



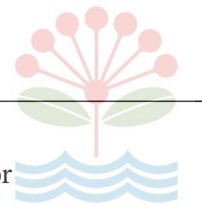
# DAVID & FRAYJA ATKINSON 4 AYDON ROAD TITARANGI

**SCOPE OF WORKS**

Re-pile part of existing single storey dwelling,  
New concrete block wall to carport with Internal alterations kitchen, bathroom layouts.  
Remove existing broken Block base wall, new piles & base lining.

*Legal Description*  
Lot 4 Dp 20575  
Area 1674m2

Sheet Index		
Layout ID	Layout Name	Issued
	Cover Page & Sheet Index	<input type="checkbox"/>
A01	As Built Site Plan	<input type="checkbox"/>
A02	As Built Floor Plan	<input type="checkbox"/>
A03	AS Built Elevations	<input type="checkbox"/>
A04	Site Plan	<input type="checkbox"/>
A05	Survey Plan	<input type="checkbox"/>
A06	Ground Floor Plan	<input type="checkbox"/>
A07	Elevations	<input type="checkbox"/>
A08	Ground Floor Foundation Plan	<input type="checkbox"/>
A09	Carport Details	<input type="checkbox"/>
A09	Section Details Front Deck	<input type="checkbox"/>
A10	NZS 3604 Subfloor Brace Details	<input type="checkbox"/>
A10a	Concrete Wall Design	<input type="checkbox"/>
A11	Internal water proofing.	<input type="checkbox"/>



All materials and fixings to comply with NZS3604:2011 - requirements for building within a sea spray zone.  
High Wind Zone  
Corrosion Zone - D  
Earthquake Zone - 1 (Soil A & D)  
Insulation Zone - 1  
Notwithstanding what is shown in the plans and specifications,  
all building work shall comply with the NZ Building Code, Acceptable Solutions and/or Approved Alternative Solutions

**NOTES:-**

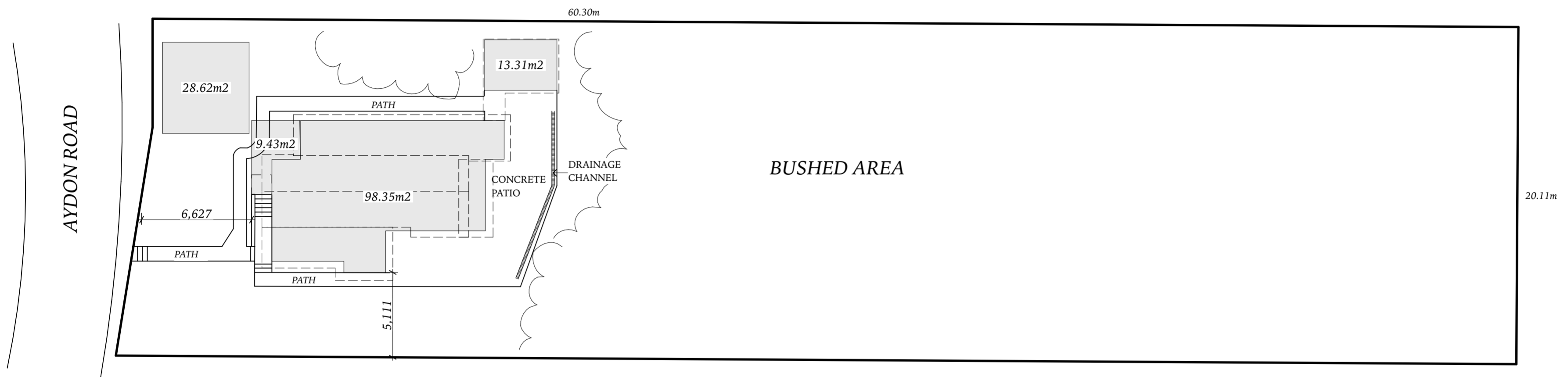
Unless specifically designed, all timber construction is to comply with NZS: 3604:2011 Timber Framed Buildings as a means of compliance with the NZ Building Code  
The contractor shall check and verify all dimensions and levels on site before commencing with construction.  
The contractor shall supply and fix all necessary flashings and sealants to provide a completely weathertight building.  
Refer to all written dimensions, DO NOT scale off drawings.  
All foundations are to bear into firm undisturbed subsoils to have a bearing capacity of not less than 300 kpa as required by NZS 3604 3.1(a) or to an equivalent standard. All foundation are to be set out from the production drawings. ( not included in this consent)

All structural fixings in exposed or sheltered positions shall be Type 304 stainless steel  
All Glazing to comply with NZS 4223 Part. 3:2016  
Glazing to comply with NZS4223.3:2016  
Any glass 1m above floor level shall be safety glass & opening restrictors, All glazing in bathrooms 2m from FL must be safety glass as per clause 2.0 of F4/AS1.  
Energy efficiency - small buildings NZS 4218 2004 acceptable energy efficiency climate Zone 1 table 1 min R values  
Roof R2.9  
Walls R1.9  
Floor R1.3  
Glazing vertical R 0.26  
Glazing horizontal R 0.26.  
Interior bathroom linings shall be 10mm thick villa board.

Means of compliance for Sanitary Plumbing G13/AS1



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1 Site 1:200


**SITE INFORMATION**  
Lot 4 Dp 20575 Area of lot 1,674m<sup>2</sup>

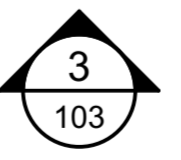
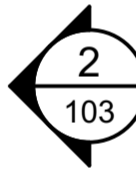
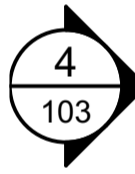
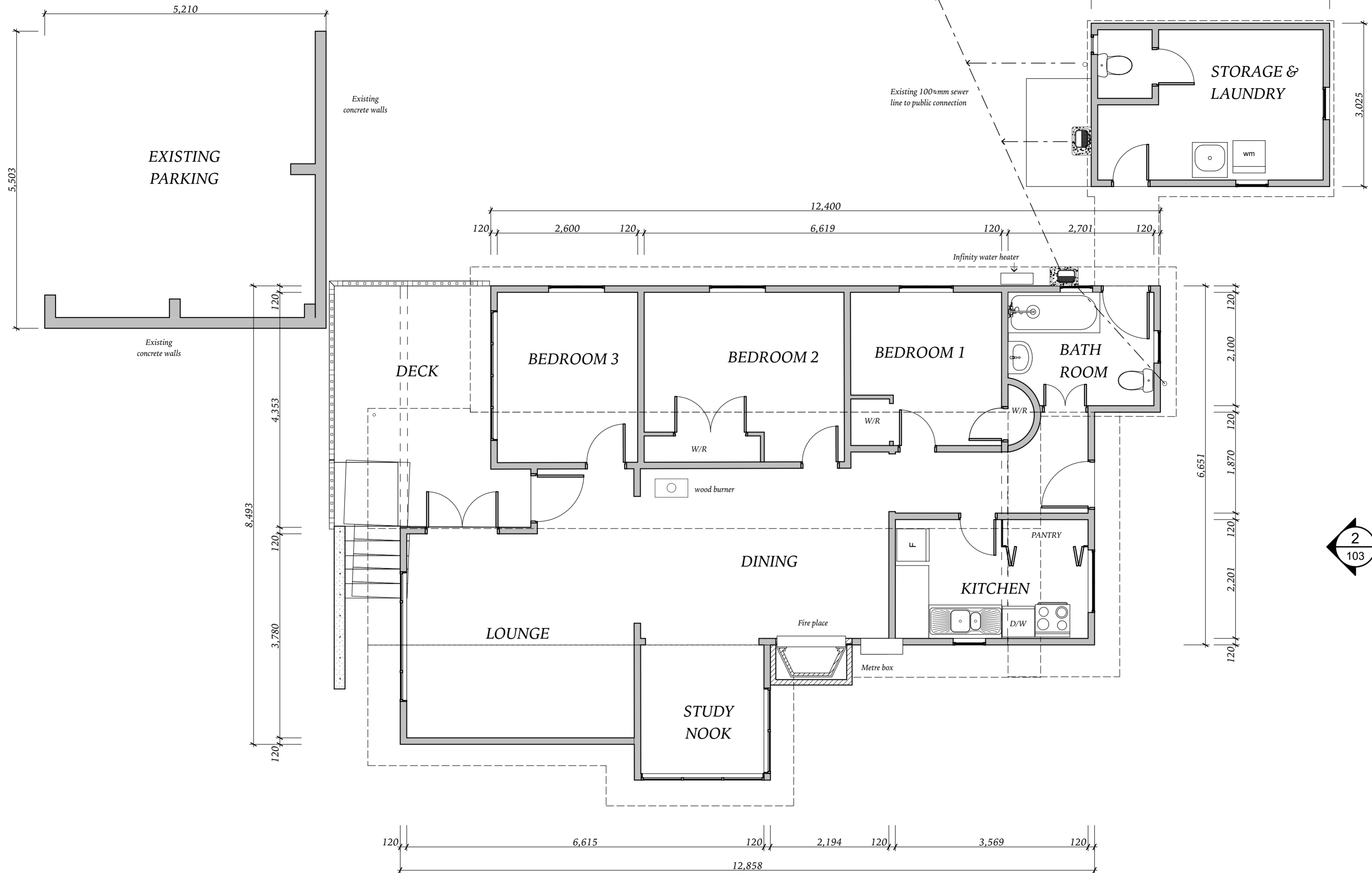
**SITE COVERAGE**

Garage slab	28.62
Shed	13.31
House	98.35
<b>Total</b>	<b>140.28</b>

1674 x 0.35 = 585.90 - 140.28 = 445.62  
Compliant by 445.62 m<sup>2</sup>

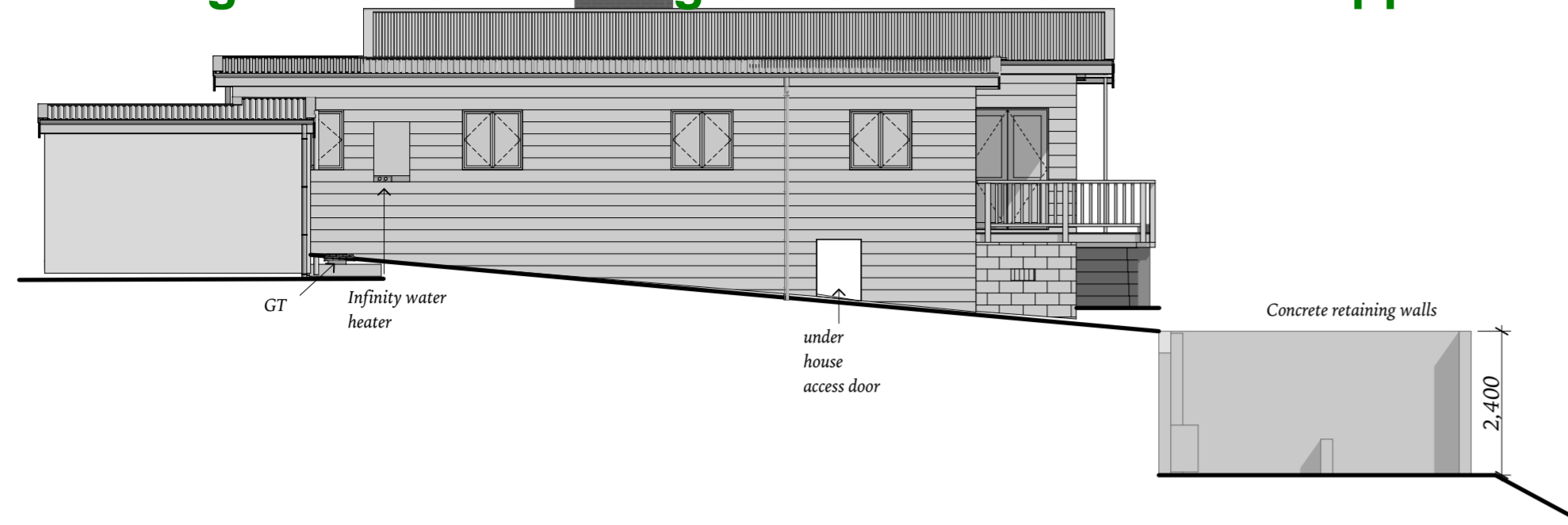
BUILDING CONSENT

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	Drawn <b>Steve Connon</b> Company <b>ta/ Building design</b> Creation Date <b>15/3/22</b> Plot Date <b>4/03/23</b>		
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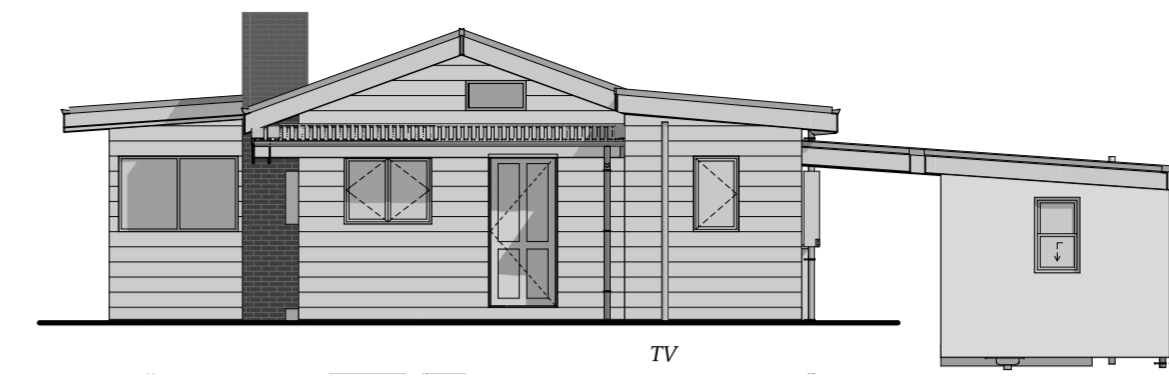


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		For <b>DAVID &amp; FREYJA ATKINSON</b>	
At <b>4 Aydon Road, Titarangi</b>		City <b>Auckland</b>	
Drawn <b>Steve Cannon</b>		Company <b>ta/ Building design</b>	
Creation Date <b>15/3/22</b>		Plot Date <b>4/03/23</b>	
ALL DIMENSIONS TO BE VERIFIED ON SITE			
Drawing Title <b>As Built Floor Plan</b>	Drawing Number <b>A02</b>	Scale <b>1:50</b>	Sheet size <b>A2</b>



