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The creative genius of leading architects

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An unconventional coastal creation

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The design paradigm

Shaping homes to their owners

The upside of downsizing

Lifestyle or life sentence?

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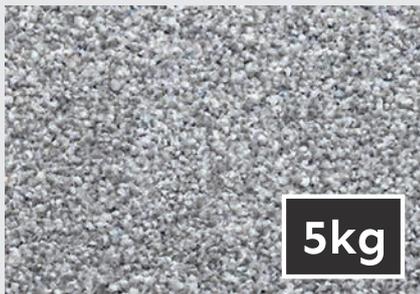
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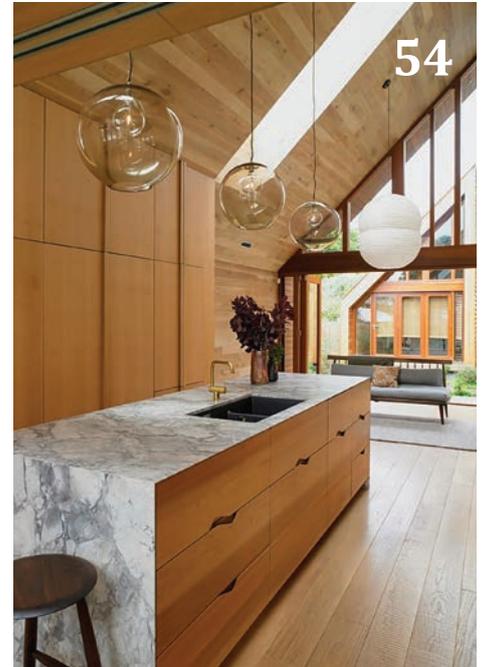
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Lifestyles

By Lydia Truesdale



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Lapping up the spring sunshine on your own or in the company of friends and family has been made even more enjoyable with this cosy yet cool outdoor arrangement. The Amalfi Opito Sofa set from Freedom Furniture seats four people comfortably.

RRP: **\$1,799**
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Musiccritic named Gibson its top guitar brand of 2019 and get excited because Gibson has released a new generation acoustic guitar. The G-45 Standard builds on the revolutionary new G-45 series platform to provide the perfect mix of tone, performance, and traditional Gibson style for all players and every stage, and for easy plug-and-play at home, in the studio or on stage.

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Apple iPhone XS Max

Super Retina display in two sizes (including the largest display ever on an iPhone), even faster Face ID and the smartest, most powerful chip in a smartphone... and did I mention the breakthrough dual-camera system with Depth Control? iPhone XS is everything you love about iPhone, taken to the extreme. What could the new iPhone 11 (rumoured for release this September) possibly have on this?

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This coastal creation called Chain Mail has ignored convention and in doing so, resulted in a unique seaside dwelling.

Located on a small, complex site at Mt Maunganui, Chain Mail is the creative work of Adam Taylor of Adam Taylor Architecture.

Ignoring traditional coastal aesthetics, Adam instead embraced strong industrial structures and materials.

The home's left corner has been wrapped in Kaynemaile amour, shielding it from the world without disturbing the outlook to the ocean.

Sculptural and practical, Kaynemaile provides a true solar screen, while its interlinking nature gives it an ever-changing appearance.

The home won the Residential New Home between 150sqm and 300sqm Architectural Design Award at the 2018

ADNZ Resene Architectural Design Awards.

Judge's said the recessed decks, cantilevering roofs and projected floor levels create a strong spatial composition.

"Set on a small site, the plan is simple and efficient, yet flexible.

"Some cladding of the house is brick which provides a soft finish in contrast to the dark painted fibre cement panels elsewhere. The Kaynemaile gives the design a special identity."

Architectural Designers New Zealand CEO, Astrid Andersen, said the Bay of the Plenty has once again delivered some exceptional designs worthy of extreme praise.

"Adam's design is a shift away from the usual beachside home. It is industrial, bold and the use of Kaynemaile is exciting to see."

“ Some cladding of the house is brick which provides a soft finish in contrast to the dark painted fibre cement panels elsewhere. The Kaynemaile gives the design a special identity. ”





Award: Residential New Home between 150sqm and 300sqm Architectural Design Award.

Winner: Chain Mail, Adam Taylor, Adam Taylor Architecture.

Location: Mt Maunganui.

Description: Located on a small site in a coastal setting, Adam has ignored traditional coastal aesthetics, instead the design embraces strong industrial structures and materials.

Judges' comments: Recessed decks, cantilevering roofs and projected floor levels create a strong spatial composition. Set on a small site, the plan is simple and efficient, yet flexible. Some cladding of the house is brick which provides a soft finish in contrast to the dark painted fibre cement panels elsewhere.



Bigger isn't always better

By Kevin Atkinson,
chief executive of Generation Homes

Baby boomers sang along with the Beatles and the Rolling Stones, made space in their living rooms for the television, challenged the way we viewed race, religion and war, saw the introduction of contraception and planned parenthood, and now they are changing the way we live in retirement.

Since baby boomers started retiring (even just planning their retirement), they have challenged the traditions of retirement and retirement living. Many now plan to continue working well into their retirement, while others

lobby for the retirement age to be brought down to cater for those who've worked in physical jobs and don't have the health or strength to continue working to 65 or beyond.

The accepted norms for retirement living have also been well and truly challenged.

Over the last 20 or so years we've seen the development of retirement villages offering licences to occupy and a secure, cocooned lifestyle amongst fellow retirees, with services at their fingertips and continuity of care all but guaranteed.

We've also seen the development of a slightly different style of retirement complex where people own their own unit and have access to a range of onsite services.

At Generation Homes we're seeing increasing demand for family homes that can accommodate several generations of the same family – each enjoying their own personal space but having communal areas where they can come together as a family.

We're also seeing many retirees who want to preserve their independence and live in their own home for as long as possible

– just possibly not the same home that they have lived in until now.

They're looking for something new, warm and low maintenance (home and grounds), but somewhere that is still integrated into the community rather than being that part of a complex (gated or otherwise). Some of these retirees might choose retirement village living if they could afford it, but that's not an option that's open or appealing to everyone.

Many councils, landowners and developers are not yet taking this market into account and are still encouraging and creating subdivisions, with all the sections



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and homes too big for people looking to downsize.

Where sections are small, there is the expectation that the house built on it will be two-storied. Generation Homes knows from experience that there is strong demand for newly built small homes on small sections.

New homes built in New Zealand have grown bigger and bigger (even when the sections are small), but there are plenty of retirees who want a smaller, single level home where they can age in the community they have chosen to spend much of their life in.

I'm convinced the answer lies in providing options that meet differing tastes and differing budgets.

The need for a wide range of options is important now and will become even more relevant over the next 10-15 years as more baby boomers move into retirement.

Retirement Commissioner Diane Maxwell also recently highlighted

the need to provide options for those reaching retirement. She spoke about the need to provide "good housing stock" that is right for retirees and older New Zealanders – and said this includes retirees staying put and ageing in place, as well as buying the right to live in a retirement village. The important thing is the availability of options for those with the funds to choose.

Some of the retiree clients Generation Homes has built for started out looking to downsize from the family home to a smaller house.

We regularly hear them say that finding an existing small property on a small section in their existing neighbourhood is hard enough - but then they look at the work that's needed to get that house to the standard they expect as they head into the next phase of their lives – and decide it isn't worth it.

In many of those cases, they end up building a home that's much larger than they originally

wanted – but the house is new, has everything they want and will hold its value until they need to recoup their investment.

This "downsizing" means downsizing of maintenance – inside and out – but with better planning we could be building smaller houses on smaller sections that are interspersed amongst standard family homes so retirees can live in a regular community wherever they choose to.

I'm thinking here of homes that are maybe 80-100sqm on sections of about 200sqm.

Smaller homes won't appeal only to retirees. They will also be a useful addition to our overall housing stock and attractive to first-home buyers who want to start out with a more modest and affordable home.

Making smaller homes on smaller sections easily available also means that when retirees sell up the family home, they are likely to need less of that capital

to purchase their next home – freeing up the difference to spend in their retirement.

In 20 years' time housing affordability in this country means that more renters will be entering retirement and our need for options will be even greater. As the Retirement Commissioner says: we need different models that will work for people.

I'm not advocating one style of living over another. What I am advocating though, is for the availability of choices.

For this to be really effective, we need to plan for it, rather than let it happen in an ad hoc way.

Landowners need to make provision for smaller sections and developers need to make sure their design guidelines allow for single storey, smaller houses so purchasers have more choices. Bigger isn't always better!



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Living pretty

The creative genius of Canterbury's leading designers was celebrated in August at the Canterbury/Westland Regional ADNZ Resene Architectural Design Awards.

Every year the ADNZ awards celebrate innovative, sustainable and exceptionally designed projects from around New Zealand.

This year 22 awards were given to 13 designers from the Canterbury region.

ADNZ CEO, Gregory Watts says year-on-year Christchurch designers demonstrate their architectural dominance and 2019 is no exception.

"The Canterbury region has won more awards than any other region in 2019. A massive 22 awards were handed out to the incredible and talented designers of the region; well done to all the winners."

Merivale House by Barry Connor

Barry Connor of Barry Connor Design Limited received a Highly Commended Award in the Residential New Home between 150sqm and 300sqm category for his design 'Merivale House'.

Judges citation: This is a good use of a narrow suburban site. It has civil and humane interiors and an excellent use of materials. There is a gentility and dignity about the space. It is unassuming with a rhythm to the interior and exterior spaces.



Major Hornbrook

by Aaron Jones



Aaron Jones of Urban Function Architecture received four awards for four projects.

He received a Commercial Interior Architecture Design Award for the work on his own design studio titled 'Urbanfunction + Zerobag Studios', and a Highly Commended Award in the Commercial Interior Architecture Design category for his work on the Spencer Park Surf Life Saving Club.

He also received a Commended Award in the Residential Compact

New Home up to 150sqm category for his design of an 80sqm home called 'Petite Maison', and, pictured on this page, a Commended Award in the Residential New Home between 150sqm and 300sqm category for this Mount Pleasant home titled 'Major Hornbrook'.

Judges citation: Varied volumes have been brought together with care and elegance. The warm timber interiors soak up the sun in winter and can be thrown open to luxuriate in sea breezes in summer.



10 TIPS FOR A THRIVING LAWN

Green with envy

If you haven't begun preparing your lawn for the warmer months, now is the time to start.

The experts from Kennards Hire have produced 10 handy tips to make sure that your lawn leaves your neighbours green with envy.

