



**DRAWING SCHEDULE**

SHEET NO.	DRAWING NAME	SCALE
A0.00	COVER SHEET	N/A
A2.01	EXISTING FLOOR PLAN-EXISTING LEVELS	1:100
A2.02	EXISTING FLOOR PLAN-PROPOSED LEVELS	1:100
A2.03	EXISTING FLOOR PLAN-LIFTING PROPOSAL	1:100
A5.01	DETAILS - LIFTING PROCESS	1:10
A7.01	SPECIFICATIONS 1 OF 3	N/A
A7.02	SPECIFICATIONS 2 OF 3	N/A
A7.03	SPECIFICATIONS 3 OF 3	N/A



**EARTHQUAKE REPAIRS**

*FOR 74 HEATON STREET  
STROWAN  
CHRISTCHURCH 8052*

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FOR BUILDING CONSENT EXEMPTION



# EARTHQUAKE REPAIRS

74 Heaton Street, Stowan,  
Christchurch 8052

## CONSULTANTS

## ISSUES

# BUILDING CONSENT EXEMPTION

## NOTES

REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND SETTING OUT CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION

Revision	Revision Description	Revision Date
R.0	BUILDING CONSENT EXEMPTION	8/2/2018

## SITE PLAN

SCALE: 1:200@ A3

DATE: 8/02/2018

PROJECT No: R-7197

PROJECT STATUS:

DRAWN: DW CHECKED:

SHEET: A1.01 REV: R0

**SITE INFORMATION:**  
Address:  
Lots: 30, 31part lot  
Technical Category: Green Zone, TC3 blue  
Living Zone: Residential Medium density zone  
Wind Zone: Low  
Snow Zone: N4  
Earthquake: Zone 2  
Durability Zone: C  
Natural Hazards: Property not FMA zone but LMA  
Floor Area: Ground floor House area 166.59m<sup>2</sup> lift area 137.24m<sup>2</sup>  
Site Area: 602m<sup>2</sup>

**WORK TO BE COVERED BY BUILDING CONSENT EXEMPTION:**  
- The house requires re-levelling , refer to engineer's drawings for required technique.  
**NOTE:**  
All other earthquake repair work is exempt from building consent under Schedule 1, Building Act 2004.  
It is still a requirement of the Building Act that all building work must comply with the New Zealand Building Code.

**SEDIMENT CONTROL**  
- The site foreman is responsible for erecting and maintaining all erosion and sediment control structures onsite each day.  
- Surplus soil is to be removed from site and disposed of by contractor as required  
- If necessary use hay bales as a sediment fence to contain stockpiled topsoil.  
- Access onto site is over sealed driveway.  
- Avoid disturbing existing site planting and grass.  
- For further information refer to environment Canterbury erosion and sediment control guidelines.

**GROUND CONDITION REPORT**  
Refer to attached Engineering PS1 from Mike Wilton Consulting .  
If during excavation for footings and foundation walls any buried organic topsoil, soft peat or soft clay is revealed then the engineer is to be consulted for inspection -contact the site manager Gareth site manager Wesley Short on 0274 688 840 or Deborah Wilson Architectural designer on 03 274143000 to arrange further inspection.

**PROTECTION OF PUBLIC**  
The site foreman shall ensure the site is fully fenced from the road with min 1.8m high construction fences, preventing any public access.  
A site hazard sign is to be erected at the entrance of the property.

**INSPECTION OUTLINE:**  
Advise client representative of any additional damage on site. Contractor is fully responsible to verify all dimensions on site prior to commencement of demolition and construction works, including specific critical openings for fabrication on site. Once linings have been removed (if required), the contractor is to assess the structure for damage and plumb. Report findings immediately to engineer.  
As noted below, specialist assessment is required regarding any specialist remedial work. These drawings are to be read in conjunction with Engineer's evaluation assessment reports.

**GENERAL NOTES:**  
- All work is to be carried out in accordance with the New Zealand building code and all relevant standards.  
- The contractor is fully responsible to obtain all relevant local authority documents including CCC inspection approvals, code of compliance, producer statements, product warranties, guarantees and as built documents.  
- All Works to be carried out in accordance with the Health and Safety at work act 1992.  
- Full engineer's check and sign for all design details as per information on scope.  
- The contractor must take all precautions to protect the property, and those adjoining and shall make good, at own expense, any damage caused by and during his operations, to the satisfaction of the local authority or the owners.  
- All contract works must comply with the current building act, and regulations.  
- Maintain a copy of consented documents on site at all times.  
- All dimensions are to be confirmed on site prior to commencing work

**NOTE:**  
- These drawings are to be read in conjunction with the Engineers PS1, scoping reports and any relevant photos and attachments.  
- Contractor to verify extent of repairs, if greater than shown-contact the site manager Wesley Short on 0274 688 840 or Deborah Wilson to 0274143000 arrange further inspection.  
- Final levelling of floor slopes may vary and should be verified if substantially different from the target levels. Levelling to be carried out by an experienced contractor to ensure the dwelling is relevelled professionally. Contractor needs to ensure that no subsequent damage occurs whilst releveling, notify the design engineer should any damage arise.  
- No part of the floor shall have a finished floor level variation greater that 1:200 (0.5%)  
- Carpet , vinyl, tile floor coverings to be removed before releveling commences  
- Patios/Decks/Paths/Concrete steps/Driveway may need removed to level house, to be reinstated there after. This is to be discussed and confirmed before work commence.