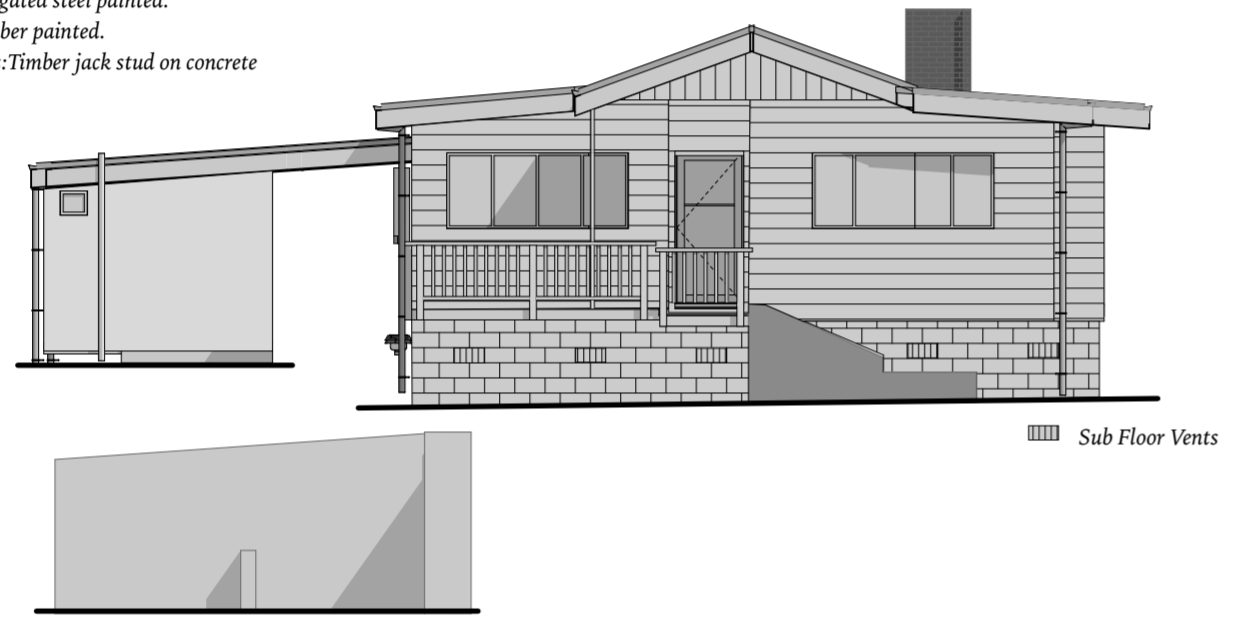
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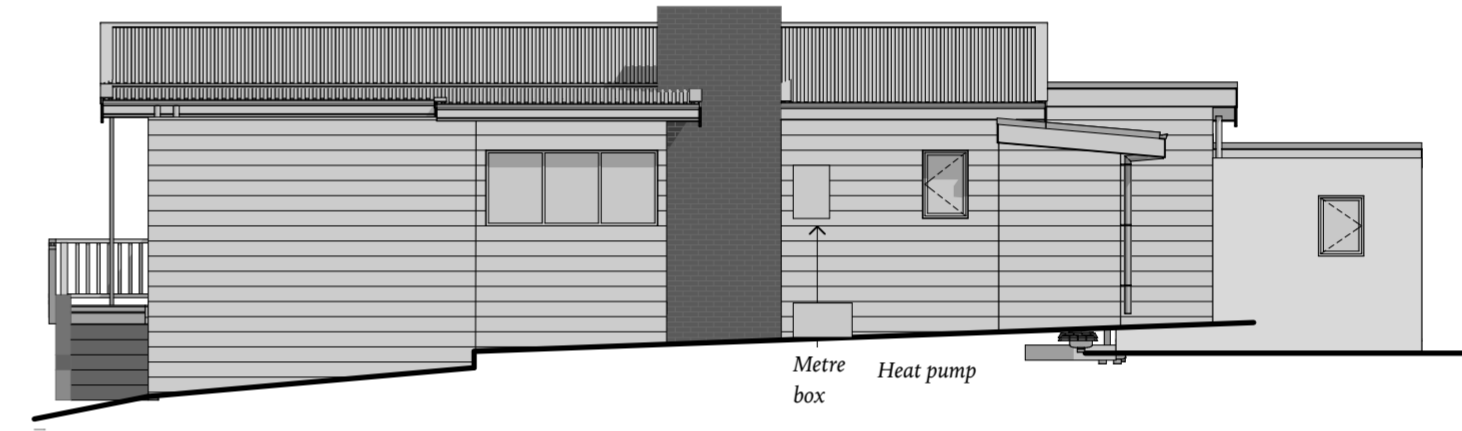
2 East Elevation 1:100

*House Information*  
 Walls: 200x25 timber weather boards.  
 Roof: Galvanised tray deck painted.  
 Joinery: Timber painted.  
 Foundations: Timber jack stud on concrete blocks.

*Shed*  
 Walls: Flat cement sheet painted.  
 Roof: Corrugated steel painted.  
 Joinery: Timber painted.  
 Foundations: Timber jack stud on concrete blocks.



4 West Elevation 1:100




3 South Elevation 1:100

Frayja -As Built2-PDF 1:1

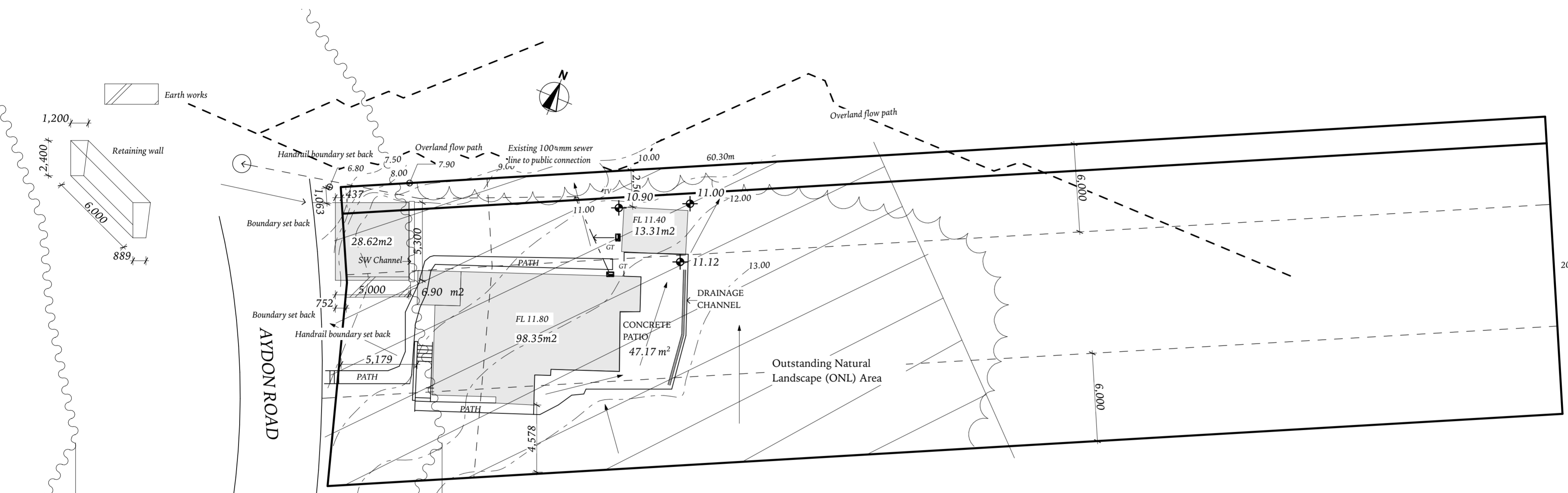


BUILDING CONSENT

 For <b>DAVID &amp; FREYJA ATKINSON</b> At <b>4 Aydon Road, Titarangi</b> City <b>Auckland</b>		Drawn <b>Steve Cannon</b> Company <b>ta/ Building design</b> Creation Date <b>15/3/22</b> Plot Date <b>4/03/23</b>	
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ALL DIMENSIONS TO BE VERIFIED ON SITE			
Drawing Title	Drawing Number	Scale	Sheet size
<b>AS Built Elevations</b>	<b>A03</b>	<b>1:100</b>	<b>A2</b>



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Coastal Protection Yard

**Earth works calculations m3**

Behind replaced retaining wall  
6.00 x 1.000 x 2.400 = 14.40m3

Under deck  
6.90 x .50 = 3.45m3

Garage 4.7 x 5.3 x 0.5 = 12.45m3

**Total 30.30m3**

m2 9.00 + 6.90 + 28.62 =  
44.52m2

← Direction of surface water discharge, arrow points to lower direction.

**SITE INFORMATION**  
Lot 4 Dp 20575 Area of lot 1,674m2

**SITE COVERAGE**

Garage slab	28.62
Shed	13.31
House	98.35
<b>Total</b>	<b>140.28</b>

1674 x 0.35 = 585.90 - 140.28 = 445.62  
Compliant by 445.62 m2.

**IMPERVIOUS AREA 60%**

Not including paths under 0.90 wide

Garage, Shed & House	140.28
Patio	61.92
<b>Total</b>	<b>202.20</b>

Allowable 60% 1674 x 0.60 = 1004.40  
Complies by 802.20m2

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	Drawn <b>Steve Connon</b> Company <b>ta/ Building design</b> Creation Date <b>15/3/22</b> Plot Date <b>4/03/23</b>		
ALL DIMENSIONS TO BE VERIFIED ON SITE			
Drawing Title	Drawing Number	Scale	Sheet size
<b>Site Plan</b>	<b>A04</b>	<b>1:200</b>	<b>A2</b>



SURVEYED	PG	24.08.22	APPROVED	DATE
DESIGNED				
DRAWN	PG	29.08.22		
CHECKED				
APPROVED				

REV	CHANGES	CHKD	DATE
0	ORIGINAL ISSUE	PG	31.08.22

- NOTES:**
- BEARING AND COORDINATE DATUM - NEW ZEALAND GEODETIC DATUM 2000  
MT EDEN CIRCUIT 2000
  - LEVELS ARE IN TERMS OF AUCKLAND VERTICAL DATUM 1946.
  - ORIGIN OF LEVELS - IS VIII DP 164532 (GC - ET4V)  
791964.244mN  
390866.400mE  
R.L. =20.91m (2016)  
CONVERTS TO  
R.L. =21.194m (1946).
  - TOTAL AREA = 1674m<sup>2</sup>.
  - RECORD OF TITLE - NA78D/432
  - PUBLIC DRAINAGE PLOTTED FROM COUNCIL GEOMAPS UNLESS OTHERWISE SHOWN. CCTV SURVEY REQUIRED TO DETERMINE PIPE POSITION.

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REGISTERED PROFESSIONAL SURVEYOR

MEMBER OF:  
Survey and Spatial New Zealand

**CLIENT**

FREYJA ATKINSON

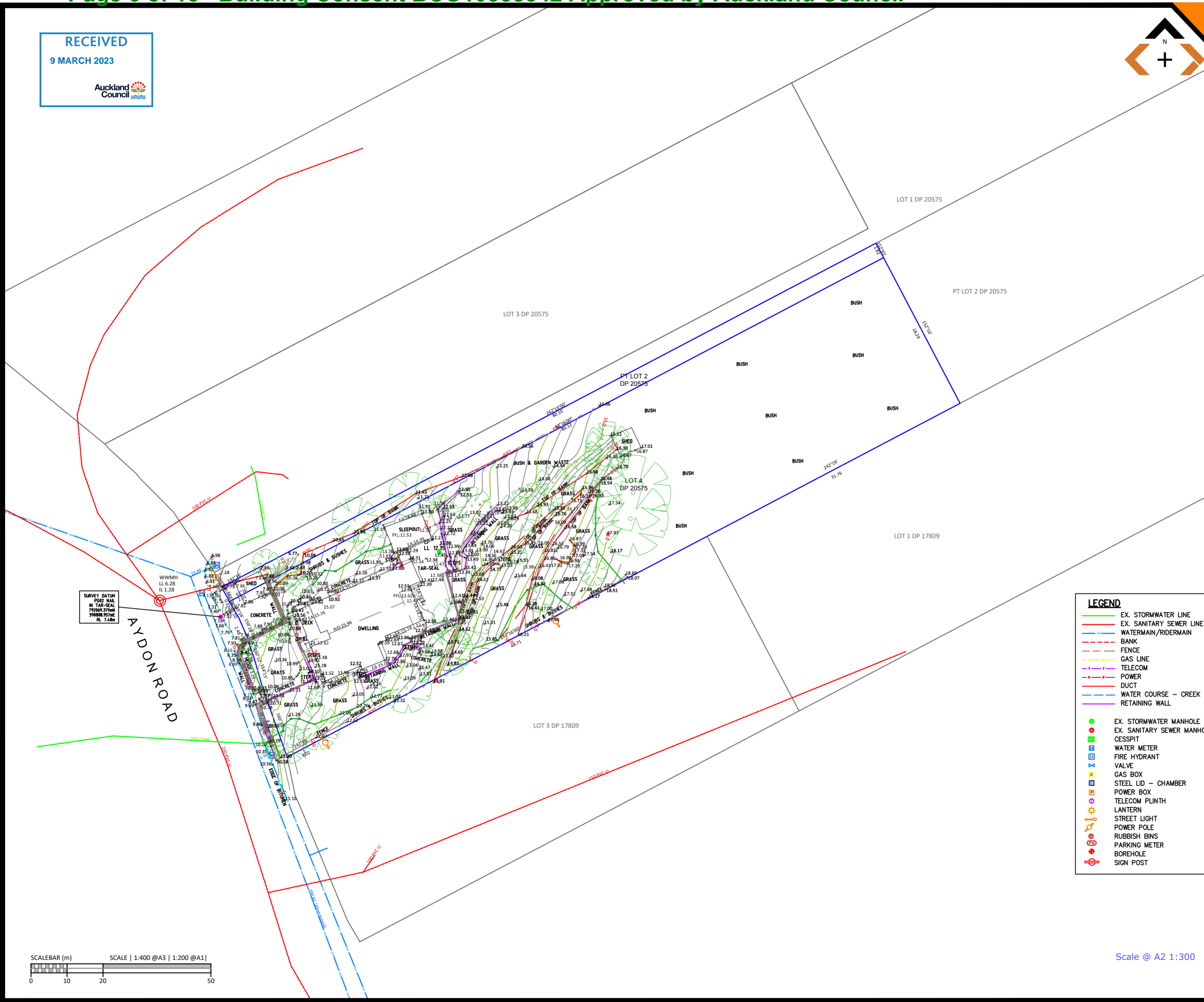
**PROJECT**

4 AYDON ROAD, TITIRANGI

**TITLE**

PARTIAL TOPOGRAPHICAL SURVEY  
(LOT 4 DP 20575 & PT LOT 2 DP 20575)

