

APPLICATION NO. 933/16PERMIT NO. 19150DISTRICT OFFICE NO. 145/1458DATE ISSUED 29-8-72LODGED AT  
DISTRICT OFFICE

DISTRICT

DATE 18/8/72D/02

HEAD OFFICE DATE STAMP

RECEIVED  
23 AUG 1972WAITEMATA COUNTY  
COUNCIL  
(INSPECTION DEPT.)

## WAITEMATA COUNTY COUNCIL

68 GREYS AVENUE (P.O. BOX 5440), AUCKLAND. PHONE 33-419.

## BUILDING PERMIT APPLICATION

OWNER OF SECTION: NAME Mr. T. Howe

(BLOCK CAPITALS)

PHONE NO. W.G. P. 9532PRESENT POSTAL ADDRESS 270 Vipond's Rd.BUILDER: NAME Owner

PHONE NO. \_\_\_\_\_

POSTAL ADDRESS \_\_\_\_\_

SIGNATURE OF APPLICANT [Signature]

(Permit will be posted to builder unless otherwise requested)

## NATURE OF PROPOSED BUILDING WORK

Beach Cottage.FLOOR AREA  
OF PROPOSED  
WORK:—Basement: 600 03 1800

Ground Floor: \_\_\_\_\_

First Floor: 600 4800Terrace Others: 220 220Total: 1420 6820VALUE OF WORK \$ 8,000 FEE \$ 33.00 ✓

PAYABLE ON APPLICATION.

## FULL LEGAL DESCRIPTION OF SECTION

(as appears on either rate demand or title deeds)

Lot 90. D.P. 38691BUILDING RESEARCH ACT 1969  
Levy on Buildings Valued in  
excess of \$3,000Amount of Levy \$4.00.1Receipt No. 49467Date 18/7/72VALUATION ROLL NO. 315,662,5

NAME OF PREVIOUS OWNER OF SECTION \_\_\_\_\_

AREA OF SECTION \_\_\_\_\_ Acre(s) FRONTAGE 71.3' FeetROAD NAME 18 Lang Tan LOCALITY Stanmore Bay18 IMPORTANT — SEE INSTRUCTIONS ON PAGE FOUR

## FOR OFFICE USE ONLY

REMARKS Application for crossing to be made after quote from D.E. cov. 18.8.72  
Blay line 40 ft. of 2 Lang Tan Rd

Permit Issued Subject to the Following Conditions \_\_\_\_\_

TO NOTATIONS ON PLANS

Approved by [Signature] Building Inspector 18-8-72 DateApproved by [Signature] Plumbing/Drainage Inspector 22-8-72 DateApproved by [Signature] Health Inspector 23/8/72 DateTown Planning Zoning Res A Town Planning Officer [Signature] DateBuilding Permit Fee \$ 33-00 Receipt No. 49466 Date 18/8/72Road Damage Deposit Fee \$ not required Receipt No. \_\_\_\_\_ Date \_\_\_\_\_

Road Damage Deposit Refund \$ \_\_\_\_\_ To \_\_\_\_\_ Date \_\_\_\_\_

Cost of Vehicular Crossing \$ --- Date \_\_\_\_\_Electricity Transmission Lines: Present/Not Present over property\*Location of R.A.R. or NSDB Trunk Sewers  
Checked --- Release/Hold\*

\*Delete not applicable.

Initials IRW Date 18-8-72

PLEASE REFER TO INSTRUCTIONS ON PAGE FOUR

# SPECIFICATION

TO BE COMPLETED BELOW FOR MINOR BUILDINGS ONLY

(Full specifications are required for all other work)

## FOUNDATIONS

If solid concrete. Size of footings ..... Walls ..... Reinforcing .....  
If concrete blocks. Size ..... Spacing .....  
N.B. All blocks must be at least 12" in to ground and set on a 12" x 12" x 4" concrete pad.

## FRAMING

	Size	Spacing	Span	Timber
Jack Studs	.....	.....	.....	.....
Bearer Plates	.....	.....	.....	.....
Floor Joists	.....	.....	.....	.....
Outer Studs	.....	.....	.....	.....
Inner Studs	.....	.....	.....	.....
Ceiling Joists	.....	.....	.....	.....
Bottom Plates	Size .....			Top Plates. Size .....
Noggins	Size .....		Number of rows of noggins .....	

N.B. (a) Minimum stud height for dwellings is eight feet.  
(b) Top window trimmers must be checked  $\frac{1}{2}$ " or otherwise supported.