Lot 6  
103m<sup>2</sup>

UNIT 6

Lot 5  
52m<sup>2</sup>

UNIT 5

Lot 4  
52m<sup>2</sup>

UNIT 4

Lot 3  
52m<sup>2</sup>

UNIT 3

Lot 2  
52m<sup>2</sup>

UNIT 2

Lot 1  
62m<sup>2</sup>

UNIT 1

Joint Ownership  
229m<sup>2</sup>

67 FAIRFIELD AVE

## SITE PLAN

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- Contractor needs to endeavour to minimise any subsequent damage occurring whilst releveling, And notify the engineer should any damage arise.
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**CONSULTANTS**

**ISSUES**

**BUILDING CONSENT EXEMPTION**

**NOTES**

REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND SETTING OUT  
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION

Revision		Revision Date
R.0	BUILDING CONSENT EXEMPTION	8/02/2018

-100 Existing Level

**EXISTING FLOOR PLAN\_EXISTING LEVELS**

SCALE: 1:100@ A3

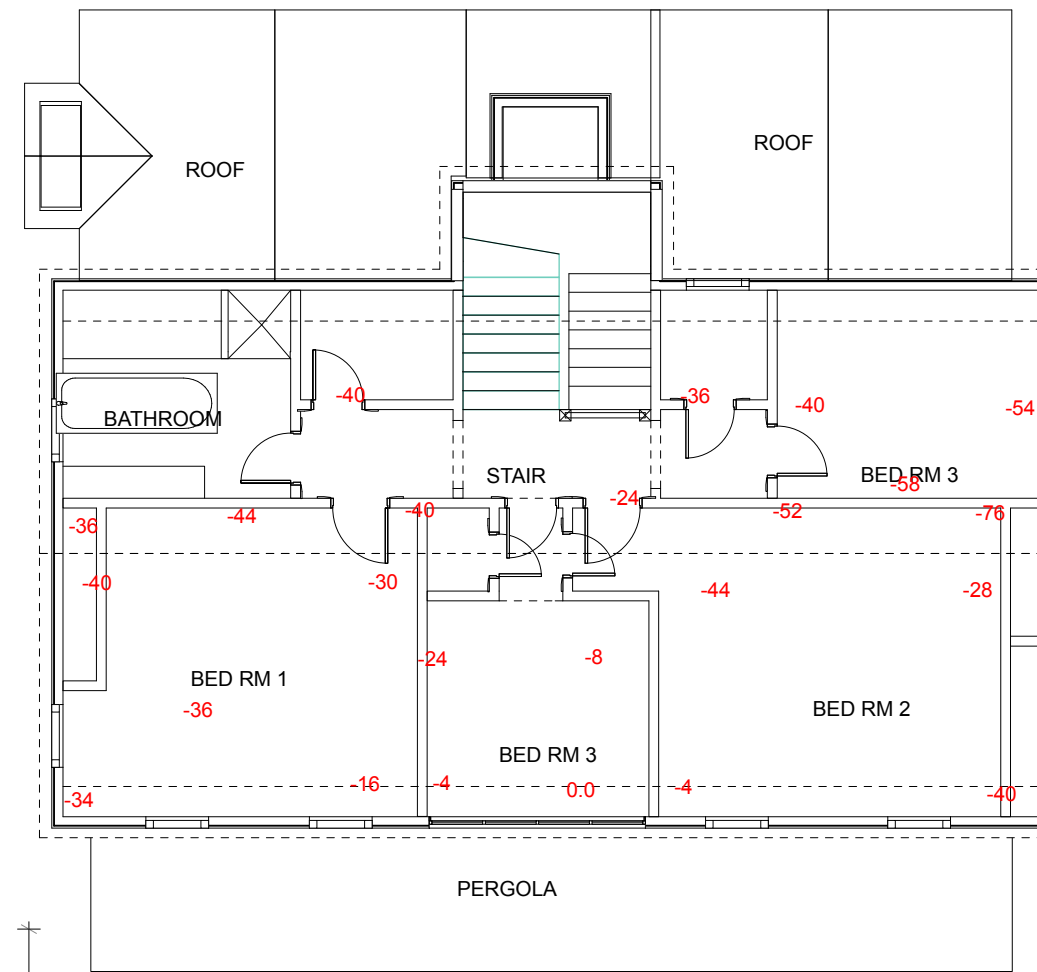
DATE: 8/02/2018

PROJECT No: R-7197

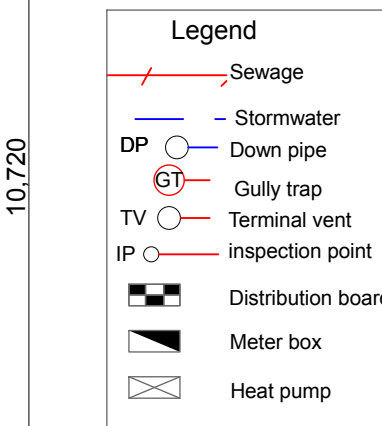
PROJECT STATUS:

DRAWN:DW CHECKED:

SHEET: A2.01 REV: R0

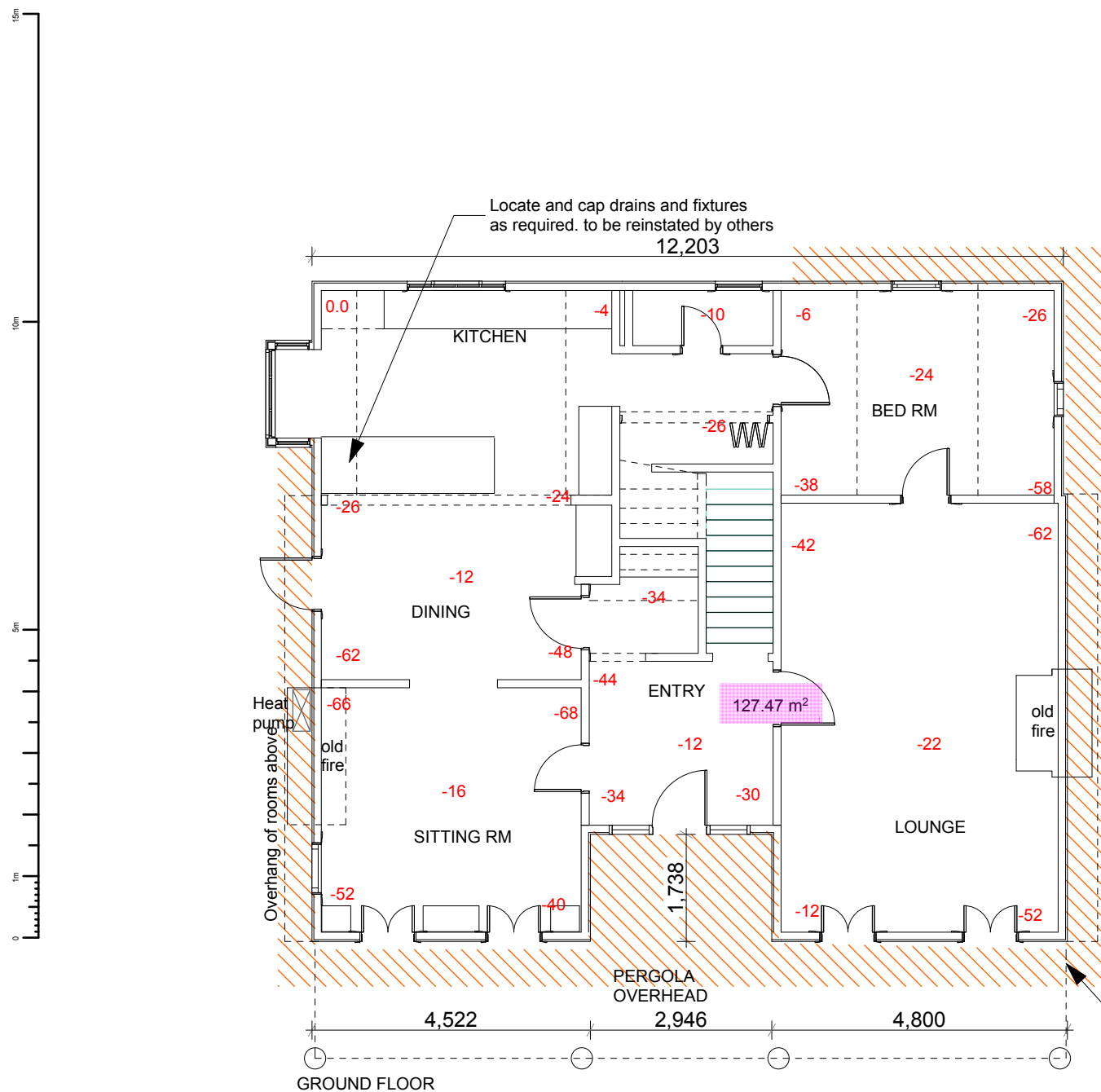


SECOND FLOOR



Dwelling to be rezipped after floor coverings removed and before levelling commences

Remove 600mm of concrete /cobbles or vegetation around house



**EXISTING FLOOR PLAN\_EXISTING LEVELS**

SCALE: 1:100



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SD Allow to install Smoke Detectors to comply with NZBC F7/AS1