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<b>SHEET</b>	1 of 1	
<b>REVISION</b>		0

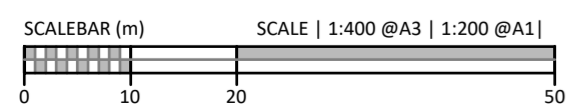


**LEGEND**

	EX. STORMWATER LINE
	EX. SANITARY SEWER LINE
	WATERMAIN/RIDERMAIN
	BANK
	FENCE
	GAS LINE
	TELECOM
	POWER
	DUCT
	WATER COURSE - CREEK
	RETAINING WALL

	EX. STORMWATER MANHOLE
	EX. SANITARY SEWER MANHOLE
	CESSPIT
	WATER METER
	FIRE HYDRANT
	VALVE
	GAS BOX
	STEEL LID - CHAMBER
	POWER BOX
	TELECOM PLINTH
	LANTERN
	STREET LIGHT
	POWER POLE
	RUBBISH BINS
	PARKING METER
	BOREHOLE
	SIGN POST



Scale @ A2 1:300

PLOT DATE: 9/2/2022 1:38 PM

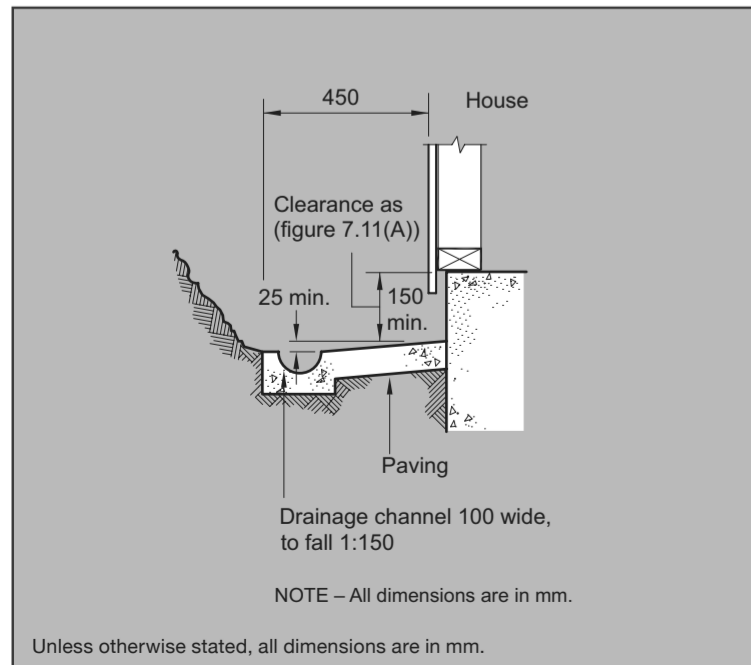
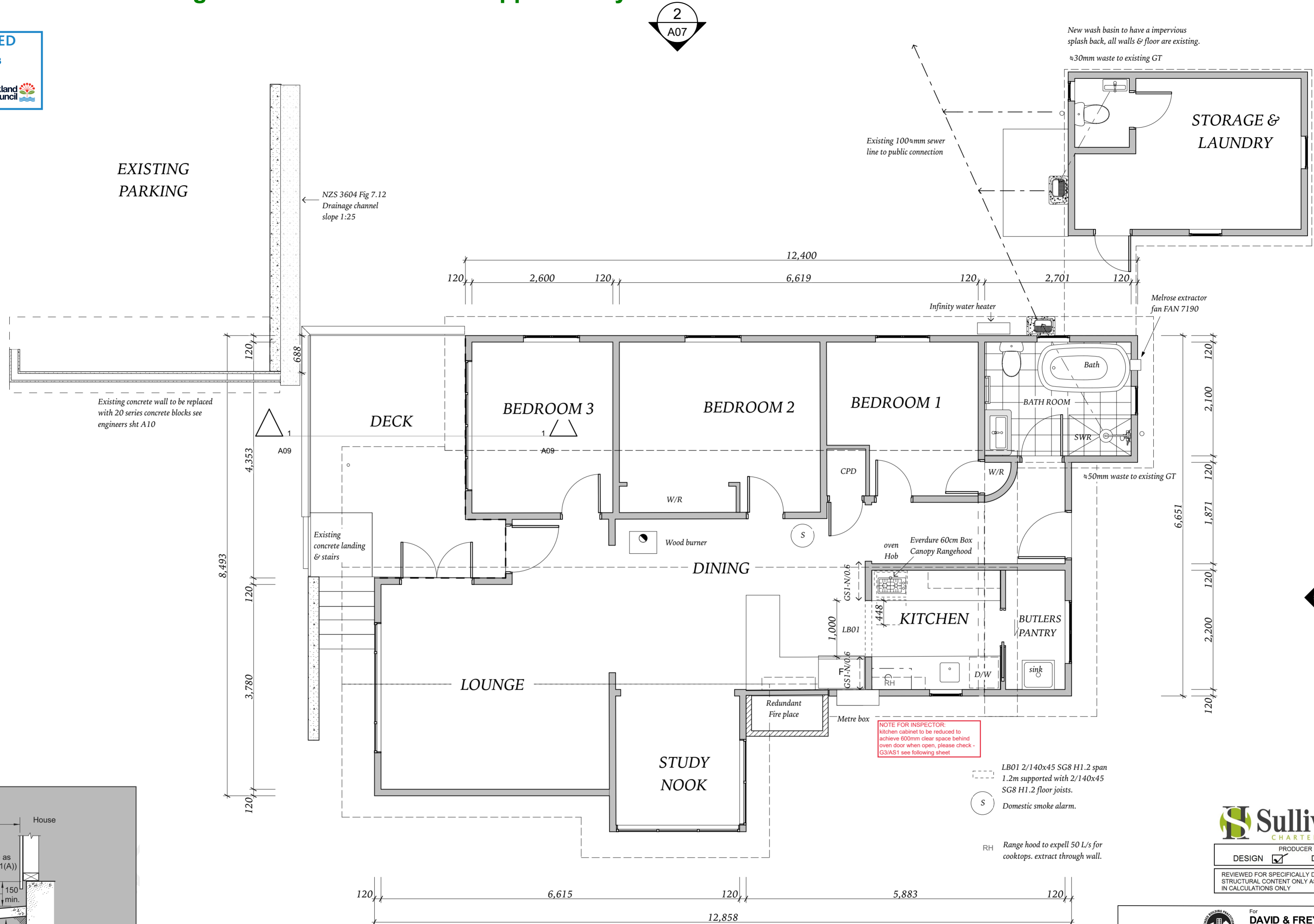


Figure 7.12 - Provision of permanent paving adjoining buildings with concrete slab-on-ground floors (see 7.5.2.2)

**NOTE FOR INSPECTOR:**  
Kitchen cabinet to be reduced to achieve 600mm clear space behind oven door when open, please check - G3/AS1 see following sheet

LB01 2/140x45 SG8 H1.2 span 1.2m supported with 2/140x45 SG8 H1.2 floor joists.

S Domestic smoke alarm.

RH Range hood to expell 50 L/s for cooktops. extract through wall.



PRODUCER STATEMENT	
DESIGN <input checked="" type="checkbox"/>	DESIGN REVIEW <input type="checkbox"/>
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<i>SK</i> C.P. ENG.	

		For <b>DAVID &amp; FREYJA ATKINSON</b>	
At <b>4 Aydon Road, Titarangi</b>		City <b>Auckland</b>	
Drawn <b>Steve Cannon</b>		Company <b>ta/ Building design</b>	
Creation Date <b>15/3/22</b>		Plot Date <b>4/03/23</b>	
ALL DIMENSIONS TO BE VERIFIED ON SITE			
Drawing Title	Drawing Number	Scale	Sheet size
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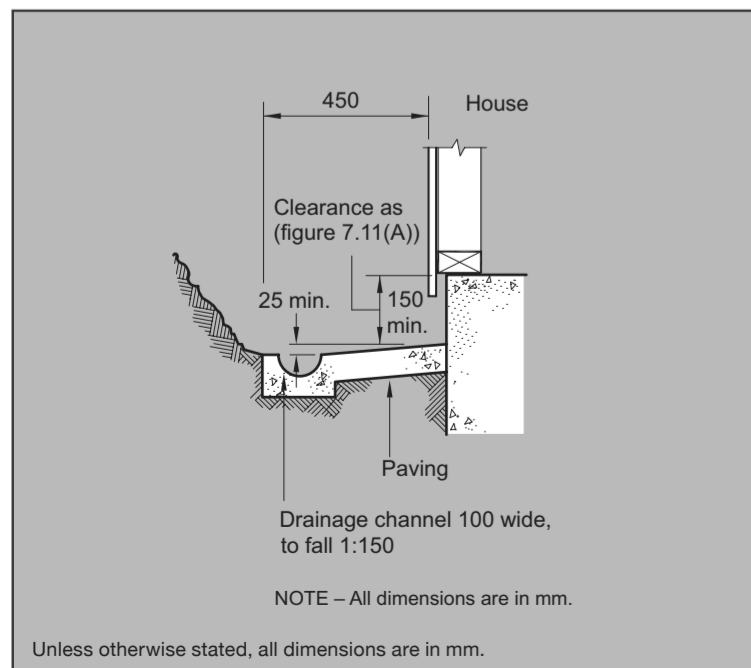
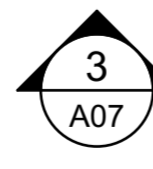
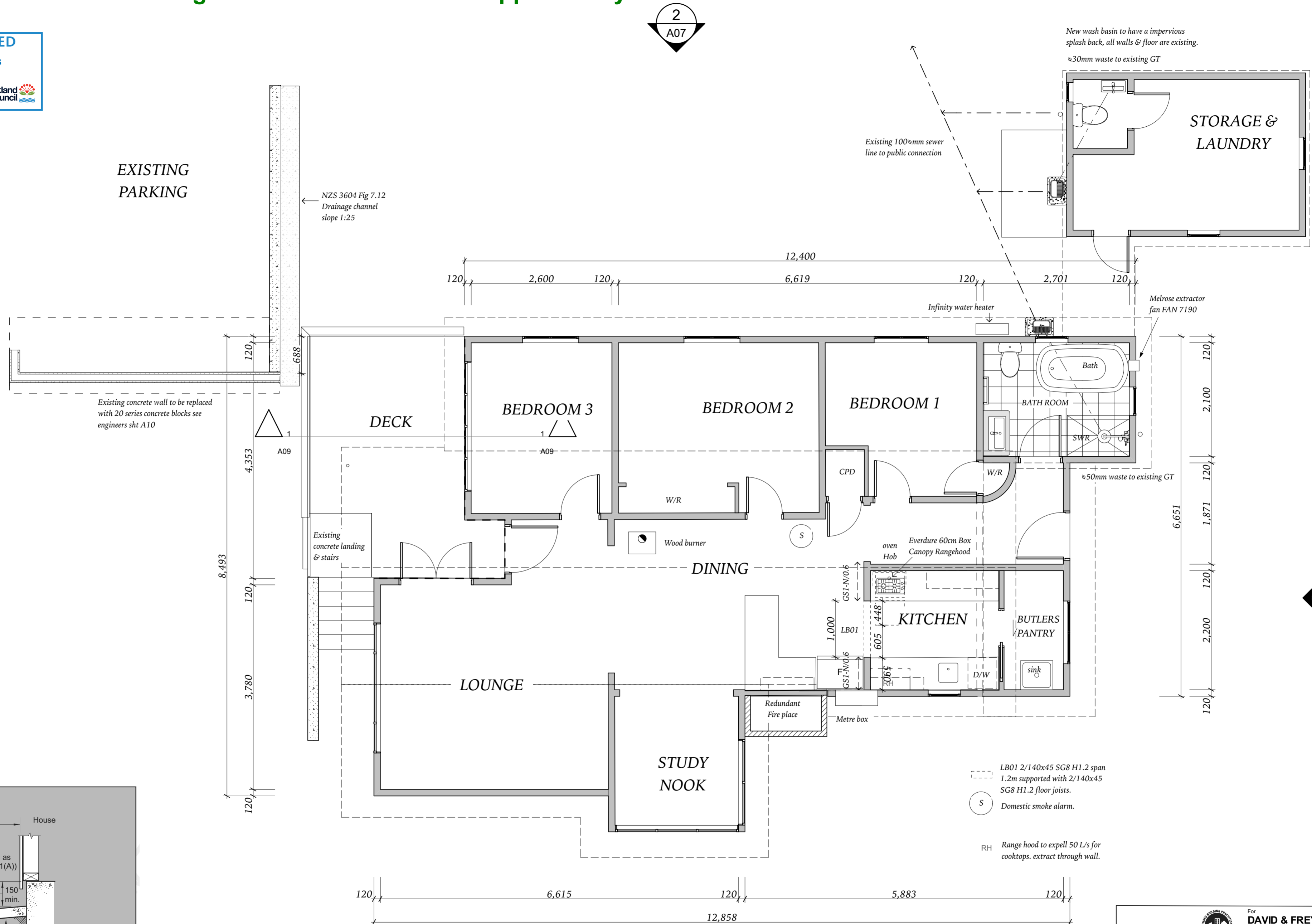


Figure 7.12 - Provision of permanent paving adjoining buildings with concrete slab-on-ground floors (see 7.5.2.2)