- 1 | Do a good scan of your yard and remove any sticks. Rake up any leftover autumn leaves so that your lawn is receiving maximum sunlight and oxygen.
- 2 | Make sure all of your lawn care equipment is in good working order.
- 3 | Aerating your lawn will reduce soil compaction and increase air circulation. A well aerated lawn will become more efficient in absorbing rain and irrigation water, instead of it just running off the surface.
- 4 | Testing your lawn's pH levels will establish how acidic or alkaline your soil is. This will help you to determine the condition of your soil, and what your soil may require to nourish and sustain a healthy lawn.
- 5 | If your lawn is suffering from any dead patches or is a bit sparse in some areas, this is the perfect time to sow some new seed for spring. Remove dead grass and fill with loose soil, then sow your seed. Make sure you use the same seed as the rest of your lawn.
- 6 | Until spring really starts to kick in, keep your cutting height high and begin evening the length out. Make sure that you don't cut your lawn more than one third of its height, as this may expose your lawn to disease and the lingering weather extremes of winter.
- 7 | Grass clippings are a form of organic fertiliser and a great way to keep your lawn healthy. By using a mulching mower and returning the grass clippings to your lawn you are essentially returning 15 percent more nutrients back into your soil.
- 8 | The key to a healthy lawn in Summer is a deep root system. To create a deep lawn root system, you need to train the grass roots of the lawn to search deeper for water. This is done by reducing the time between watering, and increasing the duration that you irrigate.
- 9 | There is nothing worse than a patchy lawn that is riddled with weeds. Hire a spray unit and use a Bindii and broad leaf herbicide to apply directly to the weeds.
- 10 | Grass grows fastest in the warmer months, so decreasing your cutting height down to 2.5cm won't affect it too much. During cooler months, grass grows much slower so it's a good idea to raise your cutting height a little so as not to damage it.

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Quiet comfort

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Product: **Serville** | Colour: **Graphite**
Available from: www.artisanflooring.co.nz.

Or what about the sound of slammed kitchen drawers bouncing off the hard surfaces down the hallway and hitting your bedroom as you try to sleep? The solution... carpet, or at least a rug, right!?

Carpet provides comfort, insulation and a quiet indoor environment, which makes it the obvious choice for noisy homes, or homes which lack an element of warmth.

Its longevity depends on the type of material you choose, and where in your home you want to install it. Wool carpet is popular because of its natural and soft feel, noise absorption, longevity, and helps to keep your home warm in winter and cool in summer.

So what do you need to consider when choosing the right carpet for your home?

"These days there are so many options for floor covering it can become overwhelming. Flooring is an integral part of

the design process as it forms the base of the design and is one of the more permanent components. The following considerations may help narrow the selection and keep you on track," Beth Redmond of Artisan Flooring says.

"Before commencing the selection process it is helpful to understand the type of use the carpet is going to endure, e.g. children, pets, indoor/outdoor flow etc, as it is important to select a product that will provide you with good wear and serviceability.

"Carpets are available in solid colours, textures and patterns; textured or patterned carpet will provide greater serviceability and help to disguise the inevitable "accidents". There is a varied selection of fibres available on the market – wool, nylon, natural sisals and synthetic sisals – all have specific performance criteria, so seek good advice to ensure that you select the right fibre for your home."

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Milano composite stone freestanding bath: **\$3,999.**

Visit, www.Englefield.co.nz for more details.

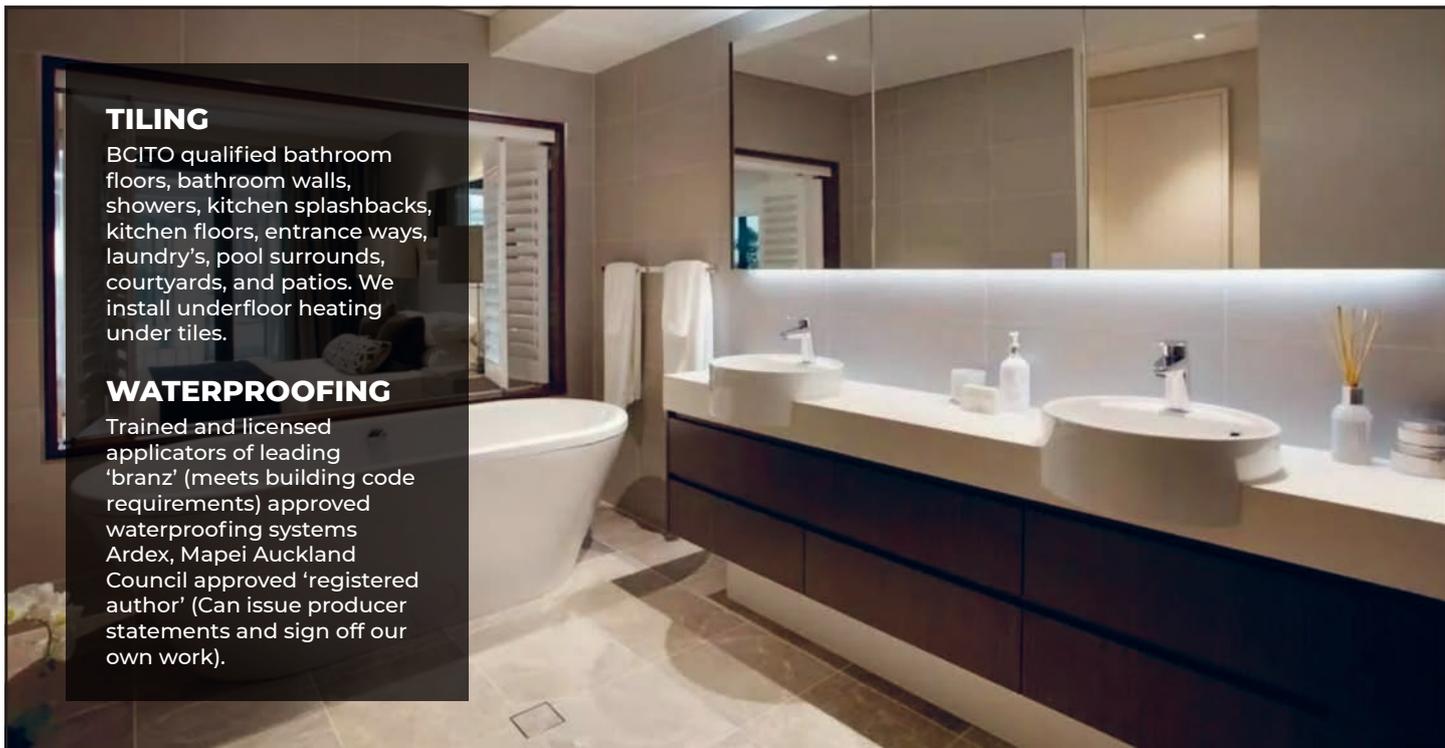


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Green cleaning

How to clean brushes and rollers without polluting the environment

An easy to use cleaning system

This system is based on the use of two containers in which brushes, roller sleeves and other equipment are first washed and then rinsed. By rotating the containers, the solids in the paint are separated from the liquid, making it easier to dispose of each component.

This system will work well for both water based and solvent (oil or alkyd) based paints. For solvent based paints use mineral turpentine and any other paint solvent recommended by your local Resene ColourShop.

Water-based paints

- At the end of the job, wipe or squeeze excess paint onto an absorbent material such as old rags, shredded newspapers or cardboard boxes
- Allow to dry and dispose of with household waste
- Wash brushes, rollers and other equipment with water in a 20 litre or similar sized container
- The most effective method is to use a roller spinner
- Transfer the washed equipment to a second container filled with clean water for a final rinse
- Place lids on the containers or cover in some other secure manner and allow to stand overnight.

By morning the paint solids in the first container will have settled down to the bottom of the container. The clear water from this container may now be poured onto the garden or any grassed or open area away from streams, rivers or lakes, where it can be absorbed into the ground.

Now to dispose of the paint solids at the bottom of the first container.



Scrape this out onto absorbent material such as old rags, shredded newspapers or cardboard boxes. Allow to dry, then place in a plastic bag and dispose of with the household rubbish or take directly to the nearest council tip.

The second container now can be used as the first wash. Use this rotation system until the job is completed.

Solvent-based paints

Follow the same procedures as for water-based paints, but with these exceptions:

- Use solvents to wash equipment
- Allow the first container to stand for at least 24 hours as it will take this long for the paint solids to settle
- Do not pour the clear solvent onto the ground - use it to top up the second container or decant and keep for future use
- Use the least amount of solvent.

“

At the end of the job, wipe or squeeze excess paint onto an absorbent material such as old rags, shredded newspapers or cardboard boxes.

”

Caution

Never allow waste water or chemical solvents from washed paint equipment to enter household or storm water drains or sewers. The waste may find its way into natural waterways where it can reduce oxygen levels and threaten the survival of fish and other aquatic organisms.

All information sourced from:
www.resene.co.nz.

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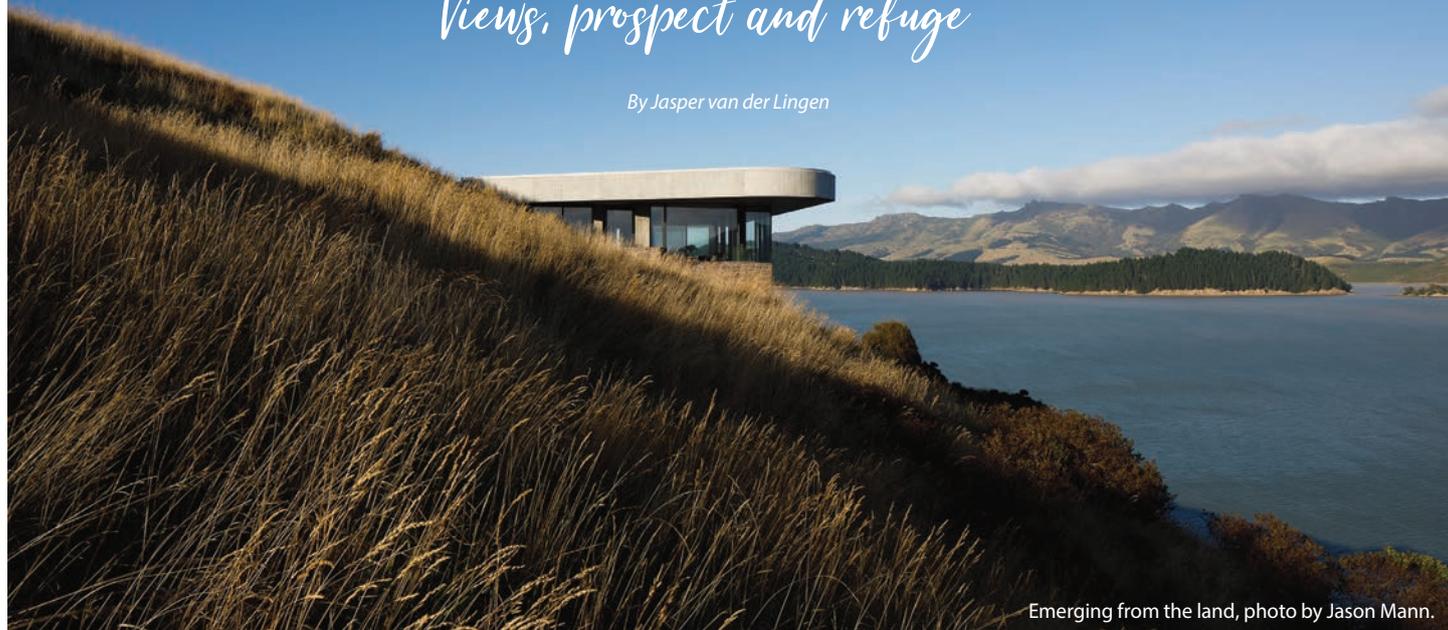
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Hillside houses

Views, prospect and refuge

By Jasper van der Lingen



Emerging from the land, photo by Jason Mann.