(-10) Indicates Target Levels, converted to take into account steps

**EXISTING FLOOR PLAN PROPOSED LEVELS & RE-LEVELLED AREA**

SCALE: 1:100@ A3

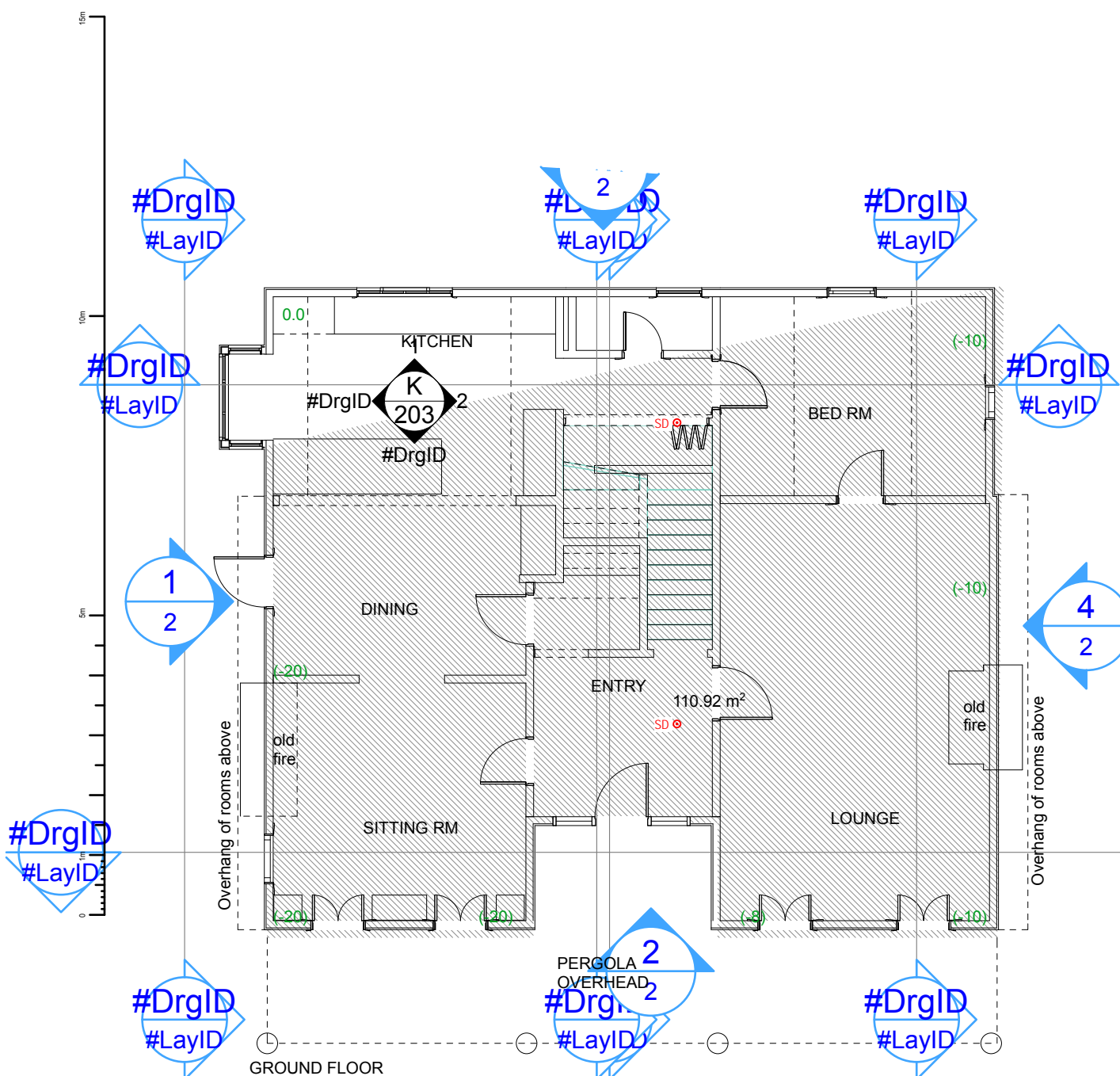
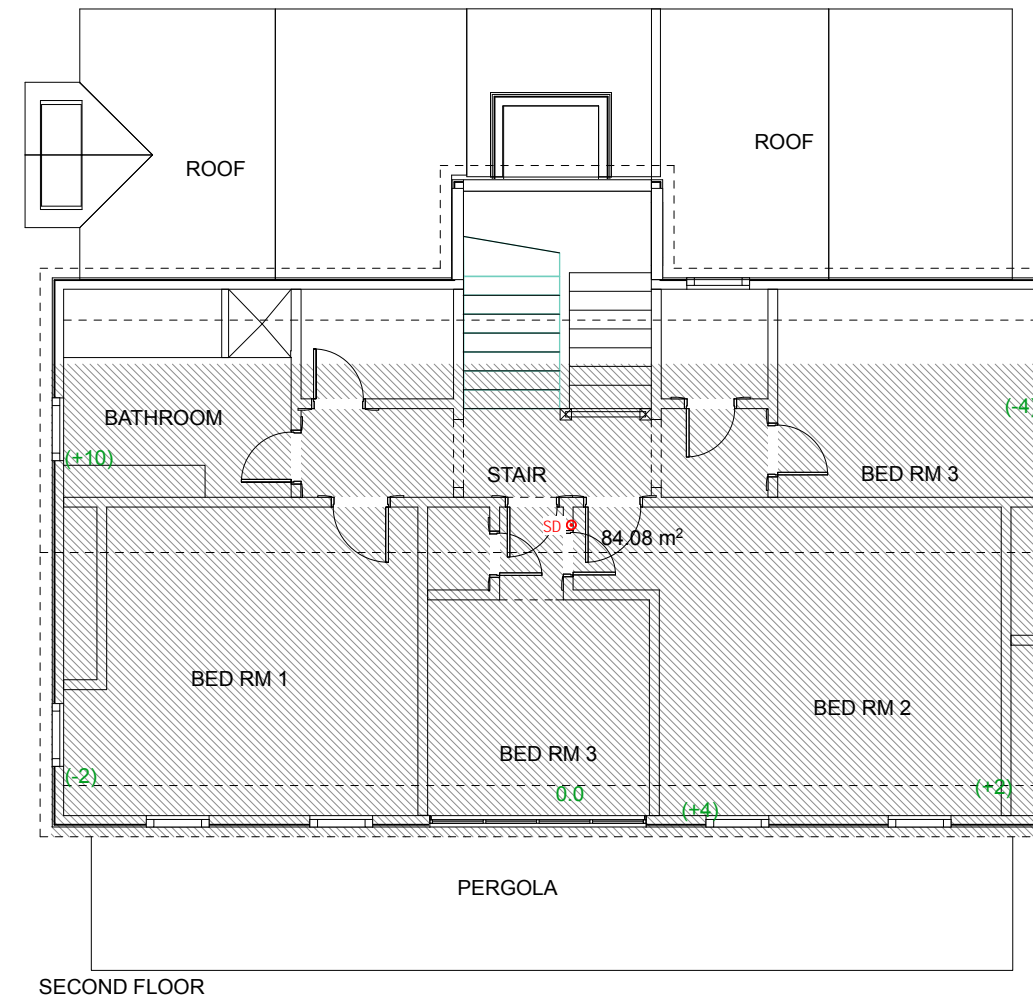
DATE: 8/02/2018