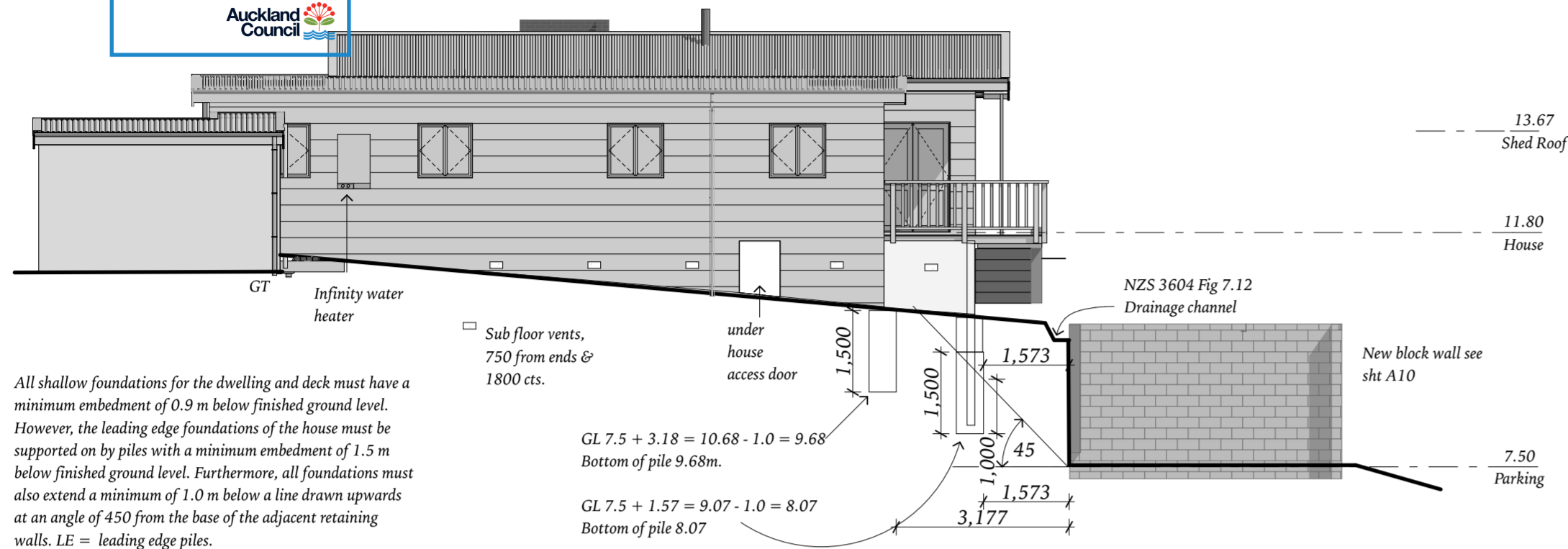
- LB01 2/140x45 SG8 H1.2 span 1.2m supported with 2/140x45 SG8 H1.2 floor joists.
- (S) Domestic smoke alarm.
- RH Range hood to expell 50 L/s for cooktops. extract through wall.

		For <b>DAVID &amp; FREYJA ATKINSON</b>	
At <b>4 Aydon Road, Titarangi</b>		City <b>Auckland</b>	
Drawn <b>Steve Connon</b>		Company <b>ta/ Building design</b>	
Creation Date <b>15/3/22</b>		Plot Date <b>9/03/23</b>	
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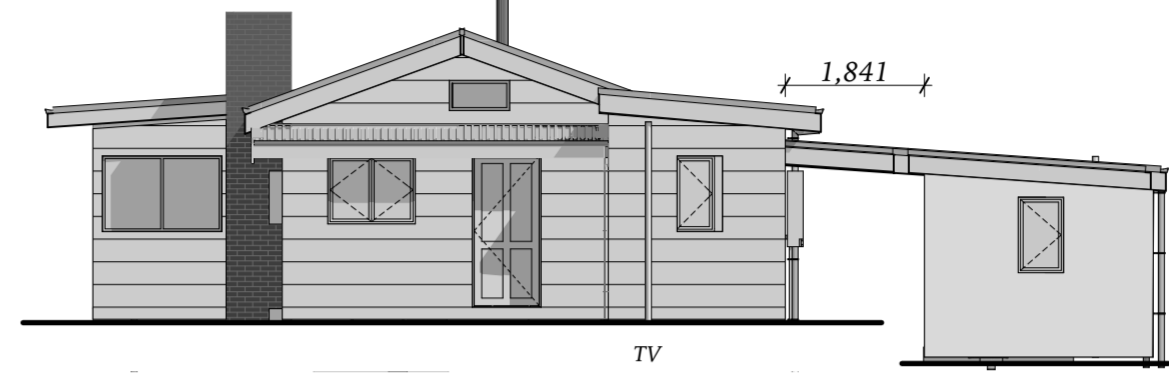
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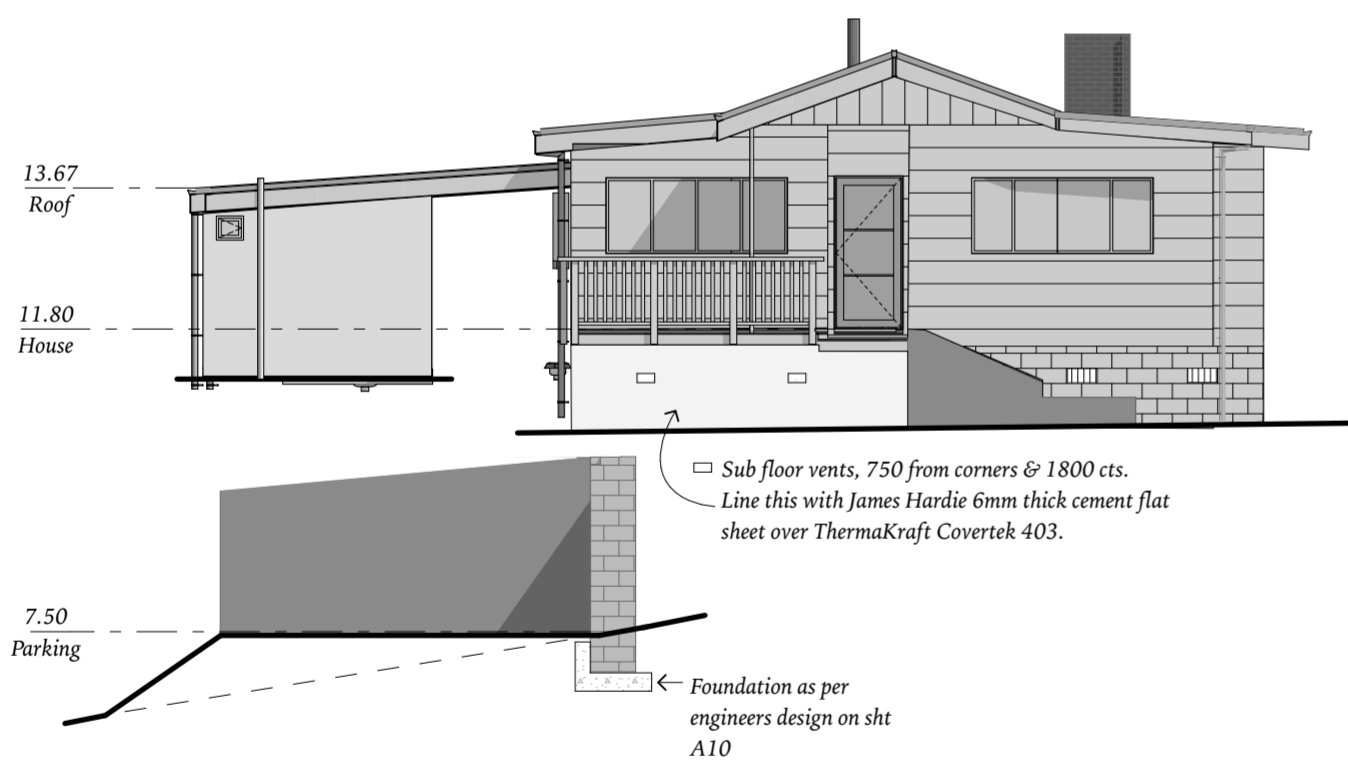
All shallow foundations for the dwelling and deck must have a minimum embedment of 0.9 m below finished ground level. However, the leading edge foundations of the house must be supported on by piles with a minimum embedment of 1.5 m below finished ground level. Furthermore, all foundations must also extend a minimum of 1.0 m below a line drawn upwards at an angle of 45° from the base of the adjacent retaining walls. LE = leading edge piles.

**Leading edge LE foundation pads.**  
The calcs are based on the parking GL bottom of these pads will be as per clacs then 1m deep filled to 1.5m with 25mpa concrete, the remainder to be filled with compacted clay to ground level.

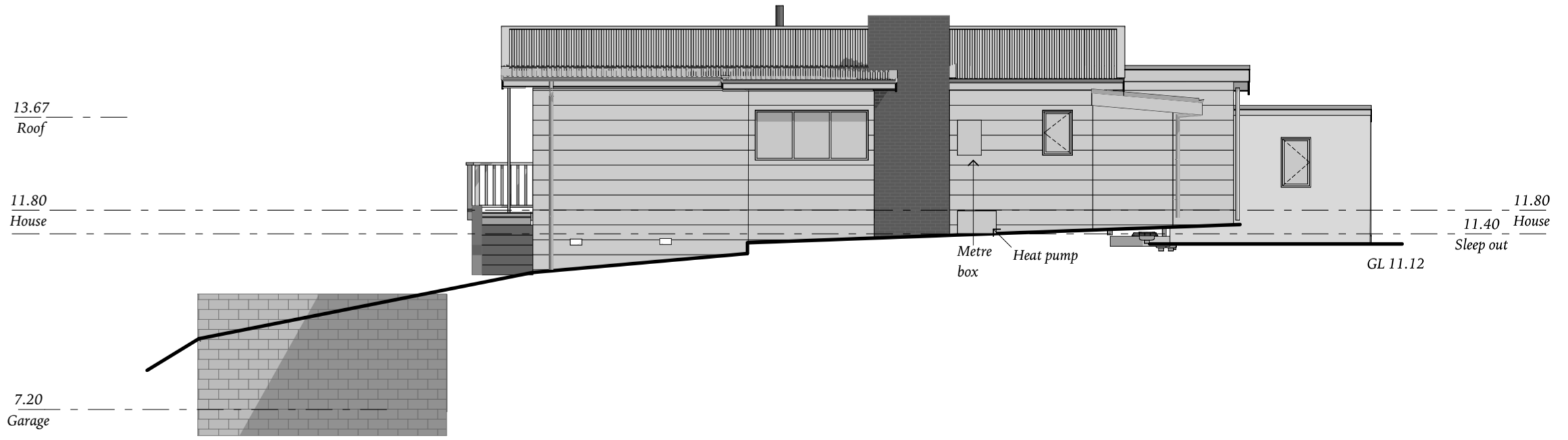
2 North Elevation 1:100



1 East Elevation 1:100



4 West Elevation 1:100



3 South Elevation 1:100

BUILDING CONSENT

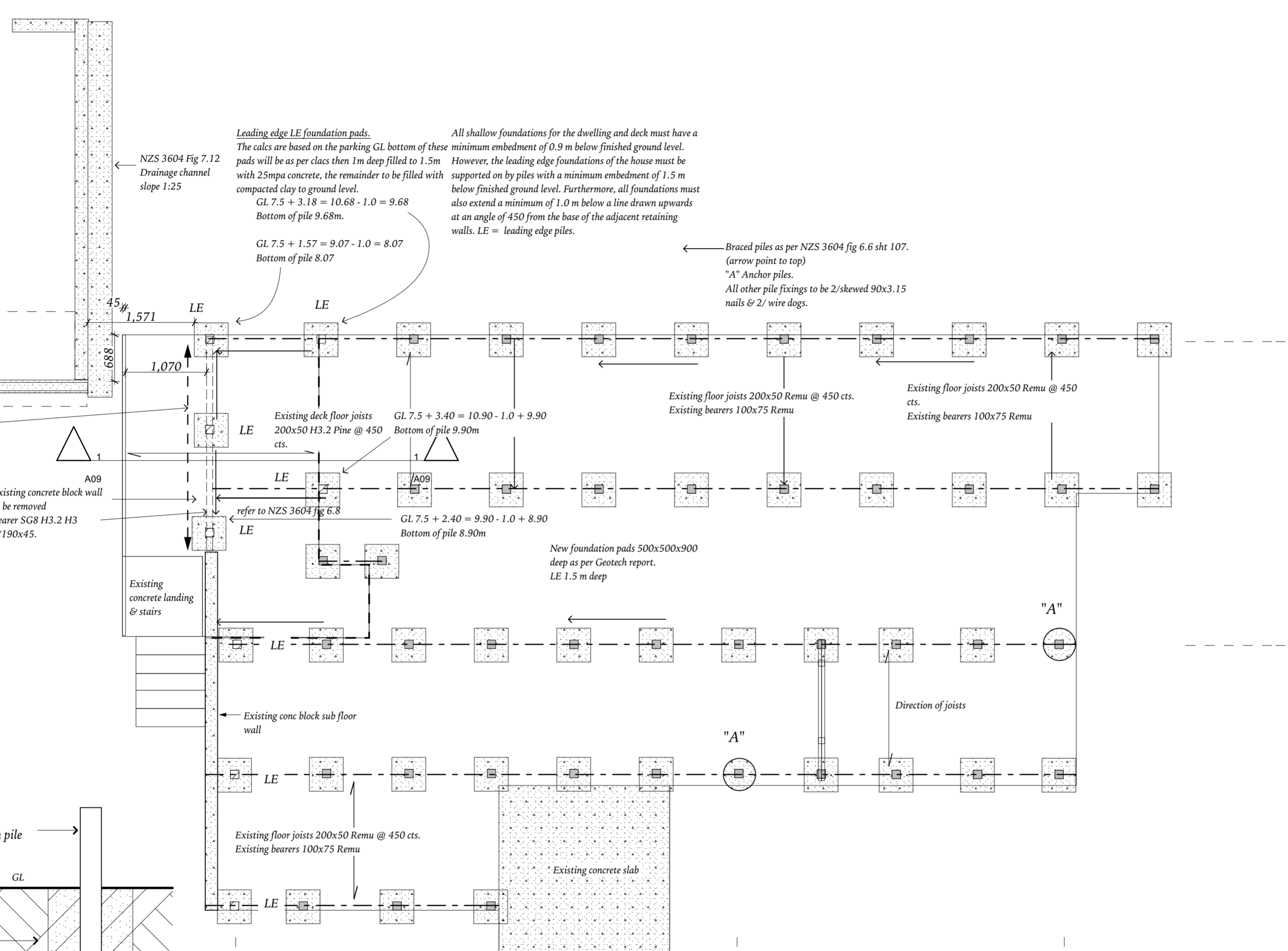
		For <b>DAVID &amp; FREYJA ATKINSON</b> At <b>4 Aydon Road, Titarangi</b> City <b>Auckland</b>	
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Drawing Title	Drawing Number	Scale	Sheet size
<b>Elevations</b>	<b>A07</b>	<b>1:100</b>	<b>A2</b>