## ROOF

Covering ..... Ridges. Size ..... Purlins. Size .....  
Sarking. Size ..... Under Purlins .....  

	Size	Spacing	Span	Timber
Rafters	.....	.....	.....	.....

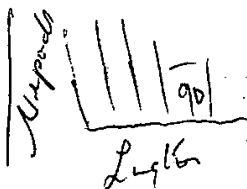
## MISCELLANEOUS

Flooring. Size ..... Exterior Sheathing .....  
Inside Lining .....  
Is any second-hand material to be used in the proposed construction? ..... If YES, then a separate application must accompany this form.

## SANITATION

Privy Type ..... e.g. water closet, chemical pan or night soil?  
N.B.: If chemical pan or night soil pan, the privy building must be at least 15' away from dwelling.

### LOCALITY SKETCH TO SHOW LOCATION OF BUILDING SITE



### DRAINAGE AND PLUMBING

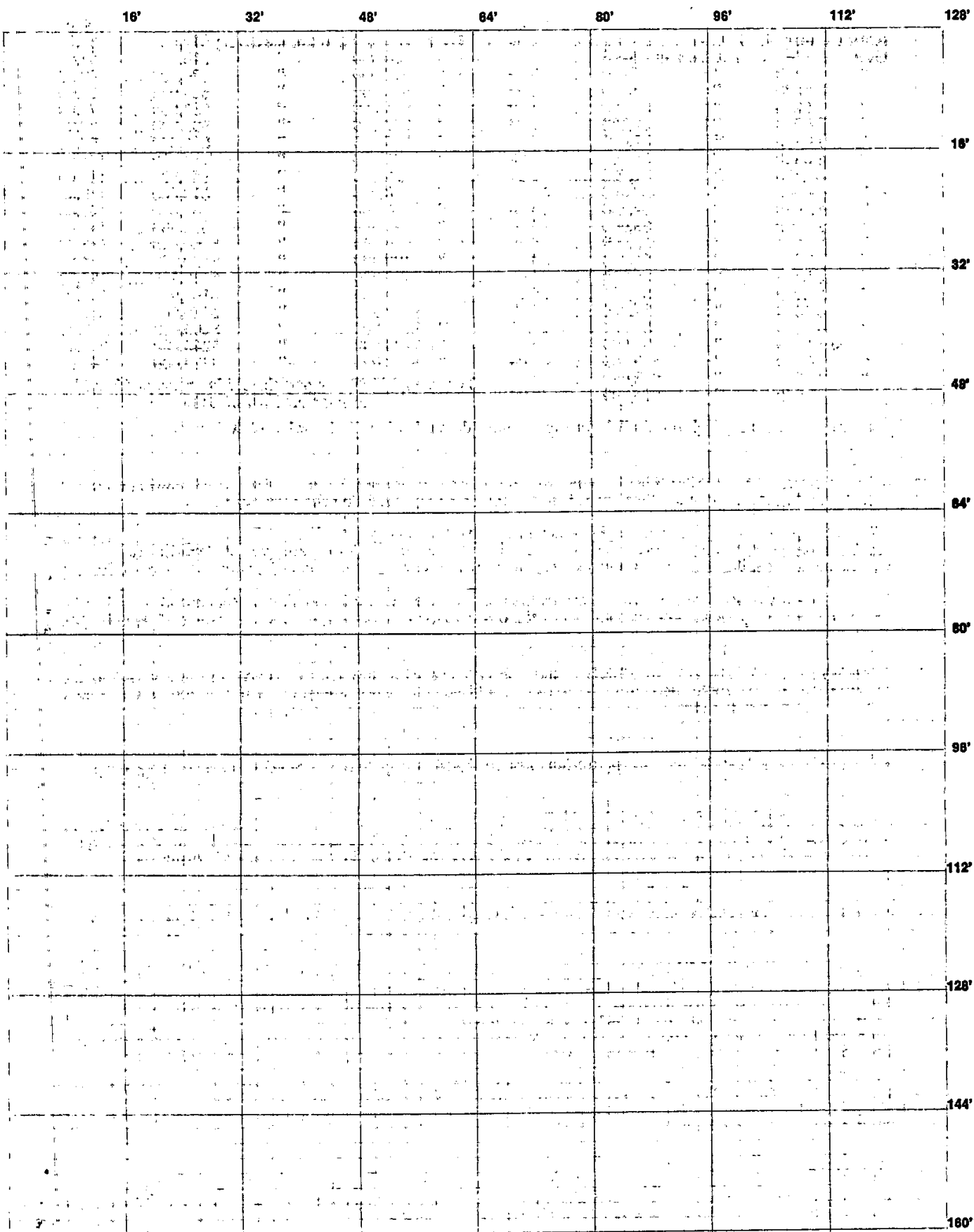
All drainage and plumbing must be carried out by registered tradesmen. If it is intended to install a septic tank, now or in the future, the site must be inspected by the Health Inspector before building is commenced.