PROJECT No: R-7197

PROJECT STATUS:

DRAWN:DW CHECKED:

SHEET: A 2.02 REV: R0



**EXISTING FLOOR PLAN PROPOSED LEVELS & RE-LEVELLED AREA**  
SCALE: 1:100

Hatched area to be re-levelled using mechanical jacking, and with high mobility grout(HMG) to the levels shown in brackets to the datum shown





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**EXISTING FLOOR PLAN\_LIFTING PROPOSAL**

SCALE: 1:100@ A3

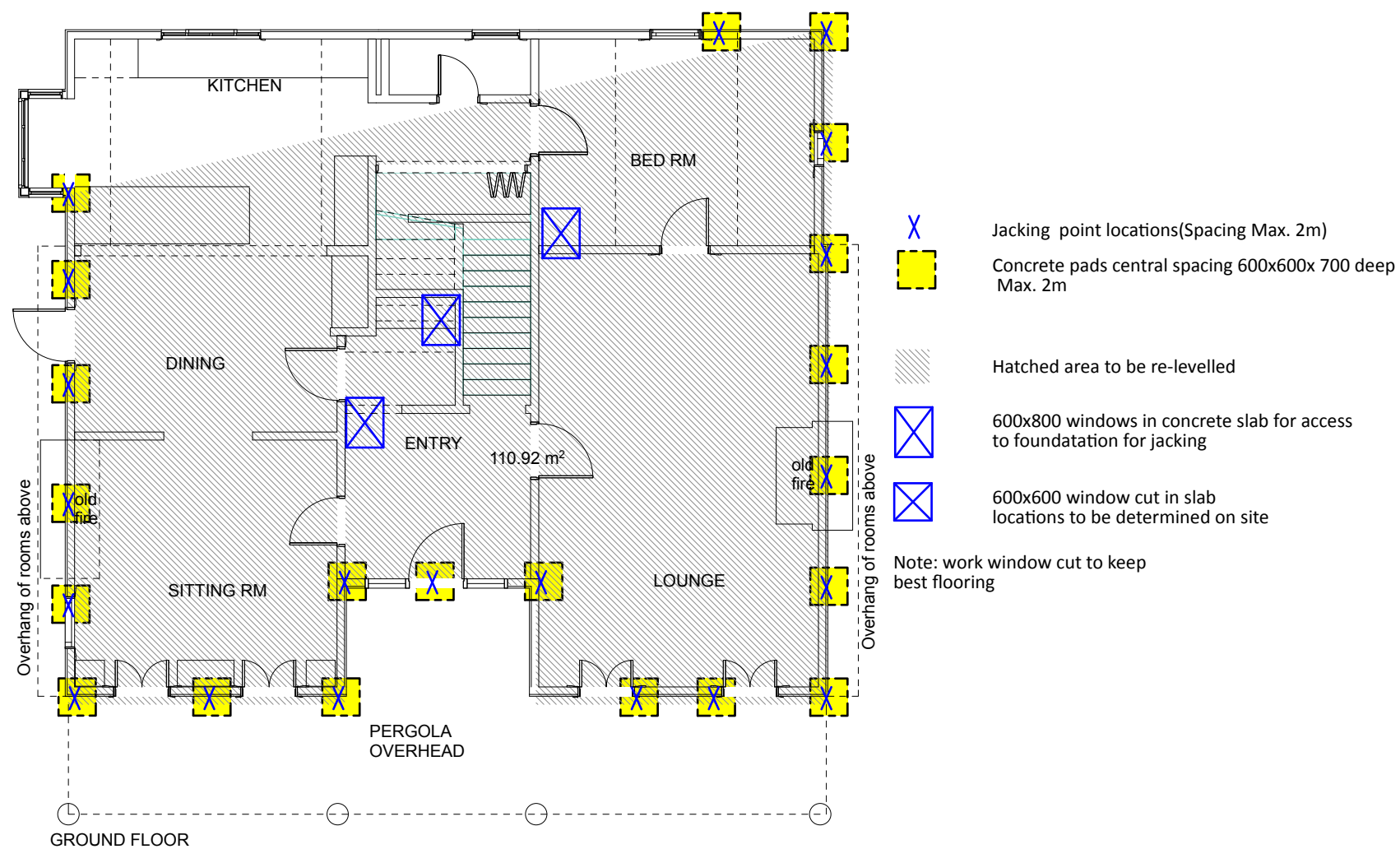
DATE: 8/02/2018

PROJECT No: R-7197

PROJECT STATUS:

DRAWN:DW CHECKED:

SHEET: A 2.03 REV: R0



**EXISTING FLOOR PLAN LIFTING PROPOSAL**  
SCALE: 1:100



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## CONSULTANTS

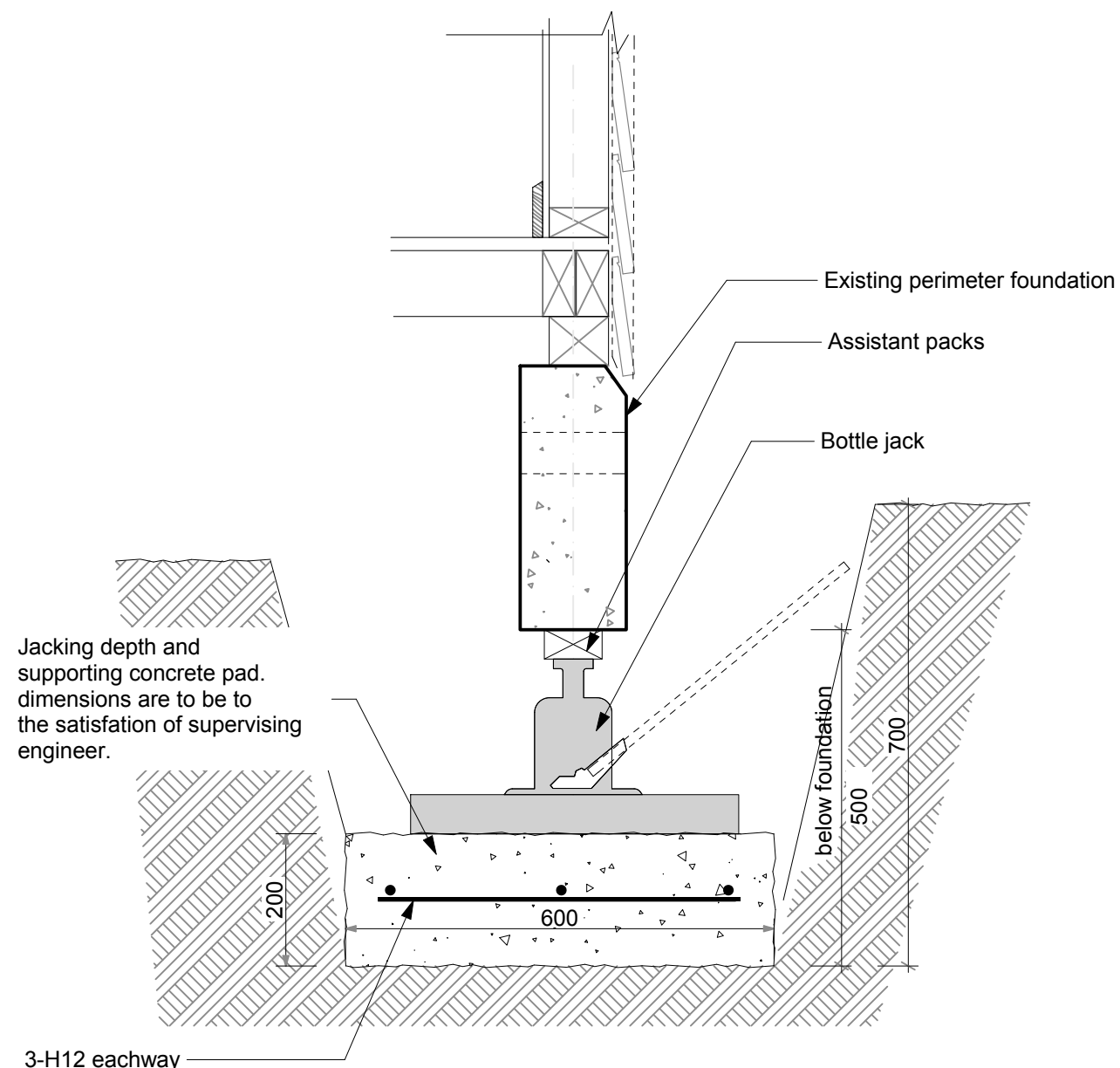
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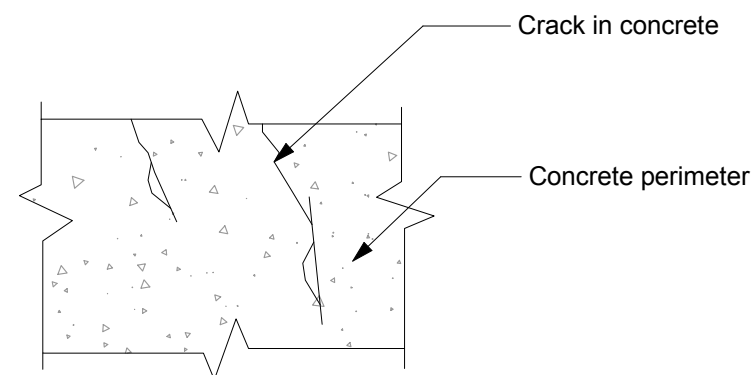


Jacking depth and supporting concrete pad. dimensions are to be to the satisfaction of supervising engineer.