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Methodology for the carport retaining wall removal

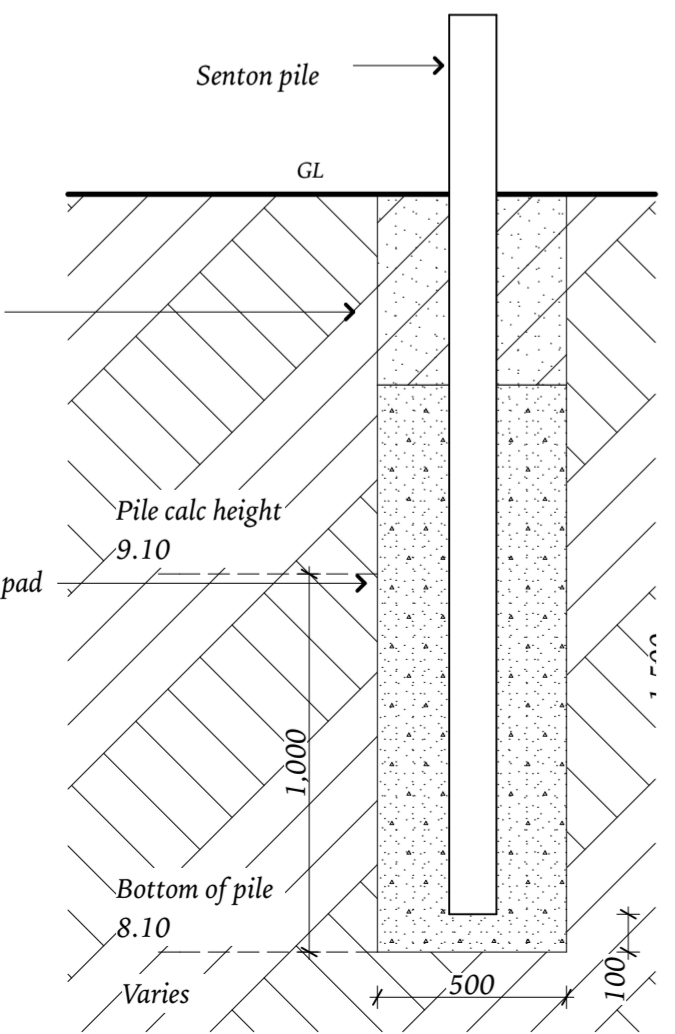
1. Confirm all dimensions prior to demolishing works.
2. Prop existing concrete retaining wall along the eastern side.
3. Excavate around southern carport retaining wall. Safety batter (min 1H:2V) maybe required please consult with Geotechnical Engineer.
4. Demolish southern carport retaining wall using health and safety regulations.
5. Construct new retaining wall as per RW1 detail on A10a page.
6. Reinstate drainage and backfill.



Methodology for removal of existing concrete block wall and replace with new timber pile & bearer

Contractor to check existing timber deck joists suitability and condition.

1. Confirm all dimensions prior to construction works
2. Prop the exist deck
3. Disconnect the deck joist from the existing masonry wall
4. Demolish exist masonry wall using health and safety guidance
5. Install new concrete footings with new timber piles
6. Install new bearer and cross braces. 7. Re-connect existing deck to the new subfloor and make good



1 Ground Floor Foundation Plan 1:50

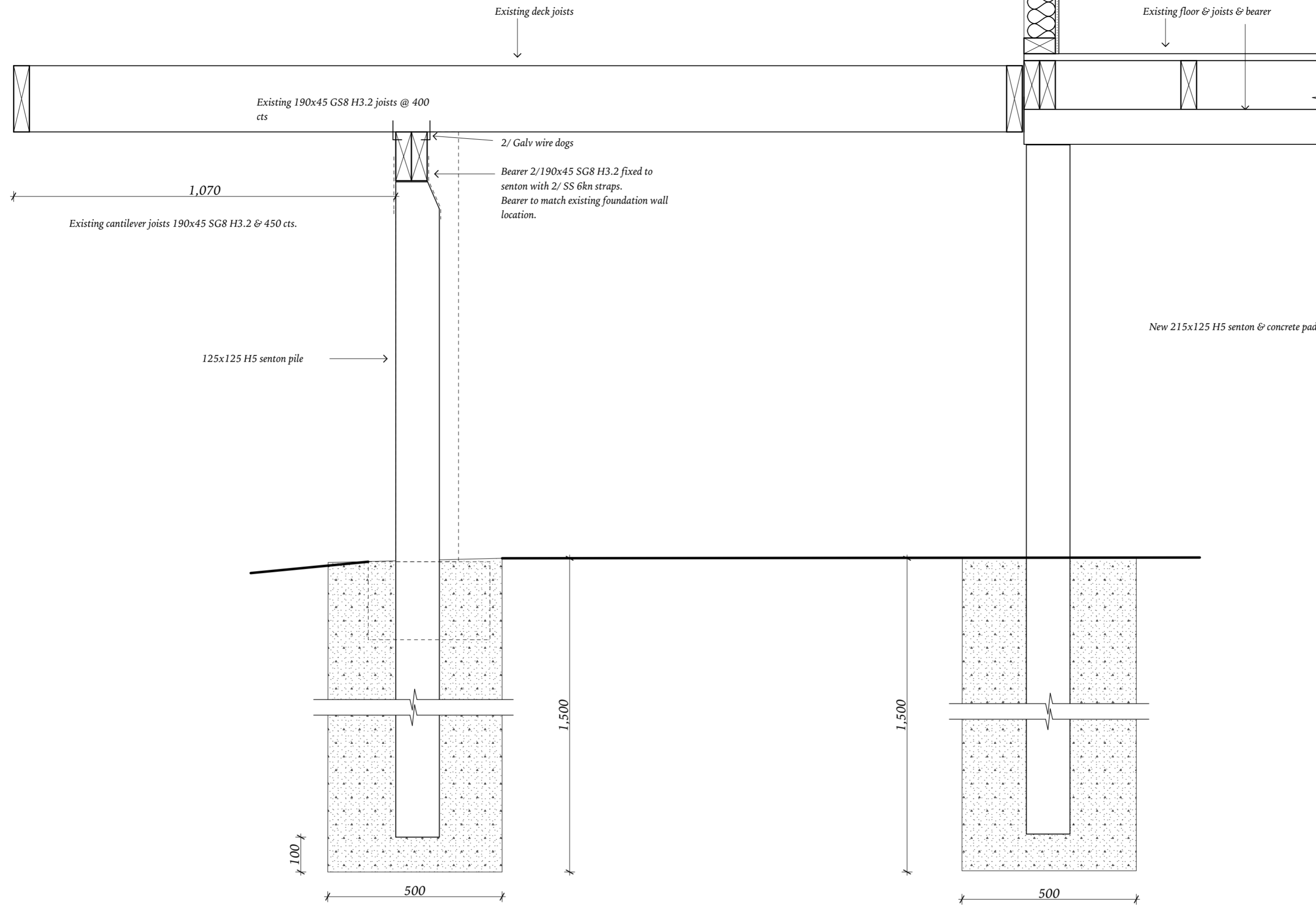
All excavations & site works shall be carried out in accordance with The attached Geotechnical report by Moss engineering LTD.



PRODUCER STATEMENT	
DESIGN	<input checked="" type="checkbox"/> DESIGN REVIEW <input type="checkbox"/>
REVIEWED FOR SPECIFICALLY DESIGNED STRUCTURAL CONTENT ONLY AS DESCRIBED IN CALCULATIONS ONLY	

building design www.steveconnor.co.nz	For <b>DAVID &amp; FREYJA ATKINSON</b>	
	At <b>4 Aydon Road, Titarangi</b>	City <b>Auckland</b>
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	Creation Date <b>15/3/22</b>	Plot Date <b>4/03/23</b>
	ALL DIMENSIONS TO BE VERIFIED ON SITE	
Drawing Title <b>Ground Floor Foundation Plan</b>	Drawing Number <b>A08</b>	Scale <b>1:50, 1:0.5038, 1:20</b>
		Sheet size <b>A2</b>

BUILDING CONSENT




**Methodology for removal of existing concrete block wall and replace with new timber pile & bearer**

Contractor to check existing timber deck joists suitability and condition.

1. Confirm all dimensions prior to construction works
2. Prop the exist deck
3. Disconnect the deck joist from the existing masonry wall
4. Demolish exist masonry wall using health and safety guidance
5. Install new concrete footings with new timber piles
6. Install new bearer and cross braces.
7. Re-connect existing deck to the new subfloor and make good

1 Section through existing cantilevered deck10

BUILDING CONSENT

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	Drawn <b>Steve Connon</b> Company <b>ta/ Building design</b> Creation Date <b>15/3/22</b> Plot Date <b>4/03/23</b>		
Drawing Title <b>Section Details Front Deck</b>	Drawing Number <b>A09</b>	Scale <b>1:10, 1:1</b>	Sheet size <b>A2</b>

SECTION 6 – FOUNDATION AND SUBFLOOR FRAMING NZS 3604:2011

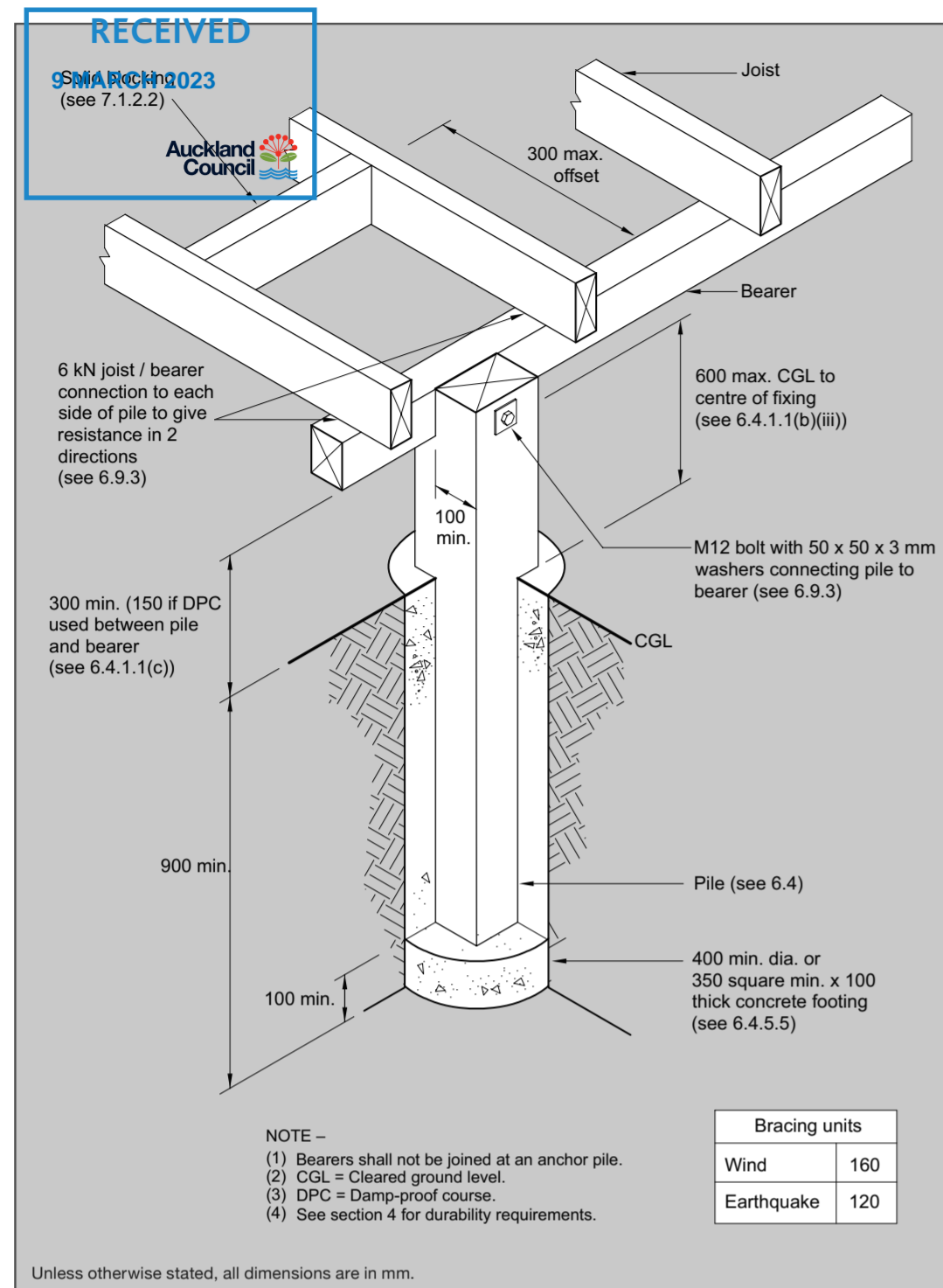


Figure 6.10 – Anchor pile directly connected to bearer only (see 6.9)