IT IS MOST IMPORTANT that buildings should not be occupied before complete plumbing and drainage systems have been installed and officially approved.

PLEASE REFER TO INSTRUCTIONS ON PAGE FOUR

SITE PLAN: (a) All existing buildings are to be shown in black ink and new buildings in red.  
(b) For residential sections the site plan must be accurately drawn to the scale provided. 1/16" = 1' (i.e., one square equals two feet).  
(c) All other sections (including farms, etc.), please state scale used.

ROAD BOUNDARY



**IMPORTANT: Please read the following instructions and ensure that all details are supplied.**

- BUILDING PERMIT APPLICATION FEE.** This is payable at time of application—refer to schedule below.

**Estimated Value of Building Work**

				\$ c.					\$ c.
Not exceeding \$200	.....			1.00	Over	\$14,000 and not exceeding \$16,000	.....		53.00
Over \$200 and not exceeding \$400	.....			2.00	"	\$16,000	"	\$18,000	57.00
" \$400	"	\$600	.....	3.00	"	\$18,000	"	\$20,000	62.00
" \$600	"	\$800	.....	4.00	"	\$20,000	"	\$25,000	70.00
" \$800	"	\$1,000	.....	6.00	"	\$25,000	"	\$30,000	79.00
" \$1,000	"	\$1,200	.....	7.00	"	\$30,000	"	\$35,000	88.00
" \$1,200	"	\$1,400	.....	8.00	"	\$35,000	"	\$40,000	97.00
" \$1,400	"	\$1,600	.....	9.00	"	\$40,000	"	\$50,000	108.00
" \$1,600	"	\$1,800	.....	10.00	"	\$50,000	"	\$60,000	119.00
" \$1,800	"	\$2,000	.....	11.00	"	\$60,000	"	\$70,000	130.00
" \$2,000	"	\$2,500	.....	13.00	"	\$70,000	"	\$80,000	141.00
" \$2,500	"	\$3,000	.....	15.00	"	\$80,000	"	\$90,000	152.00
" \$3,000	"	\$3,500	.....	18.00	"	\$90,000	"	\$100,000	163.00
" \$3,500	"	\$4,000	.....	20.00	"	\$100,000	"	\$120,000	174.00
" \$4,000	"	\$5,000	.....	23.00	"	\$120,000	"	\$140,000	185.00
" \$5,000	"	\$6,000	.....	26.00	"	\$140,000	"	\$160,000	196.00
" \$6,000	"	\$7,000	.....	30.00	"	\$160,000	"	\$180,000	207.00
" \$7,000	"	\$8,000	.....	33.00	"	\$180,000	"	\$200,000	218.00
" \$8,000	"	\$9,000	.....	36.00	"	\$200,000	"	\$240,000	231.00
" \$9,000	"	\$10,000	.....	40.00	"	\$240,000	"	\$280,000	242.00
" \$10,000	"	\$12,000	.....	44.00	For every \$40,000 or part thereof in excess of \$280,000, an additional fee of \$11.00.				
" \$12,000	"	\$14,000	.....	48.00					

In any dispute the Engineer shall have the absolute determination of the value of such work.

- ROAD DAMAGE DEPOSIT:** This is compulsory on all work over the value of \$1,000 at the following rates and must be paid at the time of application: Where the road frontage adjoining the property has —

- No footpath, no kerb or channel, no water main. Amount of deposit: Nil.
- No footpath but one or more of the other services set out in (a) above. Amount of deposit: \$10.
- Metalled or similar footpath with or without any of the other services set out in (a) above. Amount of deposit: \$10.
- A bitumen footpath with or without any of the other services set out in (a) above. Amount of deposit: \$20.
- A concrete footpath with or without any of the other services set out in (a) above. Amount of deposit: \$40.