**1 JACK DETAIL type B**  
2.03 Scale 1:10

### Notes:

1. Prep cracks to foundation/brick/blockwork as per manufactures specification and MBIE guidance.
2. Fill cracks as per manufactures specciation, as per specification guidance, allow for ample curing time before putting stress on the joint.
3. Finish surfaces accordingly and paint/render to reinstate perimeter foundation/brick/blockwork to original status.
4. Engineering/contractor to confirm crack repair has been completed, i.e.. the crack is filled (where accessible view from both sides to confirm). The finish is an acceptable standard and all cracks(where required, have been completed.
5. The repair work has been lodged with council Either as exemption work or fill consent), If review is completed by an engineer, this is generally part of a PS4 sign-off and the contractor provides a PS3



### Product Examples

Crak with, "W"	Epoxy grade	Product Specifications	
		Sika	MC-Bauchemie
Hairline to 0.2mm	None required	Seal external cracks with elastomeric paint to prevent moisture ingress. no treatment nessary for interior cracks	
0.2mm ≤ W ≤ 5mm	Low viscosity BS 6319, ASTM C881 Type 1	Sikadur-52	MC-DUR 1264 FF
0.5mm ≤ W ≤ 20mm	Epoxy resin adhesive mortar BS 6319, ASTM CS881 Type 1	Sikadur-31	MC-DUR 1264 KF
>20mm	N/A	N/A	N/A

Repair as per manufactures specifications, alterate products will require engineer approval

## DETAILS- LIFTING PROCESS

SCALE: 1:10@ A3

DATE: 8/02/2018

PROJECT No: R-7197

PROJECT STATUS:

DRAWN:DW CHECKED:

SHEET: A 5.01 REV: R0





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## SPECIFICATION 1

SCALE: @ A3

DATE: 8/02/2018

PROJECT No: R-7197

PROJECT STATUS:

DRAWN: DW CHECKED:

SHEET: A 7.01 REV: R0

[2011] AND ALL RELEVANT SECTIONS OF THE APPROVED NEW ZEALAND BUILDING CODES. FOR THE PURPOSES OF THIS APPLICATION IT IS ASSUMED THAT ALL ASPECTS OF THE EXISTING PROPERTY HAS BEEN BUILT TO THE APPROVED BUILDING CONSENT DOCUMENTATION APPROVED BY THE CHRISTCHURCH CITY COUNCIL. THE CONTRACTOR IS TO ADVISE THE CLIENT REPRESENTATIVE AND LOCAL AUTHORITY BUILDING INSPECTOR IMMEDIATELY OF ANY AREAS DEEMED TO BE OF SUB STANDARD QUALITY / WORKMANSHIP OR OF ANY ASPECTS OF WORK WHICH IS NOT IN ACCORDANCE WITH THE APPROVED DOCUMENTATION. THIS APPLICATION AND ALL ASSOCIATED DOCUMENTATION HAVE BEEN PRODUCED FOR THE SOLE PURPOSE OF OBTAINING A BUILDING CONSENT APPROVAL NOTICE ONLY AND IS NOT IN ANY FORM WHAT SO EVER INTENDED AS DOCUMENTATION FOR BUILDING WORKS ON SITE.

### STRUCTURE SPECIFICATION

#### PRELIMINARY AND GENERAL

##### SCOPE

THE CONTRACTOR IS EXPECTED TO BE FAMILIAR WITH THE SITE, THE NZ BUILDING CODE AND LOCAL BY-LAWS. THE CONDITIONS OF CONTRACT SHALL BE NZS 3910:2003 "CONDITIONS OF CONTRACT FOR BUILDING AND CIVIL ENGINEERING CONSTRUCTION."

##### CONSENTS & PERMITS

THE CONTRACTOR SHALL COMPLY WITH THE LABOUR AND BUILDING BY-LAWS OF THE TERRITORIAL AUTHORITY AND THE NZ BUILDING CODE.

##### INTERPRETATION

THERE IS NO WARRANTY EXPRESSED OR IMPLIED THAT EACH AND EVERY DETAIL OR ITEM REQUIRED TO BE INCLUDED IN THE CONTRACT HAS BEEN DESCRIBED BY THE PRINCIPAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SITE MEASUREMENTS AND FOR VERIFYING THESE BEFORE STARTING WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MAKING GOOD AT HIS OWN EXPENSE ANY ERRORS THAT OCCUR THROUGH HIS LACK OF CHECKING OR FAULTY WORKMANSHIP.

##### PROTECTION OF PROPERTY

THE CONTRACTOR SHALL PROTECT ADJOINING PROPERTIES DURING THE CONTRACT AND SHALL MAKE GOOD ALL DAMAGE AT HIS OWN EXPENSE. THE CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION BARRIERS TO PREVENT PUBLIC ACCESS TO THE CONSTRUCTION WORKS AND TO PROVIDE SAFETY FROM FALLING WHERE ANY PART OF THE WORKS, INCLUDING THE EXISTING STRUCTURES, IS HIGHER THAN 1 METRE ABOVE GROUND LEVEL.

##### DEFECTS LIABILITY PERIOD

THE DEFECTS LIABILITY PERIOD SHALL BE NINETY DAYS FROM THE ISSUE OF PRACTICAL COMPLETION. ANY DEFECTS IN THE WORKS, WHICH HAVE BEEN INCLUDED IN THE CONTRACT, SHALL BE ADJUSTED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

##### CLEANING

THE CONTRACTOR AT THE CONCLUSION OF THE CONTRACT, SHALL REMOVE ALL RUBBISH FROM HIS WORK INVOLVED IN THE CONTRACT, FROM THE SITE AND THE SURROUNDINGS SHALL BE LEFT IN A CLEAN AND TIDY CONDITION FOR USE BY THE PRINCIPAL.