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SECTION 6 – FOUNDATION AND SUBFLOOR FRAMING NZS 3604:2011

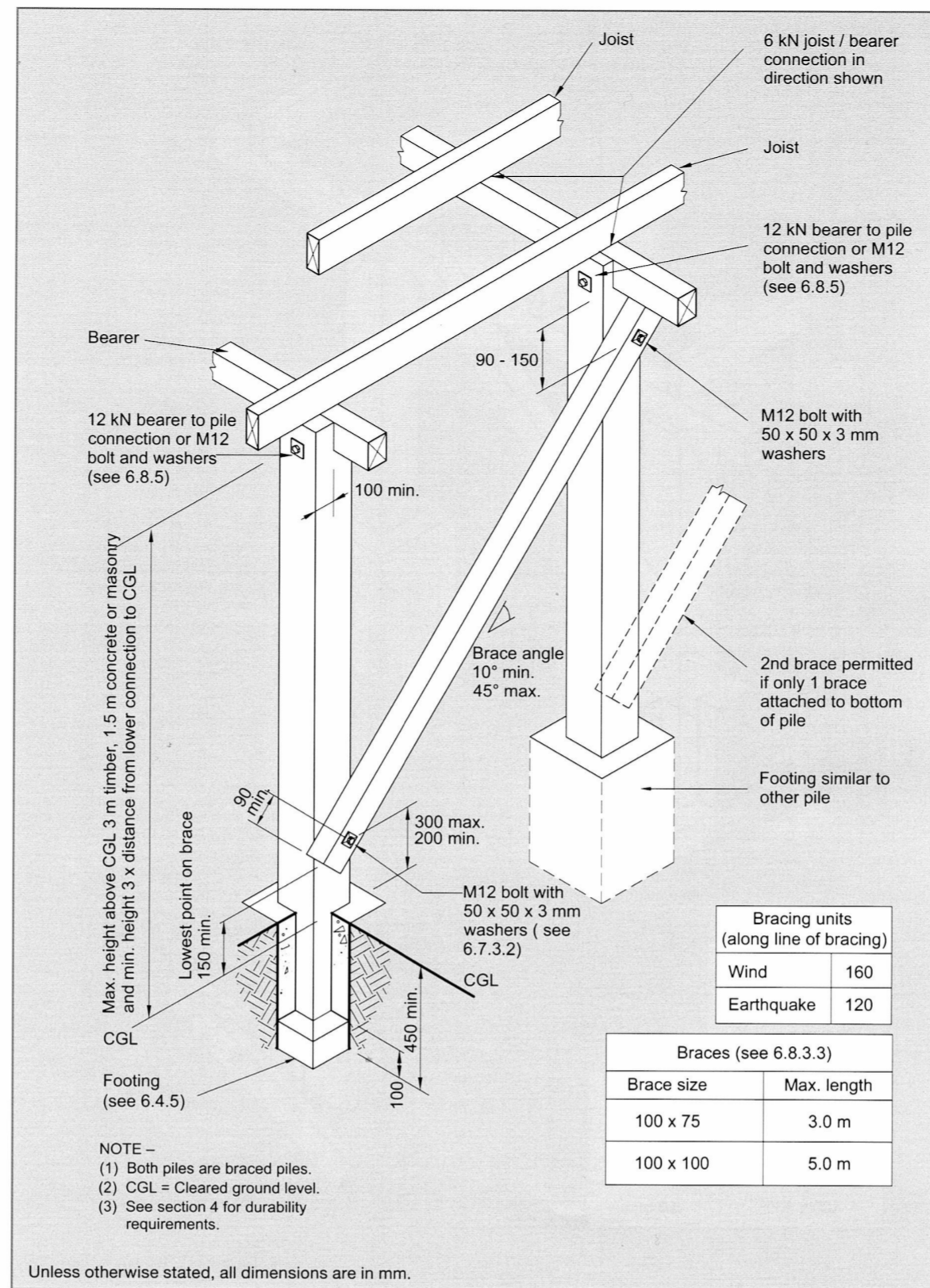


Figure 6.6 – Braced pile system – Brace connected to pile (see 6.8)

SECTION 6 – FOUNDATION AND SUBFLOOR FRAMING NZS 3604:2011

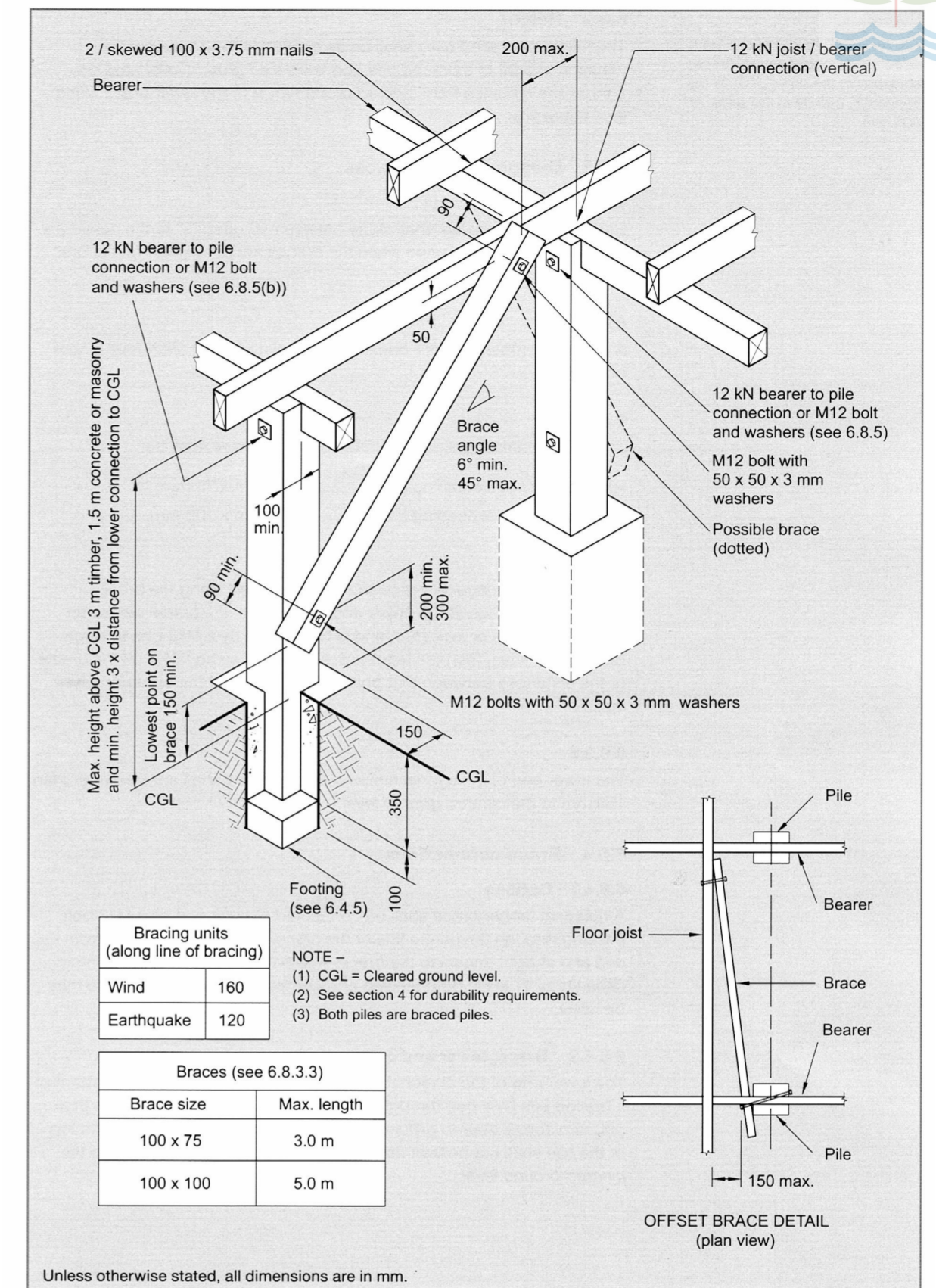
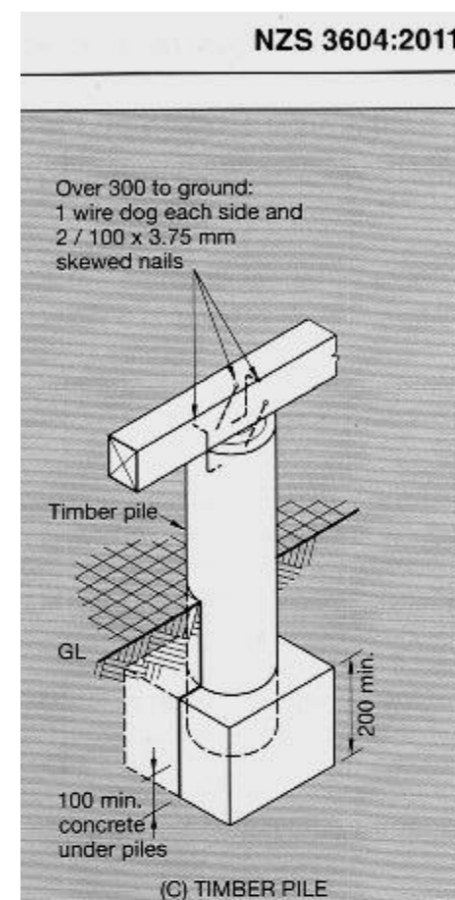


Figure 6.8 – Braced pile system – Brace connected to joist (see 6.8)

3 NZS 3604 FIG 6.8 1:1

1 3604 fig 6.10 anchor pile 1:1

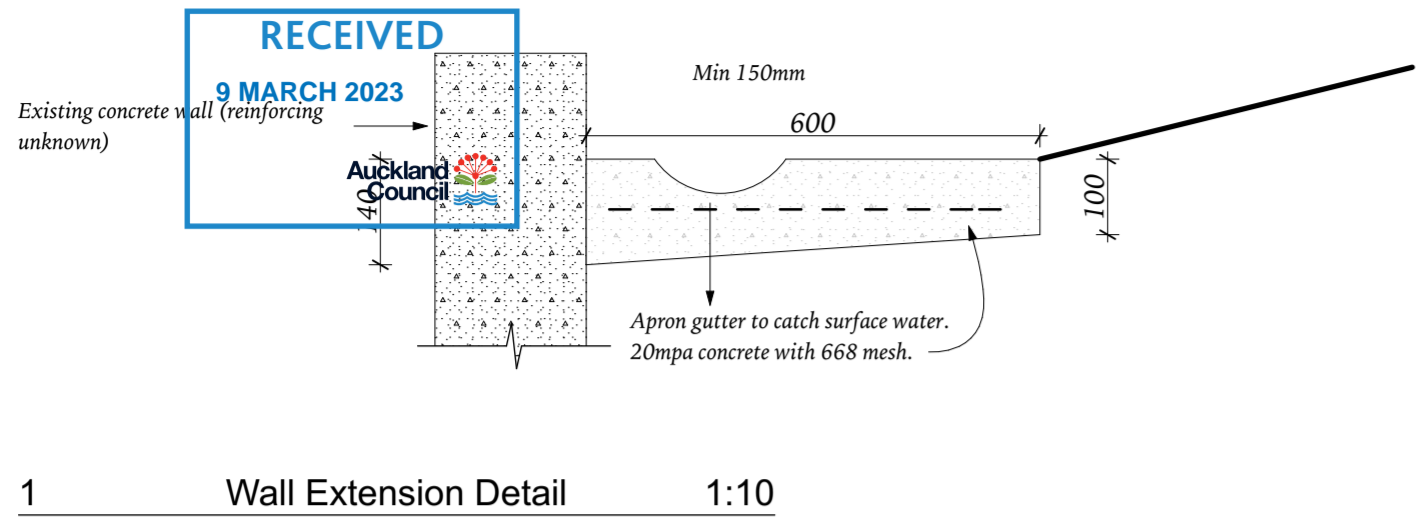


Standard pile fixing only unless stated otherwise

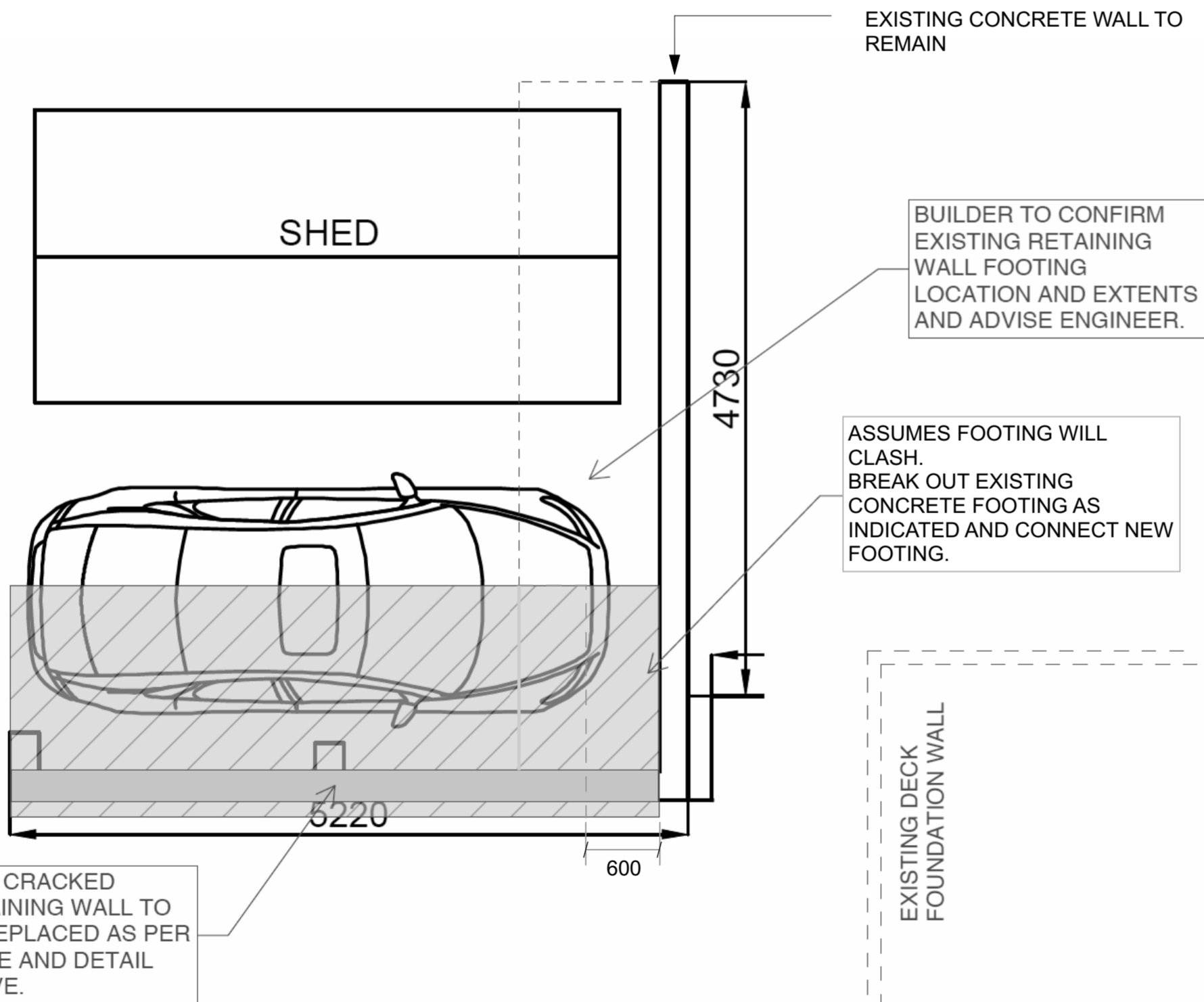
BUILDING CONSENT

		For <b>DAVID &amp; FREYJA ATKINSON</b>	
At <b>4 Aydon Road, Titarangi</b>		City <b>Auckland</b>	
Drawn <b>Steve Cannon</b>		Company <b>ta/ Building design</b>	
Creation Date <b>15/3/22</b>		Plot Date <b>4/03/23</b>	
ALL DIMENSIONS TO BE VERIFIED ON SITE			
Drawing Title <b>NZS 3604 Subfloor Brace Details</b>	Drawing Number <b>A10</b>	Scale <b>1:1</b>	Sheet size <b>A2</b>

The producer of these documents does not take responsibility for the damage of any services due to main contractors or subcontractors gaining access to the site.  
All dimensions are to be verified on site no shop drawings should be developed before this is carried out.



