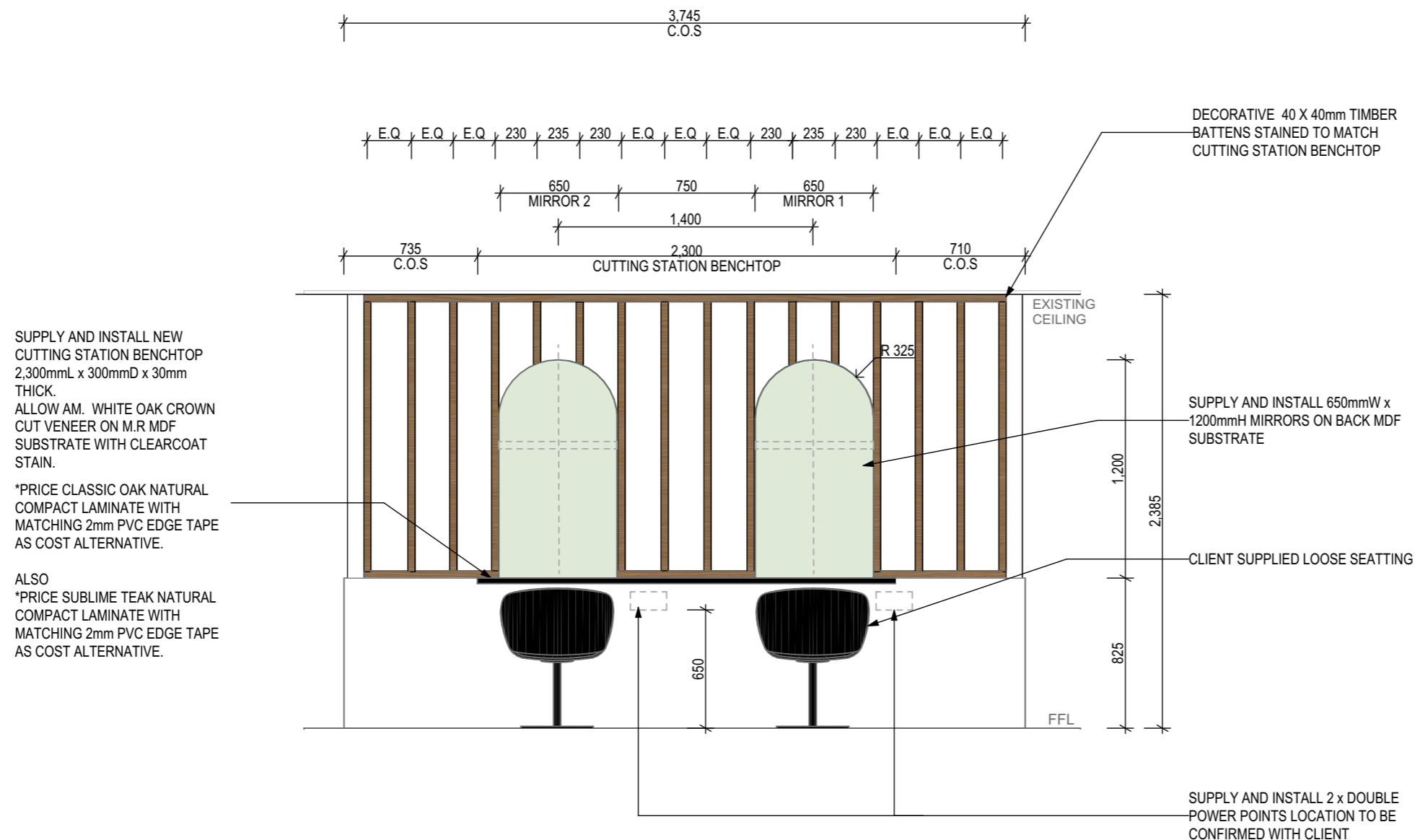
SCALE AS
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SHEET: 116