To build a house on a hillside poses many challenges, but also often presents great opportunities.

Hillside properties are often unique and stimulating places, especially if the urge to flatten the site with retaining walls is resisted.

A house of multiple levels should be exciting, offering many different experiences and views. And it is views that is one of the primary benefits of living on a hill.

To get above the fences and roofs that dominate a typical suburban outlook and have an expansive vision to the horizon beyond can lift the soul. A grand design should of course be aware of this and make the most of it.

The question is often though, 'Do you provide floor to ceiling glazing offering a wide panoramic sweep, or do you frame particular views through carefully placed windows and openings?'

A way of thinking about how human beings deeply relate to an environment is the concept of 'Prospect and Refuge', a term coined and popularised by the

writer Jay Appleton in 1975. This states that we innately prefer to be able to see outwards into the distance (prospect) from a safe enclosed place (refuge).

We like to sense we are protected and secure, which is fundamentally what a home should be, while we also want to be aware of what is happening beyond.

We enjoy looking out at distant vistas but are not that comfortable if it is from a precarious spot.

Although being in a precarious position can give a thrill and excitement, as if on a diving board or cliff edge, it is not a place to relax.

Houses can provide these places of drama and vulnerability, but they are not places we generally linger in long term – they are tasters of a bit of danger and stimulation but not a place to live in as a comfortable home.

It is a feeling of inward nurture and enclosure, balanced by the outward thrust of curiosity and exploration, which makes a good house on a hill one

that feels fundamentally right and appropriate.

A house with large, glazed walls drinking in the view, although dramatic, one could argue swings the balance too far toward 'prospect', whereas a house dug back into the hillside with small windows is perhaps too far towards 'refuge'.

A balance that suits a particular site and the predilection of the owner(s) should be the ideal. A place that offers serenity and excitement.

A hillside house designed by Sheppard & Rout Architects overlooking Lyttleton Harbour explores these ideas.

Partly dug back and anchored into the land the roof also extends outwards with large, generous eaves. It appears to peer out at the dramatic view from under this roof as if it is shielding its eyes from the sun above.

The design was based on many factors and influences such as height restrictions, access issues, direction of sun, view and winds; and the desires of the owners to

have a semi-enclosed outdoor room loggia which looks out over the harbour.

All of these had an impact on the design, but the underlying driver was to have a house that felt secure and sheltered to view the world from.

It is a viewing platform reminiscent of the old WW2 bunkers still existing around the harbour edge that similarly can survey the scene from a protected enclave.

The house is a crystal-clear expression of the ideas of 'Prospect and Refuge', demonstrating how a house on the hill can be designed to suit a specific site and owners, while also expressing universal human values.

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Smart home sets new standard for modern living

Stepping inside the new Blackburn Point showhome built by Jalcon Homes is like stepping into the future. On top of its impeccable craftsmanship and architectural design, the house is the smartest one Jalcon Homes has ever built.

Located in Hobsonville Point, the three-bedroom, three-bathroom house features the very latest in-home technology and is kitted out with Samsung Wifi-enabled appliances that can be controlled from a compatible smart phone via the Samsung SmartThings app.

The showhome's kitchen features a Samsung family hub refrigerator which has a large wi-fi enabled touchscreen that lets you manage your groceries, organise family schedules and display treasured photos. Built-in

cameras mean you can check the contents of the fridge while you're at the supermarket wondering if you should pick up milk.

The home's heating, cooling, gas fireplace and underfloor heating can all be controlled from a central keypad in the hallway and the smart tech even extends to the laundry, which is thoughtfully tucked into the back of the two-car garage.

Thanks again to the Samsung SmartThings app, you can control your washing machine directly from your smartphone and set the temperature, spin speed and duration of the wash wherever you might be.

Two of the bedrooms have Samsung Frame TVs mounted on the walls which display a variety of stunning artworks when in 'Art Mode.' There is also a brilliantly



immersive Samsung QLED TV in the upstairs study area.

The two-storey house with internal garage incorporates sustainable living by using recycled rainwater through the

toilets and garden taps and displays serious craftsmanship and attention to detail, with herringbone floors and top-quality fittings and benchtops.

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The design paradigm

Great architecture is about great design and key to great design is great communication.

Foley Group Architecture is a name synonymous with adding value to properties through great architecture.

"We enjoy working with clients who demand more than just average and seek to push the

boundaries. We get to know what really works for how each individual aspires to live, entertain and truly relax in their own home," says Foley Group Architecture director, Dulcie Brown.

"This client-centric approach has helped us establish a business proudly built around trust, experience and dependability.

"We are a team driven by passion and purpose. With that comes an energy and enthusiasm to persistently push for the best. We care about every element of every project as if it were something we were doing for ourselves. No effort is spared to go above and beyond to reach the right result."

The group's three specialisms of architecture, interior design and

landscape design together deliver complete design inside and out that caters to mid to high-end residential projects, alteration work and new build designs.

This also extends to a large proportion of commercial projects including hotel/motel development, medium-density housing and retirement developments.



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Choose a good designer who can listen to the brief, and can add to the mix a healthy dose of imagination. That is the start of a fantastic journey.

- Director, Dulcie Brown



“Choose a good designer who can listen to the brief, and can add to the mix a healthy dose of imagination. That is the start of a fantastic journey,” Dulcie says.

The initial investment into good design will pay off in the long run, providing the home owner with a personalised living environment, in total sympathy with the surrounding environment.

Informed choices for building materials can provide a healthy, comfortable home and even provide reduced maintenance and energy savings down the track.

“The building industry has developed in terms of seismic design and resilience, good use of materials, products and building methodologies to suit the ground conditions.

“There is also a growing awareness of sustainable building design and materials and increasing demand from both homeowners and designers to push for better thermal performance in houses across New Zealand,” Dulcie says.

“At Foley Group we have accredited Homestar assessors who can offer advice on the best

products and systems available to deliver warmer, healthier, more comfortable homes with low running costs.”

The New Zealand Building Code still has a long way to go in terms of ensuring better performing homes, but the industry is at the start of a long journey to meet the standards demanded in other developed countries.

“We should be aiming to be world leaders in energy efficient, green building design.”

Smart technology is everywhere today, we can control so much from our hand-held devices, and this technology will undoubtedly be incorporated more and more into our homes.

Everyone leads such busy lives, and the ability to easily control and stabilise our home environment while out and about will help to provide a calm, private sanctuary which responds to our individual needs as well and the environment.

How will New Zealand homes and building design in general adapt to the possible effects of climate change?

With so many existing low-lying coastal towns and cities across the country, homeowners and councils will seek to demonstrate that communities can adapt to the prospect of rising sea levels and extreme weather events.

Designers will face the challenge of designing homes which can adapt over time, plan for the future, and yet still provide sensible living environments and amenities today.

Foley Group Architecture’s understanding of architecture can be admired in a number of properties across Canterbury. The St Albans and Cashmere houses in particular are fine examples of this.

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St Albans House before.



St Albans House after.

St Albans House

This grand and timeless estate has been sensitively and completely restored to the highest of modern standards, with the utmost respect paid to its 110-year heritage.

Foley Group was engaged to provide architectural and landscape design services. The existing house was full of character, but as with many older houses the room layouts did not suit today's modern family needs.

The brief was to provide an upgrade to the main living areas, a state of the art master bedroom suite and rearrangement of bathrooms, while retaining the original character. Also to extend the existing stand-alone garage to provide a home office space.

"During early briefings and site visits it became obvious that there was an opportunity here to take a step further and really

allow this elegant property to shine."

It was proposed to bring the main entrance to the front of the house, and extend the master bedroom above the existing living room with its own private, covered balcony. Careful composition of the new front façade has enhanced the home's street presence and it is now a truly majestic house with significant street appeal.

To achieve the new entry position and internal layout changes, the historic staircase was carefully deconstructed, reconfigured and reassembled, and now the main entrance is spacious and welcoming.

To the rear of the property, Foley Group's landscaping team designed a sophisticated entertainment area spilling out from the main kitchen and dining area with outdoor fireplace, covered outdoor seating area and swimming pool.



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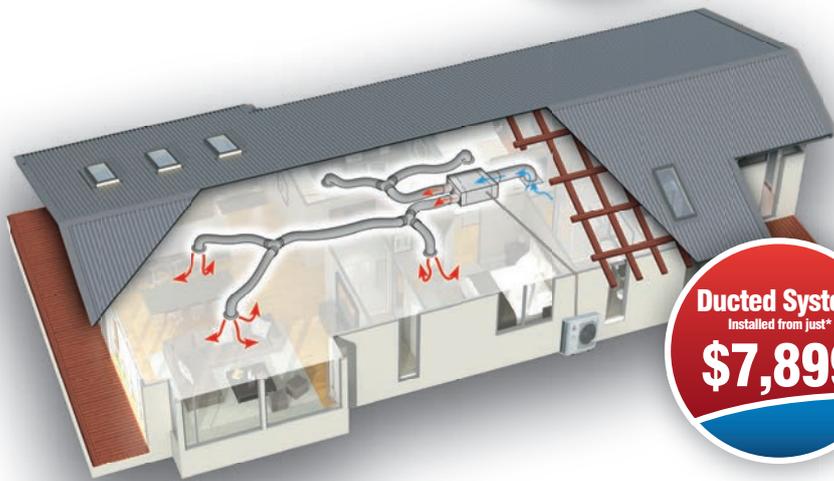
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Cashmere House before.



Cashmere House after.

Cashmere House

Foley Group was brought on-board to oversee earthquake repairs and to design an extension to this hillside dwelling.

The existing site was already blessed with fantastic views across the city and the homeowners wished to maximise these views and reorganise the layout to suit their keen interest in cooking and entertaining.

Foley Group has provided the house with a new formal entrance, somewhere to meet and greet visitors before the 'great reveal' of the view.

A new, bright and airy staircase leads you up to the new, spacious lounge with large windows to the north. A new and extended kitchen area with walk-in pantry serves a large breakfast and dining area. This leads out onto a deck with views to the forest.

The new master suite is orientated to maximise the views across the

city and has a private deck, walk-in robe and generous ensuite.

Again Foley Group's landscaping team has refreshed the garden areas and extended the outdoor living by totally redesigning the available outdoor space around the home.

Making the most of the elevated location, and retaining some beautiful established vegetation, they have been able to create a variety of dynamic outdoor spaces.

This residence seamlessly blends elegant design with functionality. "The earthquake renovation allowed us to transform the property into a stunning long-term investment completely tailored to our client's desires."

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One hundred percent locally owned, Handrail Fittings was established by husband and wife duo Rob and Sue Best on the back of decades of experience in the handrail and foot rail industry and the want for a consistent supply of the best products at the best prices available.