The existing concrete wall will be temporarily propped to avoid collapse while excavation is in progress. The contractor will expose the foundation of this wall and will notify the consulting engineer.



4 Existing Concrete Wall

EXISTING CONCRETE WALL TO REMAIN

BUILDER TO CONFIRM EXISTING RETAINING WALL FOOTING LOCATION AND EXTENTS AND ADVISE ENGINEER.

EXISTING DECK FOUNDATION WALL

NTS

HR (mm)	VERTICAL REINFORCING	HORIZONTAL REINFORCING	FW (mm)	KD (mm)	HW (mm)	BLOCK SERIES
1900	H16-400	H12-600	1100	300	200	20
2200	H16-200	H12-600	1300	300	200	20
2500	H16-200	H12-600	1700	400	200	25
2800	H16-200	H12-600	1800	400	200	25

**1 RETAINING WALL RW1 DETAIL**  
SK1 1:20 @ A4

**Sullivan & Hall**  
CHARTERED ENGINEERS  
2 WAIPAREIRA AVE, HENDERSON, AUCKLAND, 0610  
PH: 09 839 7044

Project: **AYDON RD ALTERATIONS**  
4 AYDON RD, TITIRANGI  
AUCKLAND

Drawing Title: **RETAINING WALL DETAIL**

Date: **MAR '23** Scales: **1:20** Job No: **SHL5870** Drawing No: **A4** Revision: **B**

THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS, ANGLES, SITE MEASUREMENTS & CONDITIONS, ETC BEFORE FABRICATION OR CONSTRUCTION IS BEGUN.  
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Drawn By: **DC** Checked: **SH**

**Sullivan & Hall**  
CHARTERED ENGINEERS

PRODUCER STATEMENT  
DESIGN  DESIGN REVIEW

REVIEWED FOR SPECIFICALLY DESIGNED STRUCTURAL CONTENT ONLY AS DESCRIBED IN CALCULATIONS ONLY

SK  
C.P. ENG

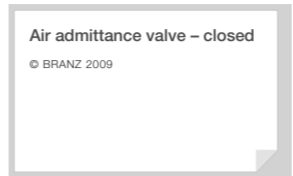
For **DAVID & FREYJA ATKINSON**

At **4 Aydon Road, Titirangi**  
City **Auckland**

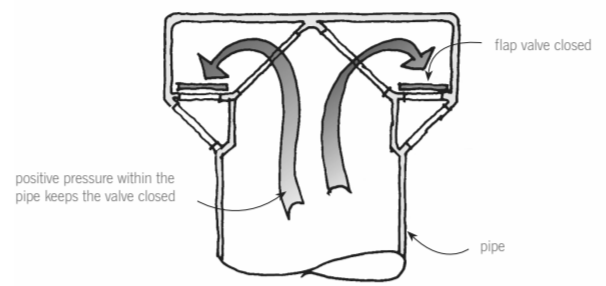
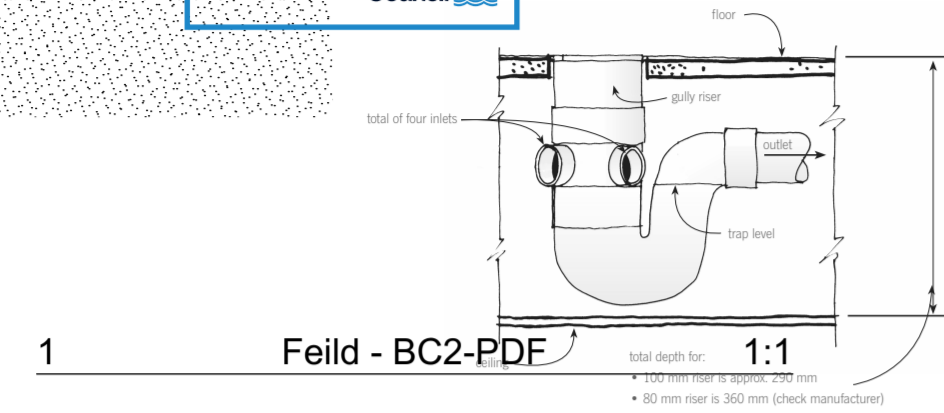
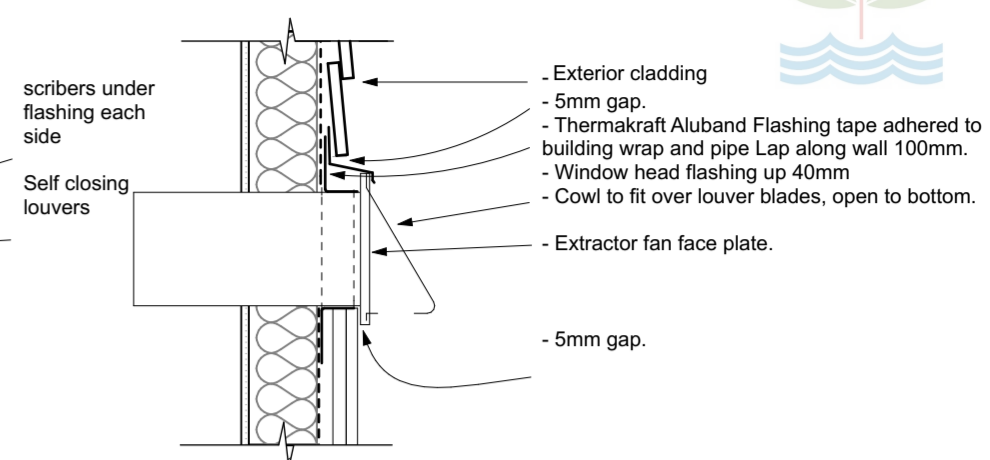
Drawn **Steve Cannon**  
Company **ta/ Building design**  
Creation Date **15/3/22**  
Plot Date **4/03/23**

ALL DIMENSIONS TO BE VERIFIED ON SITE

Drawing Title	Drawing Number	Scale	Sheet size
<b>Concrete Wall Design</b>	<b>A10a</b>	<b>1:10, 1:1</b>	<b>A2</b>



Melrose extractor fan FAN7190



**Product**

1.1 Mapegum WPS premixed and Mapelastic two-part Wet Area Membranes are liquid-applied waterproofing membranes for use under ceramic or stone tile finishes in internal wet areas.

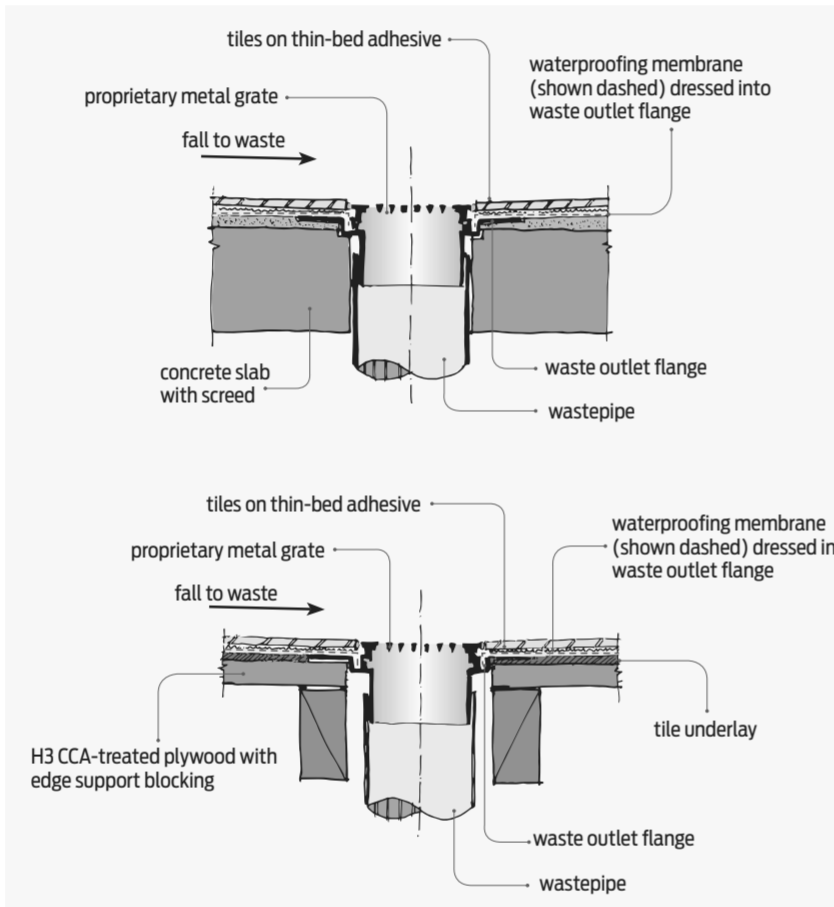
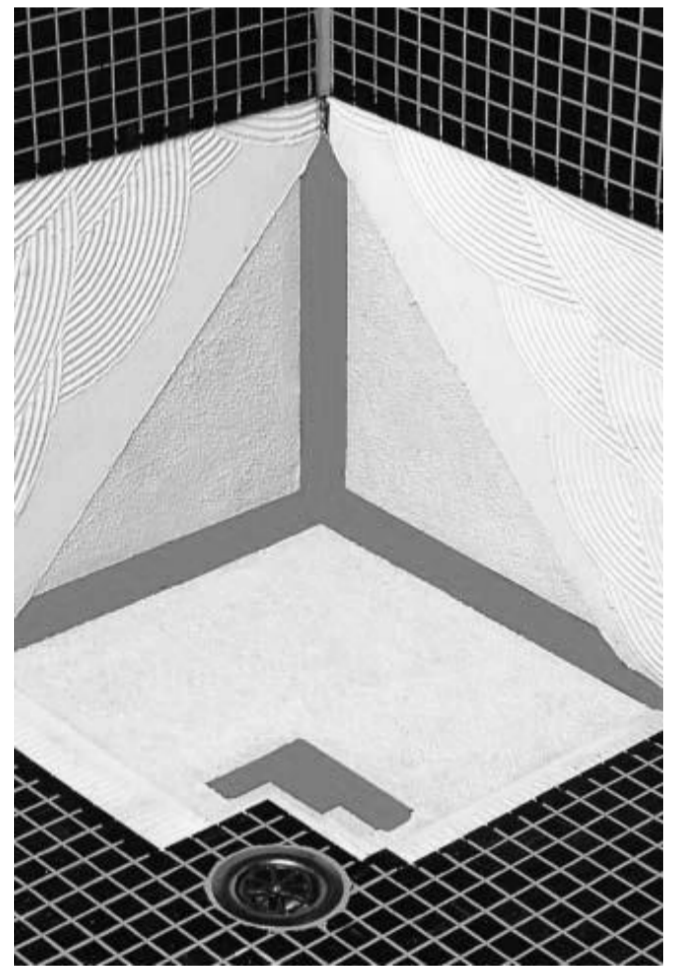


Figure 5 Dressing the membrane to the floor outlet.

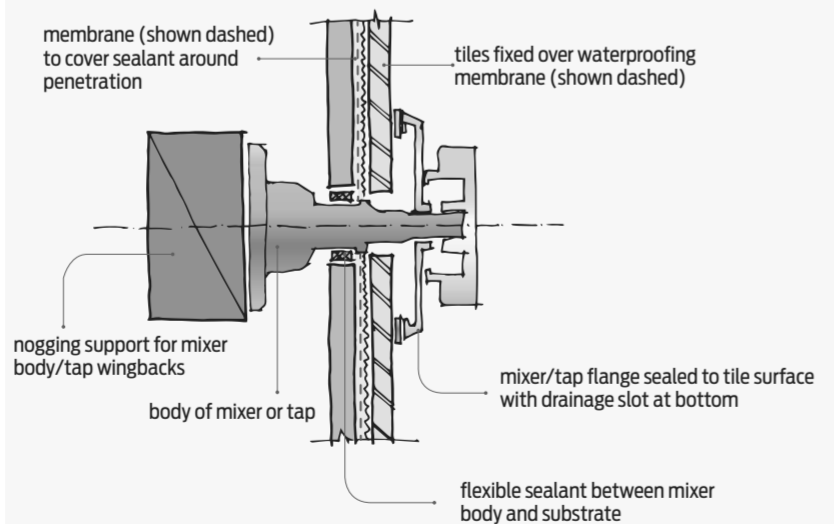
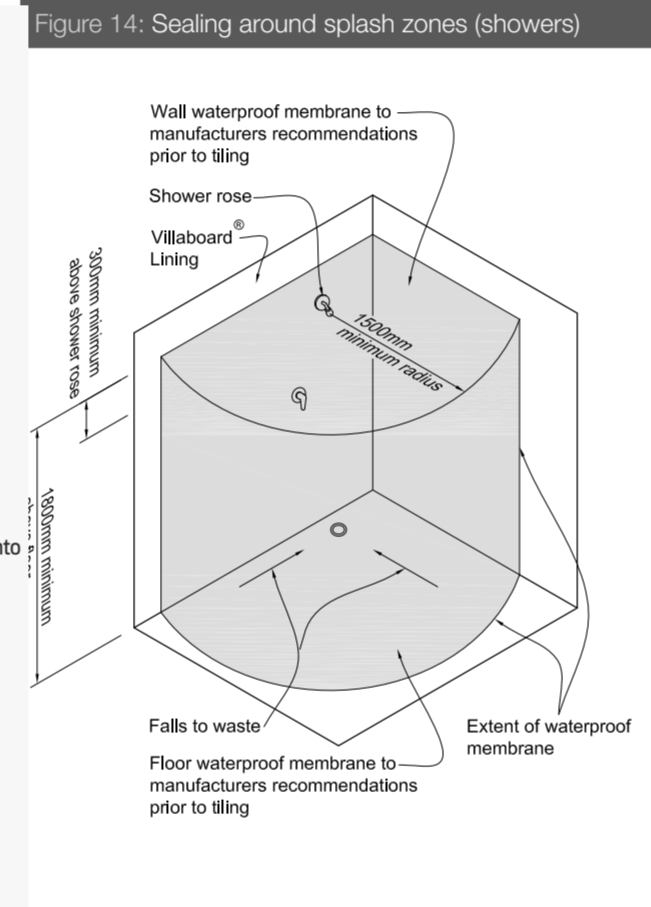
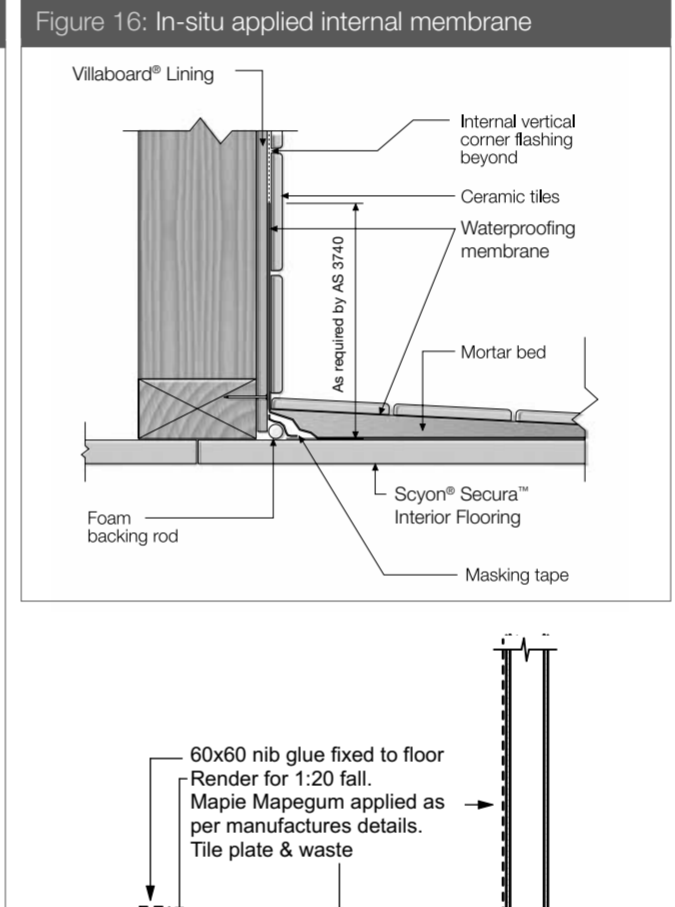