- A REGISTERED VEHICLE CROSSING** — must be installed before any vehicle may cross from any road to any private property and application for such crossing should be made when applying for a building permit, unless such a crossing already exists.

- SIGNATURE OF APPLICANT** — application must be signed (see space below builder's name on page one).

- LEGAL DESCRIPTION OF PROPERTY** (page one) — this may be obtained from Rate Demand, Title Deeds, or Valuation Advice (i.e. Lot ..... D.P. .... of Allot ..... Parish of .....). If the property has been purchased in the last 12 months, please indicate in the space provided the previous owner's name.

- FLOOR AREA OF PROPOSED BUILDING** — please give accurate details in space provided on page one.

- PLANS OF PROPOSED BUILDING** — for simple sheds, garages, etc., all that is necessary is a floor plan and two elevations, but for baches, dwellings and additions where conventional building construction is to be employed, more detailed plans must be submitted including foundation and basement plans, floor plan, four elevations and cross sections. For more elaborate structures, or any building involving special design for retaining walls, steel fabrication, etc., complete detailed plans must be submitted together with calculations and a Design Certificate. The office will be pleased to make available on request a full schedule of particulars required in respect to such buildings.

IN ALL CASES PLANS MUST BE DRAWN TO SCALE, AND PENCIL SKETCHES CANNOT BE ACCEPTED, AND UNLESS DIRECTED OTHERWISE BY THE INSPECTOR THE APPLICATION INCLUDING PLANS, SPECIFICATIONS AND SITE PLANS MUST BE SUBMITTED IN DUPLICATE.

- SITE PLAN** — a scale drawn site plan must be provided and show all existing and proposed buildings (see page three). As Town Planning Ordinances as well as By-laws must be met, it is advisable to confer with the Building Inspector to ascertain minimum permissible distances from boundaries.

- LOCATION SKETCH** — please illustrate in the space provided on page two a brief locality plan showing location of the property concerned in the application.

**SPECIFICATIONS.**

**HOLIDAY HOME.**

**FOR MR & MRS T. HOWE.**

**LANGTON RD.**

**STANMORE BAY.**

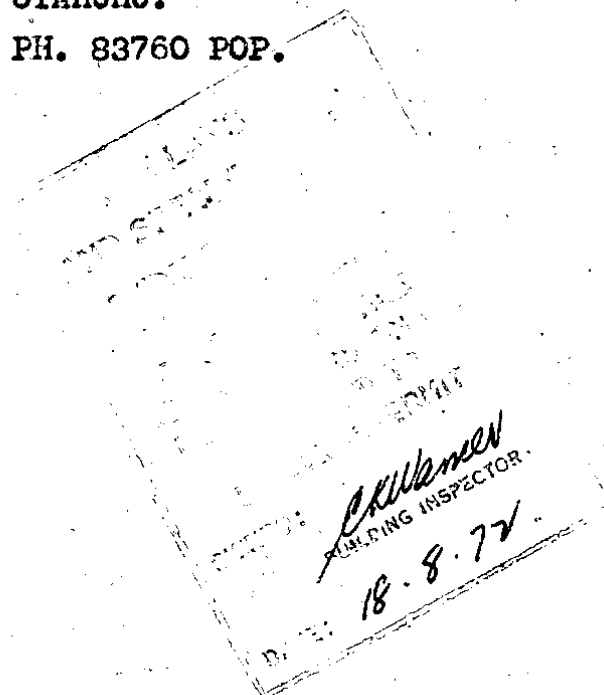
**SHELL ONLY.**

**by CONTEMPARY COTTAGES.**

**126 PORTAGE RD.**

**OTAHUHU.**

**PH. 83760 POP.**



### SCOPE

Contemporary Cottages of 126 Portage RD. Otahuhu is to supply Ex Yard Shell Only a pre built cottage of floor, framing, Exterior sheathing Roof & ceiling as per these plans and specifications.

The owner is responsible for transport from Builders yard all concrete and Block Laying, Plumbing, Electrical, Drainage Framing of lower story, Lining and all finishing work.

Plans and specifications are for owners guidance.

FINISHING: Fittings: Electrical: Plumbing &  
Drainer/Painting: Owner/Builder to arrange.

PERMITS: By owner/Builder: Plumber: Drainer.

DRAINAGE: Plumbing: Stormwater: as directed by Inspector  
in compliance with By Laws &  
to his satisfaction.

CONSTRUCTION: To best Trades Practice in compliance with local  
Authority By Laws & to Inspectors satisfaction.