Rob's knowledge in design and manufacture, which extends back to 1989, has seen the company become a market leader known for providing the most efficient delivery of consistently high quality, easy to install and easy to use handrail and foot rail fittings and accessories.

As suppliers to hundreds of clients throughout New Zealand they also boast the biggest product range in New Zealand, keeping product stocked in large quantities so their customers don't have to. Here lies a huge competitive advantage, they can generally provide next-day delivery where it could take other suppliers weeks to deliver the same amount of product.

The vast product range particularly includes handrail brackets, from cost-



effective for bulk use in schools, offices, apartment blocks and the like, to bespoke designs for architectural builds, finished in brass, satin, mirror and/ or galvanized steel, rated up to commercial grade SAE 304 and marine grade SAE 316L.



Among their most popular products are their knock-in end caps, so that instead of having to cut and weld steel onto the end of tubes you can simply insert an end cap, for an equally nice look without the hassle.

All products are designed and manufactured specifically for the New Zealand market. Throughout every stage, Rob and Sue work closely with their off-shore manufacturers of seven years to ensure the quality is consistent and are continually impressed with the results in comparison with other manufacturers.

Customer service is a leading priority and this is not only reinforced by the quality and delivery of product but also by after

sales support and a complete knowledge of their products.

Rob's experience is a huge advantage to their customers; if a client, architect, builder etc isn't quite sure how to best approach a job, or if the product they require doesn't exist, Rob can often advise customers of potential solutions. It's all about customer service. "We pride ourselves on having a great quality of product, the most efficient delivery, being simple and easy to deal with, and accountable and hard working to keep our customers satisfied," Sue says.

The entire product range can be viewed online at www.handrailfittings.co.nz.



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Expert preparation

When done well you cannot tell the difference between an existing home that has been renovated and a newly built home – unless of course the homeowner intended it to be known.

Extensive refurbishment tends to prompt bigger functional requirements and it is essential this potential scope is recognised and strategically dealt with early in the process by a well-briefed and well-resourced project team.

Avery Associates Team Architects, the Auckland-based practice of Team Architects, is best known for its expert undertaking of alterations and additions to residential and commercial properties throughout New Zealand.

Its consortium of studios across the country have the scale, expertise and resources to deliver across a range of unique and

complex project types, as well as the local knowledge and trusted networks to benefit even the smallest projects.

“Scale and complexity is probably the trigger that encourages, if not necessitates, the use of an architect as distinct from other designers,” says Avery Associates Team Architects Limited director, Kerry Avery.

If doing major renovations, clients will likely need a good site topography survey plan. It is also recommended a full measure of the site is undertaken and a digital model prepared, to which the new design-work can be fully integrated.



Comprehensive renovation of a 1970s house

Photo by Elise Burridge

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“ We listen and are responsive to our client’s request. With that in mind our designs take their cue from the existing house – they accentuate the positive and obliterate the negative in line with the client’s vision. ”

Ensuring that alterations and additions fit the desired character of a home’s heritage or location is easier said than done – one can’t just demolish a chimney or put up a large street-front fence.

Herein lies the advantage of having an architect who is well experienced with the renovation process.

“Design strategies need attention to ensure the client’s needs are satisfied while meeting the requirements of the district planning rules,” Kerry says.

“The need to fully understand and manage the design process

within council’s planning constraints is essential.”

Modern lifestyles are drawn to open-plan living, often with the focus centered around a kitchen island bench, a flow between living and dining and ease of access to the outdoors.

Then there are the many layers on top of this that activate clients’ interest – sustainability, warmth, ergonomic optimisation, smart-enabled services, low maintenance factors, the list goes on.

“We listen and are responsive to our client’s request. With that in



Photo by Elise Burridge



“**We also get satisfaction from recycling or up-cycling building materials and elements and reducing construction waste.**”

mind our designs take their cue from the existing house – they accentuate the positive and obliterate the negative in line with the client’s vision.”

Available in today’s market is an almost unlimited abundance of material finishes, building systems and product services at varying price points. Building standards are forever increasing as they are reinterpreted for compliance, and cost estimation and control is more important than ever.

“We work closely with a specialist quantity surveyor cost consultant

and bring experienced builders into the design process so the best options for construction can be assessed and relative values and likely cost understood,” Kerry says.

“We also get great satisfaction from recycling or up-cycling building materials and elements and reducing construction waste.

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"I liked the variety of topics and delivery types. The discussions were very productive."
(Hendrick, Dunedin, 2019)

"I found the course incredibly useful to gain knowledge of how to live more sustainably and also save myself some money alongside gaining all kinds of useful knowledge - making me much more mindful of how I live and use the tools around me such as electricity and water and my car. Often walk or use a bus now. I've recommended it to several others. It's a great programme."
(Anna, Christchurch, 2019)

"Lots of practical hints and suggestions that can be put into action."
(Dunedin participant)

"Trying to live more sustainably often looks like it will cost more. This course allows you to discuss ways that aren't expensive to live more sustainably and environmentally."
(Geraldine course participant)

"Each session left me buzzing with new understandings and motivated to make changes in my life."
(Dunedin participant)

"Opens your mind to different views and ways to do things. I've recommended it to friends."
(Geraldine participant 2018)



Future Living Skills

You could be a leader

Potential tutors or study group champions are invited to make direct contact with our National Coordinator, Rhys Taylor on 03 6938726 or rhys@sustainableliving.org.nz. (Send letter or CV to show why and where you could facilitate group learning on sustainability. Share your relevant experiences, to join the team. Training events held in member council areas.)





You can find Future Living Skills news items on Facebook @Futurelivingskills, and details at the website www.sustainableliving.org.nz

Register to obtain the PDF learning guides, published on eight topics, with more to come:

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Creating comfortable homes

A well designed home is one that will keep you warm in winter and cool in summer.

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If you are building new, there are no excuses for not doing it right. Renovating provides a few more challenges, but the basic principles are much the same.

There are two key areas people should look to first when integrating sustainable energy solutions into the home.

1. Heating and cooling

The process of heating and cooling a house can use excess energy from simply not having the appropriate combination of insulation and ventilation solutions for the setting.



Insulation must be balanced with the right ventilation so the house can breathe when it becomes too warm. If it can't breathe, it overheats, becomes humid and this results in condensation, and people end up spending more energy and money ventilating and cooling the place back down.

Similarly, if you install an advanced heating solution but your house lacks insulation, you will notice in your power bill that the heating works on overdrive trying to fill those voids.

Solarchitect director Russell Devlin says, "You have to insulate to stay warmer, but you have to provide for some form of ventilation. In some houses it's easier, in older houses they've got a natural degree of leaky air so it varies.

"However – if you seal a house up you're going to get condensation problems – so what do you do? In a new house you would get double glazing, but in an existing house we'd say it's incredibly expensive to retrofit double glazing and you're probably better off initially to have good thermal curtains.

"Remember – you should never use your heat pump for cooling!" Russell says. It's a money-and-energy-sucking trap.

A healthy home is predominantly about one that has a high quality of indoor air. The biggest influence on this is around the choice of materials that you make for your home.

2. Lighting

When it comes to lighting we consider it as warm or cool lighting. Warm, or more yellow lighting, is ideal for creating a

warm allure and trapping heat within homes, while cool, or more blue lighting, helps to prevent a space from absorbing too much heat.

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About Solarchitect

Solarchitect is a Christchurch-based architecture firm offering homeowners' access to a range of clever, sustainable living solutions.

By providing Solarchitect with your site information, it can arrange a free initial meeting that includes a design proposal. From there it provides clients with a single, low-cost design fee with sketch plans and perspective views, and a build-to-budget figure will be confirmed.

This all-inclusive, fixed-price build contract breaks away from the typical mould of costing architecturally-designed homes retrospectively and opens up a more accessible avenue for connecting homeowners with sustainable solutions.

Russell is a member of the New Zealand Green Building Council and a NZGBC Homestar practitioner. As a Homestar practitioner he can help guide you on good environmental design when you are planning your new home, or a renovation in your existing home. He is also a NZ Registered Architect and member of the NZ Institute of Architects.



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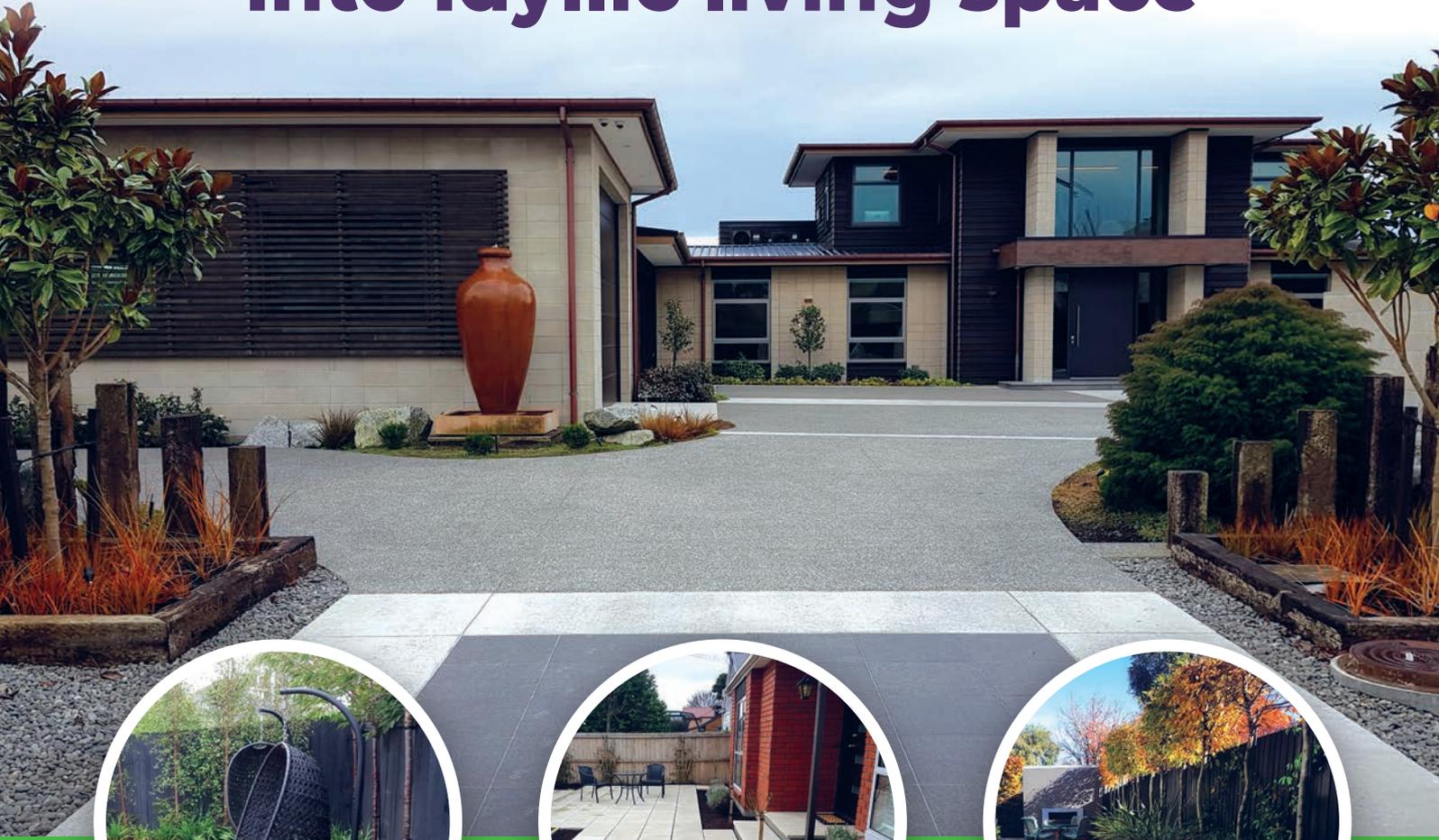
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Doug Croy established his first sheep stud at age 11 and in the half-century since, he's owned multiple sheep and cattle studs throughout New Zealand and cultivated unique, first-hand knowledge of livestock breeding and farm management.