Figure 6 Sealing penetrations through wet area tiling.



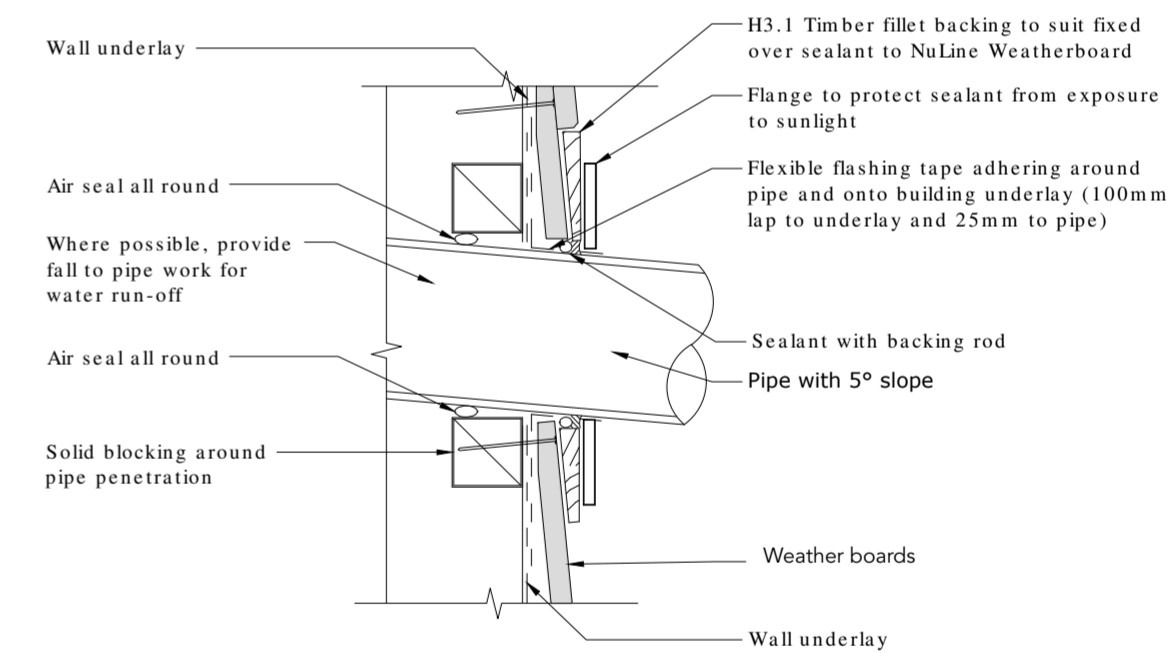
Prime sheet and apply coat of selected waterproof membrane with associated mesh as per waterproof manufacturers' recommendations.



3 Section Through Shower 1:20

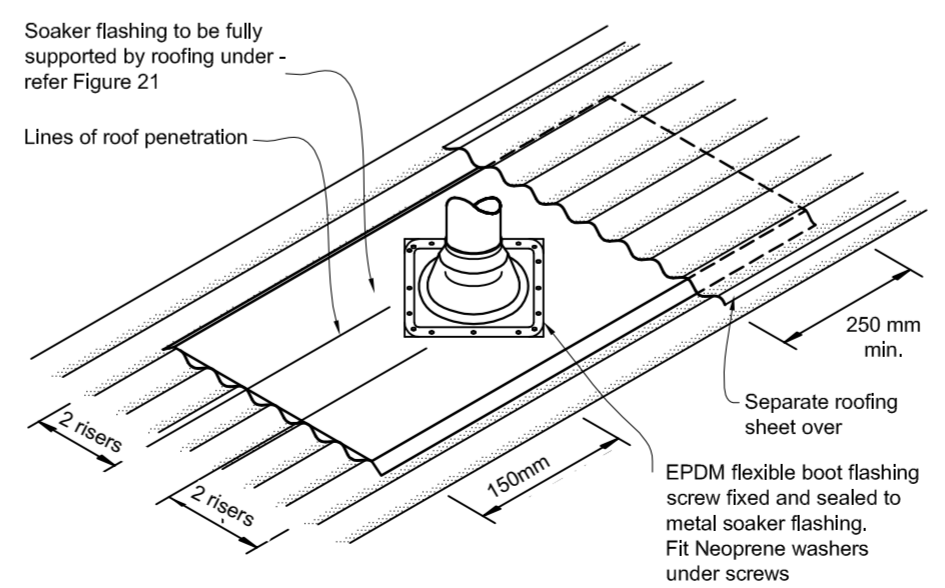
Existing bathroom floor to be uplifted joist to be nogged out at 400 cts both ways.  
Lay 19mm thick James Hardies Secura flooring, fixed in accordance with manufactures installation manual.  
All wet area's and floors to be water proofed with Mapegum WPS applied as per the manufactures information.  
Where there is no tiles on walls waterproofing to run up walls 100mm.

**Wall Pipe Penetration Detail**



**Figure 54: Soaker flashing for pipe penetrations**

NOTE: (1) Suitable for pipes from 86 mm to 500 mm diameter.  
(2) Suitable only for roof pitches of 10° or more.



**Scope**

- 2.1 Mapegum WPS and Mapelastic Wet Area Membranes have been appraised for use as waterproofing membranes for internal wet areas of buildings, within the following scope:
- on floor substrates of concrete, flooring grade particle board, plywood, compressed fibre cement sheet and fibre cement sheet tile underlay, and on wall substrates of concrete, concrete masonry, wet area fibre cement sheet lining systems and wet area plasterboard lining systems; and,
- when protected from physical damage by ceramic or stone tile finishes; and,
- where floors are designed and constructed such that deflections do not exceed 1/360<sup>th</sup> of the span.
- 2.2 The use of Mapegum WPS and Mapelastic Wet Area Membranes on concrete slabs where hydrostatic or vapour pressure is present is outside the scope of this Certificate.
- 2.3 Movement and control joints in the substrate must be carried through to the tile finish. The design and construction of the substrate and movement and control joints are specific to each building, and therefore the responsibility of the building designer and building contractor and are outside the scope of this Certificate.
- 2.4 Ceramic or stone tile finishes are outside the scope of this Certificate.
- 2.5 The membranes must be installed by Mapei New Zealand Ltd approved applicators.

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ALL DIMENSIONS TO BE VERIFIED ON SITE			
Drawing Title <b>Internal water proofing.</b>	Drawing Number <b>A11</b>	Scale <b>1:1</b>	Sheet size <b>A2</b>



**GIB SYSTEM SPECIFICATIONS**

GIB EzyBrace® Systems specification GS1-N

Specification code	Minimum length (m)	Lining requirement
GS1-N	0.4	Any 10mm or 13mm GIB® Standard plasterboard to one side only

**WALL FRAMING**

Wall framing to comply with;

- NZBC B1 – Structure B1/AS1 Clause 3 Timber (NZS 3604:2011).
- NZBC B2 – Durability B2/AS1 Clause 3.2 Timber (NZS 3602).

Framing dimensions and height as determined by NZS 3604:2011 stud and top plate tables for load bearing and non-bearing walls. The use of kiln dried stress graded timber is recommended.

**BOTTOM PLATE FIXING**

**Timber floor**

Pairs of hand driven 100 x 3.75mm nails at 600mm centres; or three power driven 90 x 3.15mm nails at 600mm centres.

**Concrete floor**

Internal Wall Bracing Lines: In accordance with the requirements of NZS 3604:2011 for internal wall plate fixing or 75 x 3.8mm shot fired fasteners with 16mm discs spaced at 150mm and 300mm from end studs and 600mm centres thereafter.

External Wall Bracing Lines: In accordance with the requirements of NZS 3604:2011 for external wall bottom plate fixing.

**WALL LINING**

- Any 10mm or 13mm GIB® plasterboard lining.
- Sheets can be fixed vertically or horizontally.
- Sheet joints shall be touch fitted.
- Use full length sheets where possible.

**PERMITTED ALTERNATIVES**

For permitted GIB® plasterboard alternatives refer to p. 5 in GIB EzyBrace® Systems literature.

**FASTENING THE LINING**

**Fasteners**

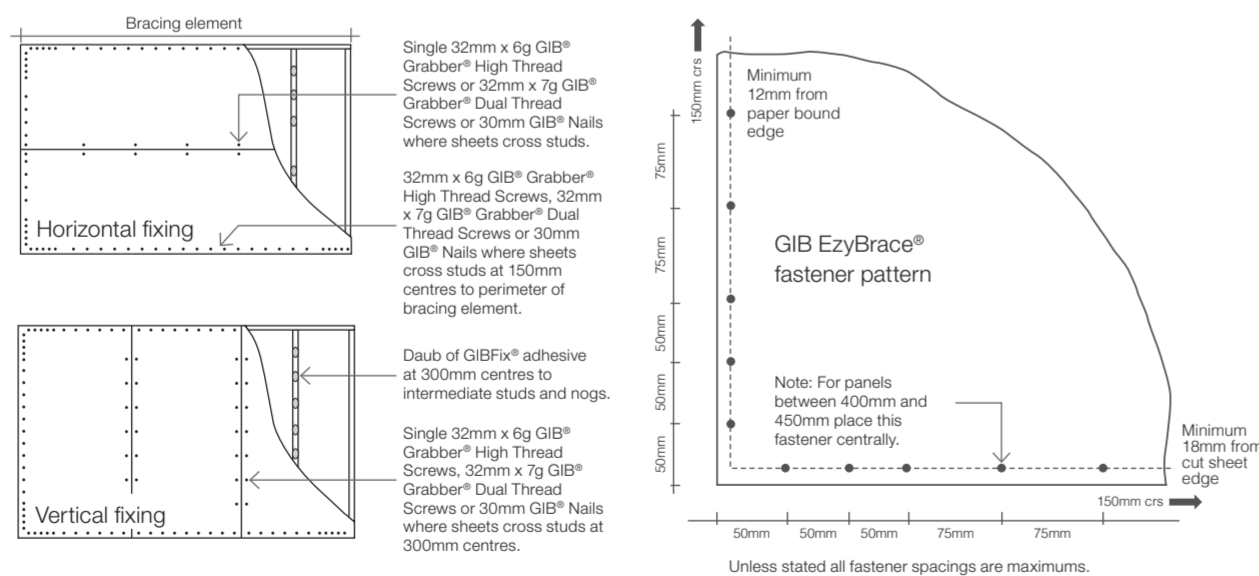
32mm x 6g GIB® Grabber® High Thread Screws, 32mm x 7g GIB® Grabber® Dual Thread Screws or 30mm GIB® Nails. If using the GIBFix® Angle use only 32mm x 7g GIB® Grabber® Dual Thread Screws.

**Fastener centres**

50,100,150, 225, 300mm maximum from each corner and 150mm thereafter around the perimeter of the bracing element. For vertically fixed sheets place fasteners at 300mm maximum centres to intermediate sheet joints. For horizontally fixed sheets place single fasteners to the sheet edge where it crosses the stud. Use daubs of GIBFix® adhesive at 300mm maximum centres to intermediate studs. Place fasteners no closer than 12mm from paper bound sheet edges and 18mm from any sheet end or cut edge.

**JOINTING**

Joint strength is important in delivering bracing system performance. All fastener heads stopped and all sheet joints GIB® Joint Tape reinforced and stopped in accordance with the GIB® Site Guide.



In order for GIB® systems to perform as tested, all components must be installed exactly as prescribed. Substituting components produces an entirely different system and may seriously compromise performance. Follow the specifications. This specification sheet is issued in conjunction with the publication GIB EzyBrace® Systems

AUGUST 2016 CALL OUR HELPLINE 0800 100 442 OR VISIT GIB.CO.NZ FOR MORE INFO GIB EZYBRACE® SYSTEMS 23

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ALL DIMENSIONS TO BE VERIFIED ON SITE	Plot Date	4/03/23	
Drawing Title	Drawing Number	Scale	Sheet size
<b>Gib Brace Details</b>	<b>A12</b>	<b>1:1</b>	<b>A2</b>