REV: 1

LEVEL 1 FLOOR PLAN - PROPOSED POWER AND DATA

1:50

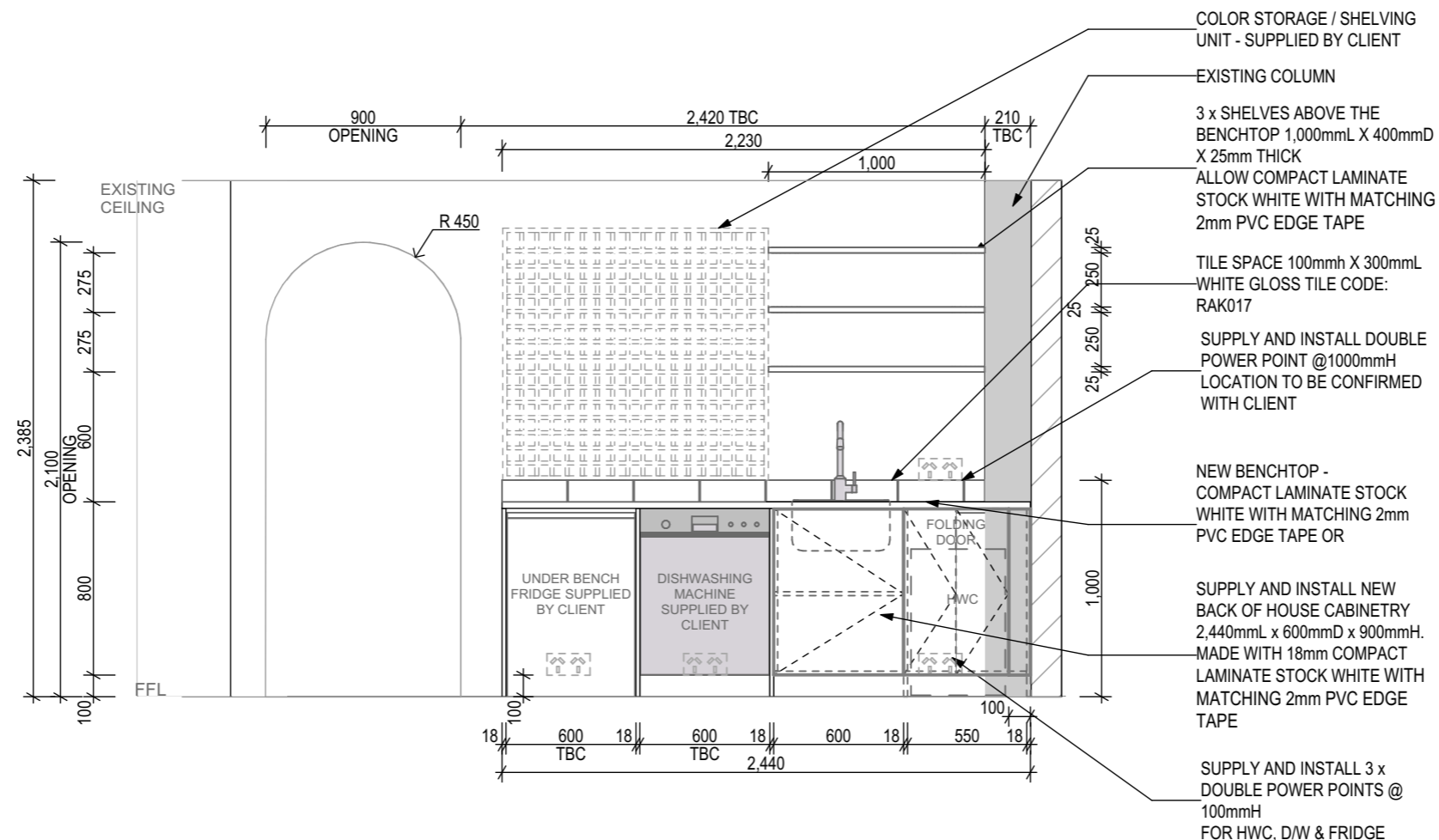


IE-01

INTERIOR ELEVATION / SECTION

1:30

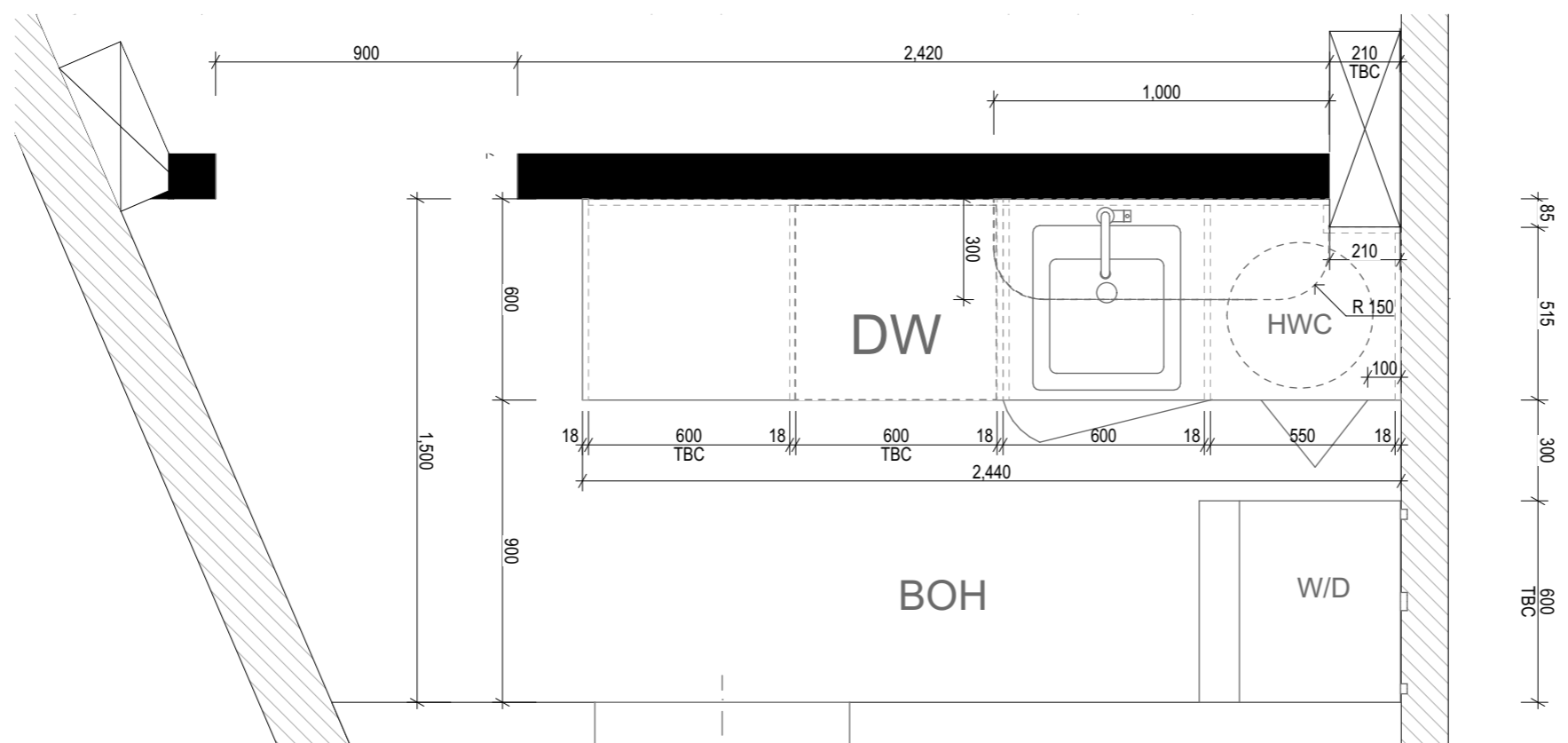
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PROJECT NUMBER:	TBC
SHEET TITLE:	ELEVATIONS
DATE:	SCALE AS SHOWN AT A3
10/01/2023	
SHEET: 200	REV: A



IE-04

INTERIOR ELEVATION / SECTION

1:30



LEVEL 1 FLOOR PLAN - PROPOSED BOH

1:20

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PROJECT NUMBER:	TBC
SHEET TITLE:	ELEVATION / BOH
DATE:	SCALE AS SHOWN AT A3
10/01/2023	
SHEET: 202	REV: A