A substantial back injury in recent years has forced his hand and taking with him the specialist expertise he's gained over more than 45 years of farming, he's moved into the business of consulting.

Croy Lifestyle Block Management works with smaller farm and lifestyle block owners throughout Canterbury to advise and help them achieve the best use of their land.

It can provide a complete service that includes budgeting and forecasting, property maintenance, stock management and animal health plans, and more.



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Canterbury's lifestyle blocks: Lifestyle or life sentence?

The amount of lifestyle blocks in the Canterbury region has exploded since the earthquakes.

In the Waimakariri District for example, the number of lifestyle blocks has gone from approximately 500 pre-earthquakes to 3,000 post-earthquakes.

"People in Canterbury have gone through so much and you can't blame them for wanting to get out of the city," Doug says.

When you consider that lifestyle blocks used to be productive and semi-productive farming land which has now been taken out of the system, most lifestyle block owners are potentially sitting on arable land they can use to huge personal advantage.

Unfortunately, left to their own devices, lifestyle block owners tend to be living a different reality to the one of which they dreamed.



As a result, a three-year ownership pattern is emerging: In the first year, everyone really enjoys their lifestyle block and it's a great environment to host the company of family, friends and neighbours;

in the second year it starts to become a bit of a chore and by the third year, it's on the market.

"When you own property in town you can use the weekends to rest and recharge the batteries for the

week ahead. Unless you have it well set up, lifestyle blocks don't work that way," Doug says.

"It's just an adjustment lifestyleers have to make, but if they do, it rewards them by paying them dividends."

Doug became acquainted with lifestyle block owners through his sheep studs and selling his stock to those in the market for a few ewes. What would follow was a flurry of questions over how to best manage that stock and before long Doug found himself in the realm of consulting.

He relishes passing his knowledge on to those who wish to get the most out of their lifestyle blocks.

"So many new land owners aren't aware of the services and opportunities available to them from lifestyles blocks, as well as the work required of lifestyle blocks."

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The process:

INITIAL CONSULT

The first consultation is free. It is an in-person call out, where clients sit down with Doug to determine what their plans are. Some clients have realistic plans, some have ambitious plans and some have no plans.

Doug will then have a walk around the area in question and give clients a brief outline of what he can do to help them. If clients decide to engage any services from this point on, that's when the clock starts.

INDEPENDENT ADVICE

If managed properly, lifestyle blocks allow for the owner to gain maximum productivity from their land while having the smallest impact on the environment; increasing profits at the same time as lowering costs. "As an independent point of view, I have your best interests at the forefront."

DETAILING AND MAPPING

The initial focus, once it's been determined what clients want, is a detailed map of the area. It's vitally important to know the exact areas in each paddock that are best for pasture, or if there are no paddocks, where to put fencing for paddocks.

BUDGET AND FORECASTING

Specific to clients' goals, knowledge, time of year and location, a budget is produced detailing the income and expenditure predicted to formulate the process and reach the desired goals and outcomes. "We want to maximise the efficiency and value of your property."

STOCK MANAGEMENT AND ANIMAL HEALTH PLANS

If clients are looking at running stock, they can be advised which quality breeds are suitable for their land and where to purchase this stock. A customised animal health programme will then be



provided so they know exactly what needs to happen to this stock and at what time of year. A land management plan not only benefits the animals but also the condition of your property.

FACILITATION

If clients require contracting work for any services such as fencing, pasture renovating, livestock management, etc, this can be arranged through a network of approved contacts. Once a

price has been agreed upon by the client, Doug will oversee the process until it's done – the client needn't have to worry.

The benefits of consulting and management services far outweigh the perceived cost of engaging them. Especially when the first consultation is free – you've got nothing to lose.

"I'm trying to get landowners back to something they dreamed they might have," Doug says.

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Predicting the future of lifestyle blocks

Until the last five years or so lifestyle blocks have been historically cheap – around \$180,000 – and quake-safe sections in Christchurch have been going for a similar amount. Many buyers have seen lifestyle blocks as better value for money here.

However, by the time they've purchased the bare land and put a house on it they've got a mortgage – they don't have another \$100,000 to spend on doing maintenance and/or development straight away.



I would hope that the people that are committed to lifestyle farming would heed the advice of people in the area who farmed before them.



In town you may be able to get away with putting a hold on things but not on farms. And it can be really difficult to get the bank to lend money for 10 acres worth of land development that you won't get any revenue back on for 10 years.

"The initial wave of people buying land is slowing down," Doug says.

"There's certainly a place for lifestyle blocks but people taking them on need to be realistic and practical.



Croy Lifestyle Block Management owner/operator Doug Croy

"I would hope that the people that are committed to lifestyle farming would heed the advice of people in the area who farmed before them.

"People need to understand that instead of paying for their block, they can have a block that generates up to \$5,000/year, which more than covers its rates."

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The Slide Shop uses international and local suppliers for a variety of components – glass, wood/melamine, PWC, and steel. “We spend a lot of our time doing product, price, and quality comparisons. It is important to us to communicate these differences to you.”

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The Slide Shop has a plentiful range of doors to choose from including room divider doors, glass sliding doors, PWC sliding doors, hinge doors, mirror sliding doors, bi-fold doors, and melamine sliding doors.

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Home gardening tips *for spring*



With the arrival of spring the growing season kicks off. Warming weather means trees, bushes and flowers beginning to sprout again, and it's a popular, and necessary, time for Kiwis to spend time in their gardens for the season ahead.

As you start planning your garden, consider what chemicals you plan to use and how you plan to manage the risks from the chemicals around your home.

You can make your home and garden safer by choosing products that are as gentle as possible, and by disposing of old products you don't use anymore, says Lizzie Wilson, spokesperson for the Environmental Protection Authority's (EPA) Safer Homes Programme.



"Home gardening and cleaning chemicals are safe to use when you follow the instructions on the label, which will also tell you if you need protection, like gloves, a facemask or safety glasses.

"When you first get out into the garden at the start of spring, this is a good time to take a stocktake of the existing chemicals around your home," Lizzie says.

"Storing or stockpiling products you no longer need creates unnecessary risk around your home; it's another easily preventable hazard around children.

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Home gardening and cleaning chemicals are safe to use when you follow the instructions on the label, which will also tell you if you need protection, like gloves, a facemask or safety glasses.



"There's guidance on our website about how people can safely dispose of old chemicals you no longer need. It's very important people never pour unused product down the drain.

"A common home gardening myth is that 'natural', 'organic', and 'environmentally friendly' products are safer to use. These substances can still be hazardous and the same precautions need to be taken, like wearing gloves," she says.



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Here's some spring gardening tips to stay safe around chemicals:

- Weed killers, pest sprays, fertilisers and other gardening products are considered hazardous substances. Take extra care when using, storing, and disposing of these to protect yourself, others and the environment
- If you are spraying near or on edible plants, check the label to see how long you need to wait before the plant or vegetable can be harvested
- If you are concerned about using garden chemicals, you can opt to wear gloves, and check the label to see if you need other protection, like a facemask or safety glasses
- Keep products away from your eyes and face, and off your skin
- Choose a calm day. The wind can blow products into your eyes and face, or onto other people
- Spray carefully if you are working near streams or other water. Many garden products should not be used near water
- Never pour leftover product down storm water drains.



Choosing great outdoor furniture

As the cooler weather gives way to warmer days, now is the time to get your deck or patio summer ready with quality outdoor furniture.

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A golden rule is: Buy quality, buy once. Outdoor furniture by its very nature is subjected to all sorts of wear, tear and weathering so the quality is paramount if you want it to last for many years to come.

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Rewriting the record books

Auckland Mayor Phil Goff says another record month for dwellings consented in Auckland is more evidence that real progress is being made for housing in the region.



"A total of 1,657 new dwellings were consented in May," Mayor Goff says.

"That's not only an all-time record for the month of May, it's also the most dwellings consented in Auckland in any month in 16 years, and the second-highest number of dwellings consented in Auckland in any month ever.

"It takes annual dwellings consented to a new annual record of 13,881.

"Building new houses in Auckland is a priority as we deal with the pressures of population growth and housing unaffordability, but it is clear from these figures that progress is being made.

"We continue to issue consents at record levels. These latest figures follow previous record-breaking months for consenting earlier this year.

"Seven years ago, we were issuing only about 3,600 consents a year and for years after that building numbers and infrastructure lagged massively behind Auckland's growth in population.

"The new Auckland Unitary Plan has contributed to this result and has dropped land prices by around six percent, according to the council's chief economist.

"To deal effectively with building consents we have recruited new staff into our consenting team to help process these record numbers and deal with the increasing complexity of consents. The cost of this is met primarily through consent charges not rates.

"There is much work to be done to get on top of Auckland's housing shortage, but these figures show that progress continues to be made," he says.

In the year ending June 2019, a record 14,032 dwellings were consented and 57 percent of those were for apartments, town houses and other attached types of homes.

Auckland Council's director of Urban Growth and Housing, Penny Pirrit, says it's pleasing

“

Building new houses in Auckland is a priority as we deal with the pressures of population growth and housing unaffordability, but it is clear from these figures that progress is being made.”

to see that attached dwellings are making up a large proportion of new dwelling consents.

"The diversity of Auckland's population means that a range of different housing types are needed. We're a region of first-home buyers, growing and blended families, aging couples and long-term flatters. The needs of Aucklanders are changing and our housing stock needs to provide options for everyone."

Key stats:

- In the year ending June 2019, 14,032 dwellings were consented in the region
- 1,152 dwellings were consented in June 2019
- 1,125 dwellings were 'completed' by having a Code Compliance Certificate (CCC) issued in June 2019
- 43 percent of new dwellings consented in June 2019 were houses, 26 percent were apartments and 31 percent were townhouses, flats, units, retirement village units, or other types of attached dwellings
- 26 percent of dwellings consented were inside the 1,500m walking catchments of the rapid transport network in June 2019
- 89 dwellings were consented on Housing New Zealand or Tāmaki Regeneration Company owned land in June 2019.