## CONCRETE

STRUCTURAL 2500 psi. at 28 days

BLOCK FILLING 2500 psi. at 28 days.

### CONCRETE FLOOR

Pour concrete floor as per plan 4" thick to basement & garage reinforce with H.R.C. 666 Mesh fixed over  $\frac{1}{4}$ " floor tie rods at 18" centres.

### BASE WALLS

From foundations lay up 16" x 8" x 8" Decrapac blocks plumb & true, to dimension as per plan. Joints to be full beaded and weather struck, both sides. Care to be taken that cavities to be concrete filled are kept clean and free of mortar.

Blocks are to be laid dry.

Cavities being filled are to be in 4ft. lifts concrete being well compacted.



## REINFORCING

### FOUNDATIONS

to basement

12" x 12"

4 x  $\frac{1}{2}$ "  $\emptyset$  r.m.s.

$\frac{1}{2}$ "  $\emptyset$  ties at 12"  $\emptyset$

$\frac{1}{2}$ "  $\emptyset$  Floor ties at 18"  $\emptyset$  x 18" into floor slab.

### UNDER PARTITION WALL OF BASEMENT.

12" x 8"

2 x  $\frac{1}{2}$ "  $\emptyset$  r.m.s.

$\frac{1}{2}$ "  $\emptyset$  ties 12"  $\emptyset$

### FLOOR.

4" Thick

H.R.C. 666 mesh

### BOND BEAM PERIMETER

16" x 8"

4 x  $\frac{1}{2}$ "  $\emptyset$  r.m.s..

$\frac{1}{2}$ "  $\emptyset$  ties at 12"  $\emptyset$

### SCHEDULE OF MATERIAL

<u>DECRAPEC BLOCKS</u>	16" x 8" x 82
<u>Bearers</u>	12" x 4" Tan No I Pine. 4
<u>Bridging</u>	6 x 2 1/2 span 8 x 2 1/2 span
<u>Floor Joists</u>	8 x 2 Boron T. Pine 18" Ø
<u>Floor</u>	T7W.P. partical board 12' x 6' sheet
<u>Top and bottom Plates</u>	4 x 2 Boron T pine or O B Rumi
<u>Studs</u>	4 x 2 " " " " " " " " 18" Ø
<u>66666</u> <u>Nogs</u>	4 x 2 Boron T. Pine or OBrumu 3 rows
<u>Bracing</u>	4 x 2 " " " " " " " " cut in
<u>Non Bearing Pa rtions</u>	3 x 2 " " " " " " " "
<u>Ridge Beam</u>	X 12 x 4 Douglas Fir
<u>Rafter</u>	X 6 x 2 Douglas Fir 36" Ø
<u>Purlins</u>	3 x 2 Boron Pine 36" Ø
<u>Roof Bracing</u>	3 x 2 cut between purlins inu of Dragon ties.
<u>Roofing</u>	Long run C G Iron
<u>Ceiling</u>	Flat Fibro on rafters
<u>Shea thing</u>	9" Ø coverline Fibro
<u>Flashing &amp; Rainwater goods</u>	26 Gauge C G Iron
<u>Collar Ties</u>	-142 1 1/2" x 18" Galv Strap joining ra fters at Ridge in Lu of collar Ties.

Riding **HIBISCUS COAST**

County of Waitemata

*BPA 191501*

Roll No. **315 / 662 / 5**

**NO 19150**

## **BUILDING PERMIT**

Date **29.8.72**

Owner of Section **Mr. T. Howe,**  
Address **270 Viponda Road,**  
**STANMORE BAY.**

**This Permit** is granted to the undermentioned person authorising the following building work on

Lot No. **90 D.P. 38691**

on **18 Lanston**, Road **STANMORE BAY**

in accordance with the plans lodged and

subject to the following conditions: **Subject to the provisions of Sec. 22 (5) of the Counties Amendment Act 1961.**

Nature of proposed work

**BEACH COTTAGE**

**Mr. T. Howe,**  
**270 Viponda Road,**  
**STANMORE BAY.**

Value of work, \$ **8,000**

Fee \$ **33 : 00 :** Rec. No. **49466 18.8.72**

For the Waitemata County Council.

**FOR FURTHER CONDITIONS SEE OVER.**

  
Duly Authorised Officer.

*W. L. L. L.*

Inspector

Building Inspected

*25. 10. 72*

Final Inspection

*16. 5. 73*

Register Noted: Date