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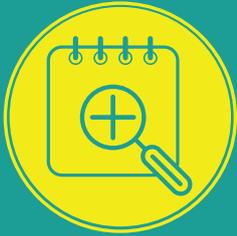
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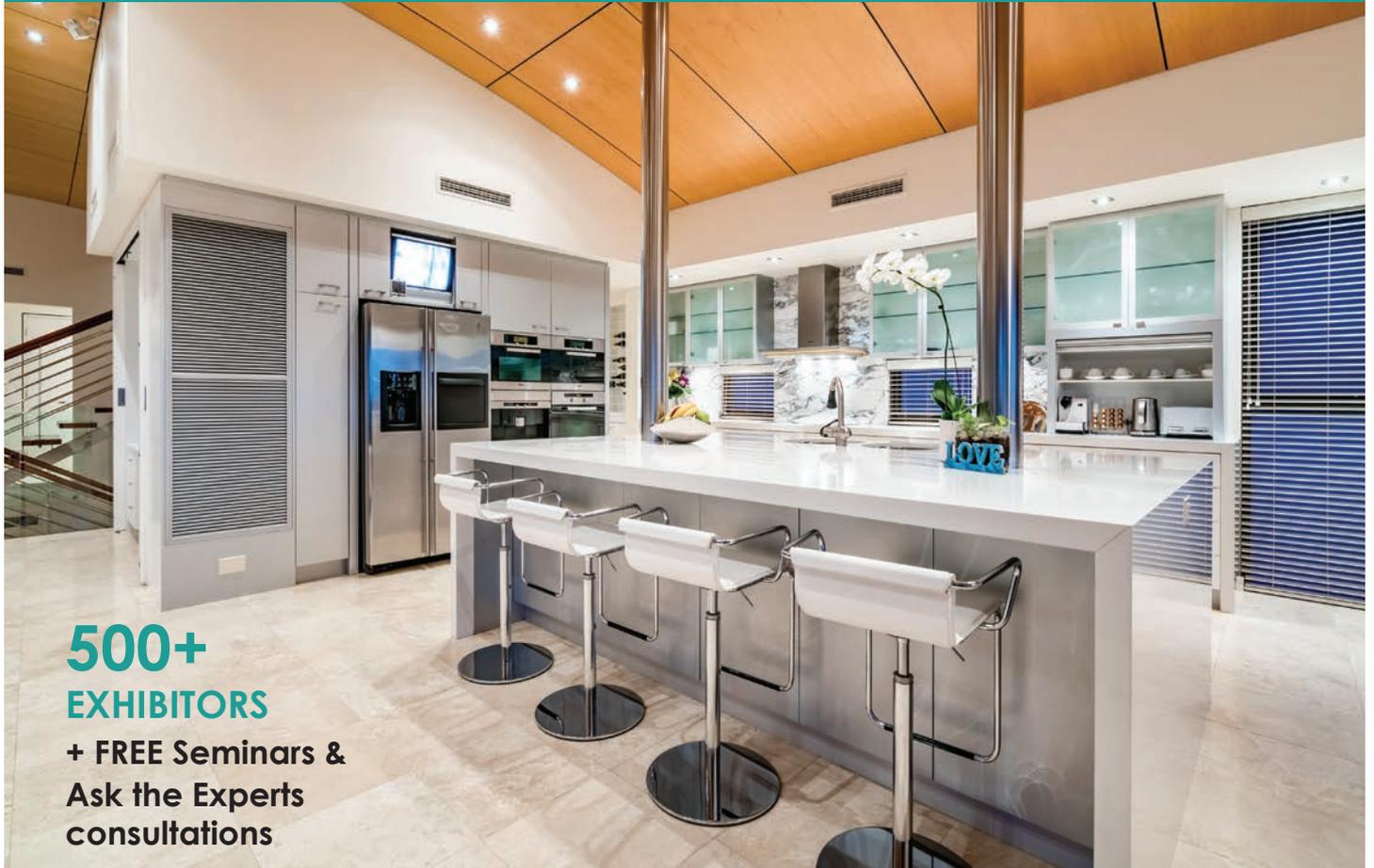
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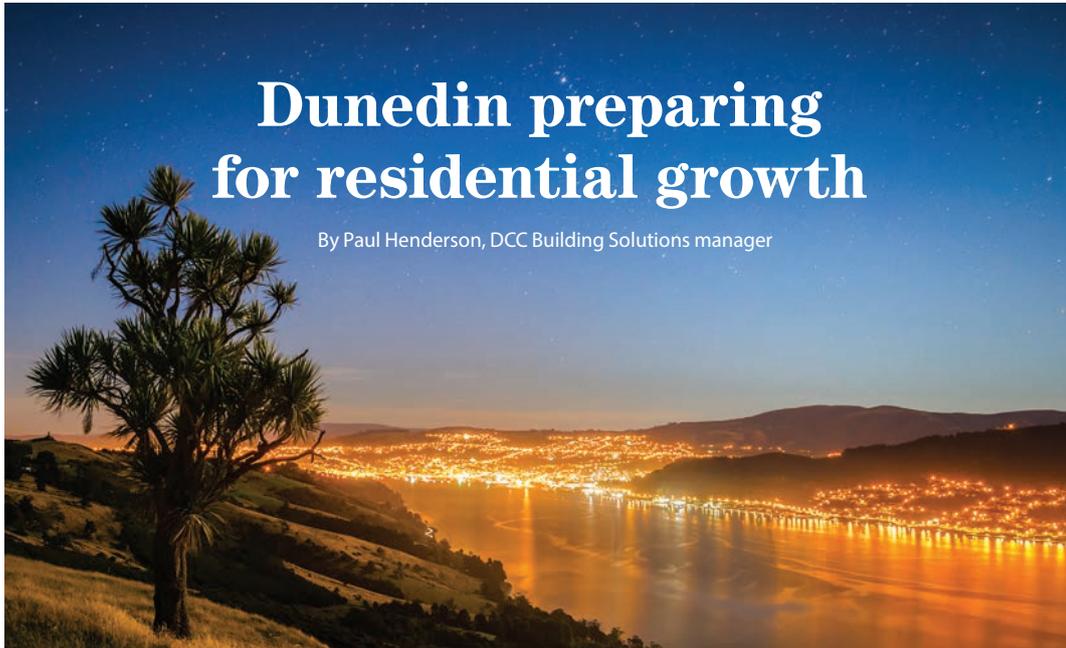
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Dunedin preparing for residential growth

By Paul Henderson, DCC Building Solutions manager



Dunedin is on a roll and the future looks bright for our great small city.

We're experiencing sustained economic growth and positive indicators. Population, GDP and job numbers are all steadily increasing; designers and

builders have full order books and building consent applications continue to be received at 10-year highs.

More exciting city developments are on the cards. The University of Otago is continuing its substantial development programme, and

the Dunedin Hospital rebuild will be the largest project of its type in recent history, with around 1,000 workers expected at the peak of construction.

The Dunedin City Council is embarking on its own ambitious, decade-long programme of investment to upgrade core infrastructure, as well as some new projects which will make the city an even more attractive place to live, work, study and do business.

All of this points to further expected growth as people look to leave the hustle and bustle of bigger cities for a quality of life in Dunedin that is hard to beat.

Preparing for this growth and deciding on whether to build or renovate a home in Dunedin has been helped by the council's recently developed Second Generation District Plan (2GP).

The 2GP facilitates a range of residential growth options. Within the CBD and town centres, residential activities are permitted as of right, provided certain performance standards are met. This allows for apartment-style living options, either through the construction of new buildings or the conversion of existing buildings.

Surrounding the CBD and centres, medium density developments are enabled, such as townhouses and semi-detached units. In these

areas, the maximum density is based on the number of bedrooms rather than the number of units, to make it easier for increased density and/or smaller dwellings to be feasible.

Under these rules, there are no restrictions on how many units a given maximum number of bedrooms for a site may be divided into. New medium density areas were identified to cater for the predicted growth in demand for townhouses and semi-detached dwellings. This includes parts of Opoho, Roslyn, Belleknowes, Andersons Bay, Waverly and Caversham.

Within existing residential areas, amendments to provisions have been made to increase the ability to develop a wider range of housing. These include specific provisions for family flats (also known as 'granny flats') and more permissive provisions for 'supported living facilities', which include retirement villages, rest homes and student hostels.

New 'greenfield' areas adjacent to existing residential zones have also been opened up for residential development. The 2GP includes 190 hectares of land that has been rezoned to residential from other zonings under the previous District Plan. Key sites are in Corstorphine (28 ha.), Halfway Bush (11 ha.), Abbotsford (7 ha.), Pine Hill (6 ha.) and Ocean Grove (6 ha.).

An additional 132 hectares has been identified as a Residential Transition Overlay Zone. These areas can be developed once infrastructure upgrades have been undertaken and further residential capacity is required. Depending on the wastewater catchment, the necessary infrastructure upgrades are expected to take between 10 and 20 years.

Deciding on building or renovating your current or future home in Dunedin couldn't be easier from a council perspective. If you are unsure on the specifics, have a look at the DCC website (www.dunedin.govt.nz) or call in to talk to one of the duty planners or building officers.



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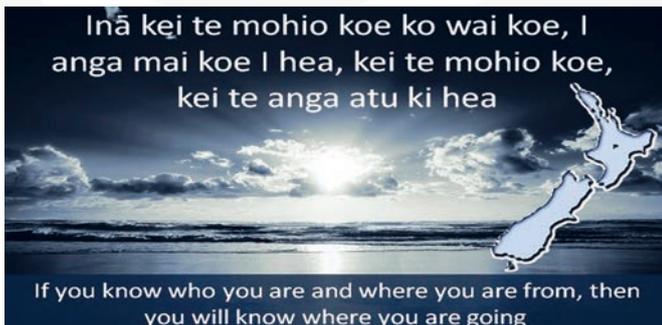
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The new standard

The Healthy Homes Standards coming into effect signifies a cultural change towards healthier homes and living standards.

In February 2019 the government announced the Healthy Homes Standards (HHS) and on 1 July 2019 they became law.

The HHS set the minimum requirements for heating, insulation, ventilation, moisture ingress and drainage, and draught stopping. Also related to the standards is compliance time frames, compliance with the standards, and resolving disputes.

“Making sure all New Zealanders have warm, dry homes is a key focus for the Government and the Ministry of Housing and Urban Development,” says Jo Hughes, deputy chief executive policy, Ministry of Housing and Urban Development.

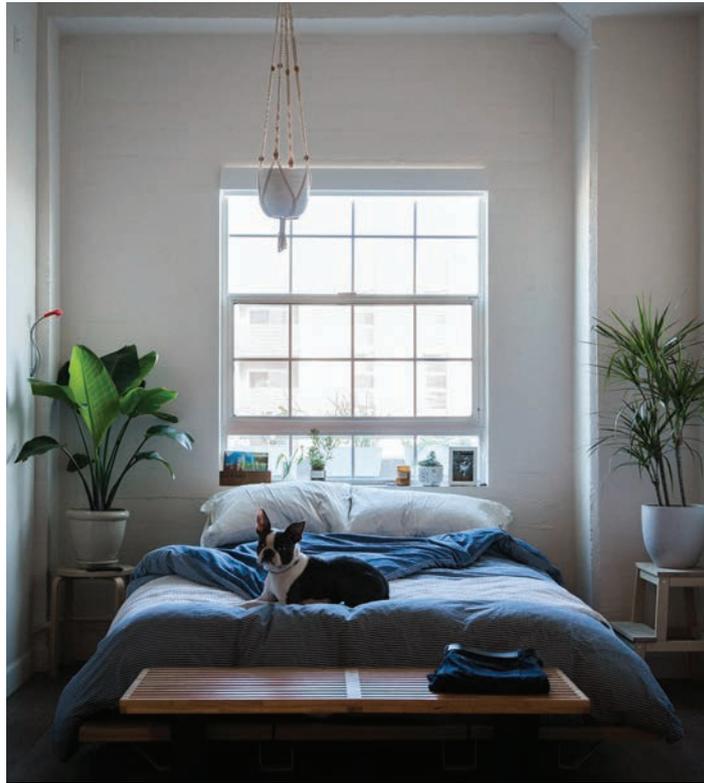


Photo by mike-marquez

“**Making sure all New Zealanders have warm, dry homes is a key focus for the Government and the Ministry of Housing and Urban Development.**”

Code, or (for existing ceiling insulation) have a minimum thickness of 120mm.

A free online insulation tool designed to help you find out whether you need to upgrade the insulation in your rental property can be found at www.tenancy.govt.nz/maintenance-and-inspections/insulation/insulation-tool/.

Ventilation

Ventilation must include openable windows in the living room, dining room, kitchen and bedrooms. There must also be an appropriately sized extractor fan(s) in rooms with a bath, shower, or indoor cooktop.

Moisture ingress and drainage

Landlords must ensure efficient draining and guttering, downpipes and drains. If a rental property has an enclosed subfloor, it must have a ground moisture barrier if it's possible to install one.

Draught stopping

Landlords must stop any unnecessary gaps or holes in walls, ceilings, windows, floors and doors that cause noticeable draughts. All unused chimneys and fireplaces must be blocked unless the tenant and landlord agree otherwise.

There are exemptions to the standards and they can be found at www.tenancy.govt.nz/healthy-homes/exemptions-to-the-healthy-homes-standards/.

Landlords:

What you need to know

The Healthy Homes Standards incorporate five aspects of a property, which all contribute to a warm and dry home.

Heating

There must be fixed heating devices capable of achieving a minimum temperature of at least 18 degrees Celsius in the living room only.

A free heating assessment tool is now available at www.tenancy.govt.nz/heating-tool/ to assist with determining the heating capacity required for the main living room at rental premises, including a boarding house. When used correctly this tool will confirm what heating devices will meet the standard.

Insulation

The minimum level of ceiling and underfloor insulation must either meet the 2008 Building



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Compliance timeframes

From 1 July 2019 –

- Ceiling and underfloor insulation is compulsory in all rental homes where installation is reasonably practicable
- Landlords must include a signed statement with any new, varied or renewed tenancy agreement that they will comply, or already do comply, with the Healthy Homes Standards. This is in addition to the existing requirement since 1 July 2016 to include a statement with all new tenancy agreements that covers what insulation a property has, where it is, what type and what condition. These two statements can be combined and provided with one signature
- Landlords must keep records that demonstrate compliance with any HHS that apply or will apply during the tenancy.

From 1 July 2020 –

- Landlords must include a statement of their current level of compliance with the HHS in any new, varied or renewed tenancy agreement.

From 1 July 2021 –

- Private landlords must ensure that their rental properties comply with HHS within 90 days of any new, or renewed, tenancy
- All boarding houses (except Housing New Zealand and Community Housing Provider boarding house tenancies) must comply with the HHS.

From 1 July 2023 –

- All Housing New Zealand and registered Community Housing Provider houses must comply with the HHS.

1 July 2024 –

- All rental homes must comply with the HHS.

Zone 1:
ceiling R 2.9,
underfloor R 1.3

Zone 2:
ceiling R 2.9,
underfloor R 1.3

Zone 3:
ceiling R 3.3,
underfloor R 1.3

Zone 1

Zone 2

Zone 3



What is your required insulation standard?

Insulation requirements under the HHS are measured by R-value. 'R' stands for resistance – how well insulation resists heat flow. The higher the R-value, the better the insulation. Minimum R-values vary across New Zealand.

Landlords can check the R-value of new or existing insulation by:

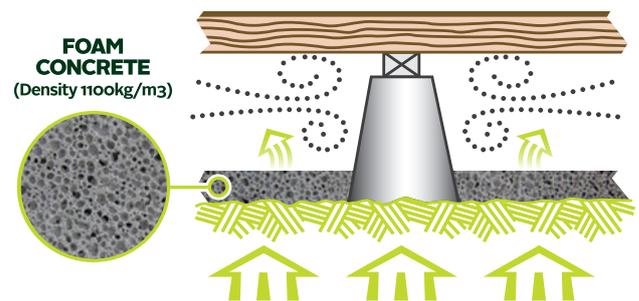
- Checking product packaging
- Checking whether a product label is stapled to a beam in the ceiling or underfloor area
- Checking installation certificates, invoices or building records from the local council
- Consulting a professional insulation installer.

To keep up to date with important information regarding legislation changes that affect landlords and tenants, including the Healthy Homes Standards, you can sign up to the Tenancy Matters newsletter and follow Tenancy Services on Facebook.

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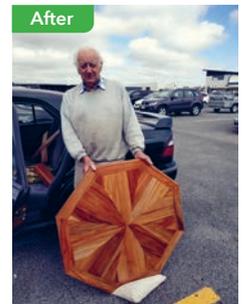
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Right now there are people looking for a business just like yours. However, if you don't have AdWords, there's a very good chance they've just clicked one of your competitors' websites.

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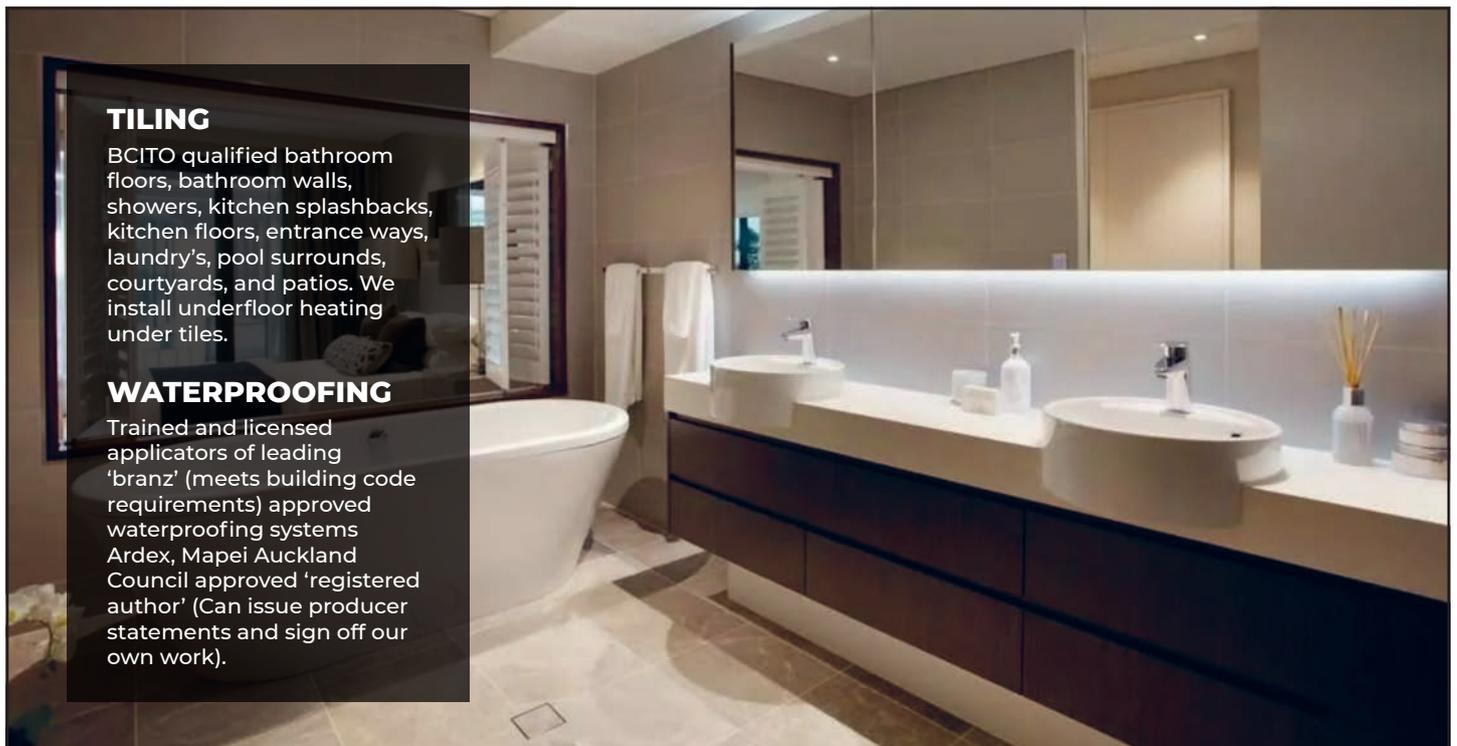
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The importance of planning with confidence

Rolling the dice is a moment of anticipation when playing board games, but would you roll the dice as part of your home renovation planning?

The preparation process of home renovation lays the foundations to successful outcomes, whether it be small interior upgrades, restorations of ornate timber joinery or significant timber joinery renovations.

While in the planning stage with your designer, architect or builder, you can visualise what you want to achieve, but do you visualise who your timber joinery provider will be to bring your vision to life?

While in the planning phase, ask your designer, architect or



builder to work with a Registered Master Joiner.

When you work with a Registered Master Joiner you are working with an experienced timber craftsman and practitioner whose connectedness through the Master Joiner network brings so much more to the planning stage of your home renovation project.

Registered Master Joiners keep up with trends, innovations, product capability and technology advancements. Many are trend setters yet trusted old-world techniques are still available.

This is exactly what you need to tap into when planning your home renovations.

“ While in the planning phase, ask your designer, architect or builder to work with a Registered Master Joiner. ”

You will find Registered Master Joiners around New Zealand providing a diverse range of timber joinery products and services, from kitchens, geometrical stairs, doors, and windows, shutters and cabinetry.

Many Registered Master Joiners also produce high quality, bespoke fit-outs in shops, boats and even campervans.




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When your Registered Master Joiner is JMF affiliated, they will walk you through the specific needs of your exterior timber joinery to meet local environmental conditions and will tag your timber joinery validating its compliance.

No matter what your needs, don't throw the dice on your timber joinery. Turn to a Registered Master Joiner and have confidence they work to ethics and standards and maintain a commitment to the Master Joiner pursuit of excellence.

Your timber joinery needs should be a collaboration between you and your joiner.

Don't roll the dice, renovate with confidence!

Visit www.masterjoiners.nz/find-a-master-joiner/ to find a Registered Master Joiner in your region, or check out www.jmf.nz.co.nz/approved-manufacturers/ for a JMF Registered Master Joiner affiliate member.



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Why you should use a Registered Master Joiner

Registered Master Joiners provide full consultation and design services for all joinery needs and work closely with other design professionals to ensure that the finished product looks and functions at its best.

A national and regional fellowship of members ensures that all are kept up to date with the latest trends both in craft practice and business developments.

Through its members, the New Zealand Joinery Manufacturers' Federation is also a prime mover in the introduction of innovations and standards to the joinery industry.

Master Joiners belong to one of the world's oldest trades, dating back to Europe between the 12th and 15th Centuries.

Wooden and kitchen joinery is often what sets one building or home apart from another. It is an area of professionalism and craftsmanship.



Master Joiners ensure high standards of workmanship and guarantee the warranty required under the Consumer Guarantee Act.

Exterior and interior joinery are premium products, which require a level of protection to enhance the properties of the products. It is therefore important that you take your time in selecting who designs, manufactures and advises on care and maintenance.

In New Zealand, joinery is one of the few industries that has retained its apprenticeship tradition.

The New Zealand Joinery Manufacturers' Federation and local associations work together with training providers to provide pre-training courses and also sponsor youth skills competitions and events aimed at promoting excellence in trades training.

Registered Master Joiners bring innovation to the joinery industry.

They encourage competition and the pursuit of excellence between and from members, their employees and apprentices.

Whether renovating or rebuilding, don't take a gamble with a major investment in your home – the best kitchens and cabinetry don't just happen.

It makes sense to consult a professional for the planning, manufacture and installation in your home.

Registered Master Joiners provide this certainty.



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Dynamic Joinery & Cabinetry Christchurch



Kristina Pickford Auckland & Lichfield Joinery Christchurch

Working closely with builders, architects, joiners, and homeowners, Mercer Stainless approach every job as if they are going into a hi-spec home. The company aims for its quality to be known as second to none, and this certainly comes across in its care and precision in every job.

“We pride ourselves on our quality products and the service we provide,” said Mercer Stainless’ Custom Bench Sales and Production Co-ordinator, Diane Burton. “We stand by our products.” This is probably why joiners come back to Mercer Stainless time and again, as they know they can rely on the manufacture of a bench that is perfect for each job.

The advantage of stainless is that it is so easy to keep clean and it looks incredibly smart. Mercer’s bench catalogue includes several edge designs, for example, a wet edge slope on the outer lip to prevent water seepage down cupboards. There are also options for how the stainless-steel top is attached to the wall and various textured finishes are available.

Mercer Stainless have noticed a change in trend in recent years towards large and long

kitchen benches. Mercer’s product has the ability to wrap around corners or cover a seven to eight-metre long bench. As Diane says, “If you think up something, we’ll try our best to make it work.”

Recent success stories include working with designer Kristina Pickford, where Mercer manufactured both her plate kitchen benchtops, hob splashback as well as her black powder coated plate aluminium kitchen cupboards. The overall result was an incredibly stylish, Euro-chic, industrial look.

Also, what about the sinks? Mercer Stainless have found often customers want high-end sinks from Europe, which is no problem for the team. Mercer can use any brand sink the customer requires, leading to a personalised look that’s unique to each job.

It’s not only benchtops that feature in Mercer Stainless product range – we do anything from splashbacks, range hood covers, or outdoor BBQ areas. Diane is clearly proud of Mercer Stainless and she takes pride in what the company stands for. “We love the product and we love working with people to get it just right.”

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Delivering innovation

A joiner can be defined as a professional that creates different types of joinery such as kitchens, cabinetry, shelving, wardrobes, architraves, skirting boards, and doors and windows.

Essentially, a joiner can do any non-structural timber work (for anything structural, you'll need a carpenter). While joiners primarily work with timber, they can also

work with other products such as metal or timber composites.

You will find that as well as standard joiners, you can actually find green joiners, who specialise in creating joinery in an environmentally friendly way, such as by using sustainable or renewable materials.

As well as actually creating timber products such as kitchen and

bathroom cabinets, a joiner will happily sit down with you to find out what your needs are, and then work with you to create something that meets your needs. Essentially, this is a design service.

Master Joiners are represented by some of New Zealand's best joinery manufacturers who pride themselves on delivering high quality products and services.

There are 10 regional associations throughout New Zealand which collectively make up the New Zealand Joinery Manufacturers' Federation incorporation.

A national and regional fellowship of members ensures that all are kept up to date with the latest trends both in craft practice and business developments. Through its members, Master Joiners is also a prime mover in the introduction of innovations and standards to the joinery industry.

Exterior and interior joinery are premium products, which require a level of protection to enhance

“
You can actually find green joiners, who specialise in creating joinery in an environmentally friendly way, such as by using sustainable or renewable materials.
 ”

the properties of the products. It is therefore important that you take your time in selecting who designs, manufactures and advises on care and maintenance.

One of its roles is to encourage competition and the pursuit of excellence between and from its members, their employees and apprentices.

This means you, the homeowner, will receive the highest standard of workmanship on any project carried out by a member.

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What to look for in a joiner

As a joiner is capable of working within several different areas of the home it is a good idea to have a chat with your joiner and see what things they specialise in.

For example, some joiners may work exclusively in cabinetry and shelving, while others may specialise in more decorative timber work such as architraves and mouldings.

This is important as you want to hire a joiner that has a lot of experience in the particular area that you need.

As well as this, you'll also want to hire a joiner that can work to a reasonable time frame and to a reasonable price.

To achieve this, you'll need to sit down with your joiner and tell them all the details of your project.

Key reasons for selecting a Master Joiner

- All registered members must adhere to a high set of standards
- Joiners are up to date with the latest trends in craftsmanship and business developments
- Registered Master Joiners provide full consultation and design services for all your joinery needs.

Once they know this, they'll be able to accurately estimate the cost of the project as well as the time that it will take.

Basically, what you want is a trade-certified joiner – a Master Joiner; a member of New Zealand's Registered Master Joiners.



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Creating a superb expert finish has kept Christchurch based Riverstone Concrete in high demand since company owner Scott Lopdell started the business last year.

Scott moved to Christchurch shortly after the earthquakes, initially working as a foreman running concrete crews, before starting his own business. He offers his clients over a decade of concrete experience.

Riverstone Concrete basically does anything to do with concrete, says Scott. Residential work makes up the mainstay of business including earthworks, foundations, driveways, landscaping and decorative concrete work.

By offering the whole package, including earthworks, from ribraft or 3604 floor foundations, to site scrapes and more, this gives Riverstone Concrete great control over quality, says Scott.

This has made Riverstone Concrete the company of choice for large

businesses such as Placemakers and RFL along with residential building companies including BT Builders who Riverstone Concrete has been working alongside in the Branthwaite subdivision in Rolleston.

Scott employs a team of four concreters and three on the excavation team. He oversees each project and is also hands on when he gets the chance.

He says his team of experienced and highly skilled concreters thrive on producing an extremely high quality result every time, something he feels sets the company apart and has helped his business to thrive quickly on word of mouth recommendation.

“Our team ensures great care is taken for each and every job, from decorative concrete work to immaculate dead-flat foundation services. Our benchmark is excellence, and our team are dedicated to making sure each job is delivered to an expert standard.”

As Riverstone Concrete has its own diggers and trucks this ensure every

project is completed on time and on budget no matter whether it is a residential, commercial, industrial or rural project. Riverstone Concrete has a wealth of experience in large subdivision concrete jobs. While quite often the larger jobs get rushed by bigger companies, says Scott, Riverstone Concrete can offer very competitive pricing and work completed to the same high standards as would be delivered in a small decorative patio.

Scott is aiming for continued sustainable growth of his thriving business. Riverstone Concrete works mainly in Christchurch and Canterbury but goes further afield, anywhere in the South Island, depending on the project.

Scott says that both he and his experienced breathe the Riverstone Concrete values of friendly, professional and reliable service. “We work with our clients every step of the way to ensure their experience with Riverstone Concrete is as high quality as the finished product.”



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Need help?

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The ongoing DIY fad might be very cool, but the reality is that without the right expertise, most DIY projects are just asking for trouble.

So to avoid expensive mistakes, it's better to hire a professional and get the job done properly the first time around.

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A Smart Approach to Financing Your New Build

Loan Market™

There's never been a better time to build a new property in Canterbury.

With record-low interest rates, LVR exemptions and the availability of great-value land or house and land packages, market conditions are perfect for building a new home or investment property. And with a wide selection of subdivisions to choose from, it's little wonder that building new is a popular option. But obtaining finance for a new build is not without its challenges, so it pays to be well informed before you start.

The first question to consider is whether you plan on purchasing a house and land package or employing a builder to build a home on a section you own.

A house and land ('turn-key') package offers ease and certainty – along with affordable finance options. If you're working with an established building company, you may benefit from their buying power – since they're buying tapware in large quantities, for example, they can pass savings on to purchasers in the form of well-priced packages. Purchasing a house and land package means choosing a pre-designed plan offered by a building company and selecting one of their sections to build on – in some cases you may be able to supply your own plans and/or choose your own section that they purchase on your behalf. You'll pay a deposit, but the company will retain ownership of the house and land until settlement, when you pay the remaining sum.

Buying a section and building your own home is more complicated, but also offers more flexibility – an essential consideration if you've always dreamed of an architecturally designed home. With this approach, you purchase the section you wish to build on (often using an interest-only mortgage) and then employ a draftsman or architect to draw the plans and a builder to bring them to reality. Using a construction loan, you'll draw down the mortgage as you need to make progress payments to the builder, with the final payment due on completion. With flexibility does come a bigger time commitment from you – there'll be lots of decisions to make along the way!

Whether you choose a house and land package or employ a builder, one of the big advantages to building new is the peace of mind offered by a brand-new home. This is especially true in post-earthquake Christchurch, where the standard of earthquake repairs in existing houses can be an unknown. Double-glazing, insulation and the latest building standards are all advantages that add to the safety, efficiency and comfort of your new home. Of course, there are all sorts of bells and whistles you can add but be aware that when you're building, it is important to have as many variables as possible confirmed before you obtain finance.

Banks love full fixed-price contracts. This means a contract with your builder or building company in which specs

are spelt out, providing certainty as to the full cost of the build. What banks really don't like are PC sums. These are costs that are not fixed. You might, for instance, have a 'PC sum' for kitchen appliances – a sum that will (hopefully) cover the cost if you haven't decided exactly which appliances you want. The problem is, a few months down the track you might decide that you need the latest European appliances, but your PC sum only allowed for more conventional brands. You'll have to pay the difference and that can impact on your lending!

One of the great things about building a home is the fact that new builds are exempt from the LVR and therefore it's possible to obtain finance with less than 20% deposit, but there are other factors that the banks will be weighing up before they approve your finance. These include whether your build contract is with a Registered Master Builder, whether you have Building Consent and whether a full Builder's Risk Insurance policy is in place. Banks will usually require a full off-the-plans registered valuation as well.

I have a team across Canterbury and specialise in building, renovation and construction loans, so I can guide you through your new build, ensuring the process is as stress-free as possible!



NATHAN MIGLANI

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