##### LOCATION OF SITE SERVICE

THE LOCATION OF SITE SERVICES SHALL BE CONFIRMED BY THE CONTRACTOR WITH THE SERVICE PROVIDER, AND THE LOCATION SHALL BE MARKED OUT ON THE GROUND.

##### ACCESS FOR MACHINES

DETERMINE EASE OF ACCESS FOR MACHINES, FACILITIES AND ALL MATTERS INFLUENCING CONSTRUCTION, AND TAKE SUITABLE PRECAUTIONS TO AVOID ANY SERVICES.

##### GROUND CONDITIONS

FOUNDATION INVESTIGATIONS AND DRILLING HAVE BEEN CARRIED OUT. AS NO GUARANTEE IS IMPLIED THAT THE INFORMATION IS TRULY REPRESENTATIVE OR COMPLETE, MAKE SURE EXTRA INVESTIGATIONS AS CONSIDERED, IF NECESSARY.

##### PREPARATORY WORK

STEP	ACTIVITY
1.	OBTAIN GEOTECHNICAL REPORT FROM DESIGN ENGINEER, CONFIRM GROUND CONDITIONS SUITABLE FOR COMPACTION GROUTING.
2.	LOCATE SERVICES ENTRY POINTS TO HOUSE AND ALLOW FOR DISCONNECTION OR RELIEF OF THESE DURING THE FLOOR LIFTING OPERATION.
3.	DEMOLISHING ANCILLARY STRUCTURES MAY BE NECESSARY, THIS MAY INCLUDE STEPS AND TERRACES.

### ARCHITECTURE SPECIFICATION

#### PRELIMINARY AND GENERAL

ALL WORK SHALL COMPLY WITH THE NEW ZEALAND BUILDING ACT, THE NEW ZEALAND BUILDING CODE AND APPROVED DOCUMENTS, THE BUILDING CONSENT, NZS 3602:2003 AND NZS 3604:2011 (INCLUDING AMENDMENTS 1 AND 2). COMPLY WITH THE HEALTH AND SAFETY IN EMPLOYMENT ACT, 1992 AND REGULATIONS. CARRY OUT ALL WORK IN ACCORDANCE WITH DOCUMENTS. DEVIATIONS SHALL NOT BE PERMITTED WITHOUT PERMISSION FROM THE ARCHITECT. MATERIALS SHALL BE NEW, UNLESS SPECIFICALLY STATED OTHERWISE, AND SHALL BE OF PROPER QUALITY FOR THEIR RESPECTIVE USES. CARRY OUT ALL WORK IN STRICT ACCORDANCE WITH THE MANUFACTURERS' INSTRUCTIONS AND SPECIFICATIONS. EMPLOY ONLY QUALIFIED TRADES PEOPLE OR APPRENTICES UNDER CLOSE SUPERVISION. ENSURE ALL WORK IS COMPLETE AND LEAVE THE WORK AREA CLEAN AND TIDY. REMOVE ALL RUBBISH AND REDUNDANT FIXTURES AND FITTINGS FROM THE SITE. CONTRACTOR IS TO PROVIDE A STATEMENT OF COMPLETION.

#### SITE PREPARATION AND SETTING OUT

THE CONTRACTOR IS TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO ANY CONSTRUCTIONS WORKS AND / OR MANUFACTURE OF BUILDING ELEMENTS. CONTRACTOR IS TO ADVISE ON MATERIALS DEEMED HAZARDOUS.

#### PROVIDE SEDIMENT AND SILT RUN OFF PROTECTION

WHERE REQUIRED PROVIDE APPROPRIATE MEASURES TO PREVENT OR MINIMIZE SEDIMENT GENERATION AND SILT RUN OFF. COMPLY WITH TERRITORIAL AND OTHER AUTHORITY REQUIREMENTS RELATING TO CARRYING OUT EARTHWORKS.

#### CARPENTRY

ALL TIMBERS AND TIMBER WORK SHALL COMPLY WITH THE NZ BUILDING CODE COMPLIANCE DOCUMENTS AND ACCEPTABLE SOLUTIONS IN PARTICULAR B1/AS1-STRUCTURE; GENERAL, B2/AS1- DURABILITY, D1/AS1- ACCESS ROUTES, E1/AS1- SURFACE WATER, E2/AS1- EXTERNAL MOISTURE, E3/AS1- INTERNAL MOISTURE, F2/AS1-HAZARDOUS BUILDING MATERIALS, F5/AS1- CONSTRUCTION AND DEMOLITION HAZARDS, F7/AS1- WARNING SYSTEMS, H1/AS1- ENERGY AND EFFICIENCY, NZS 3602:2003 TIMBER AND WOOD-BASED PRODUCTS FOR USE IN BUILDING.

#### PLUMBING AND DRAINAGE

ALL PLUMBING WORK TO BE IN ACCORDANCE WITH THE NEW ZEALAND BUILDING CODE AND APPROVED DOCUMENTS IN PARTICULAR B2/AS1, VM1, E1/AS1, VM1, G12/AS1, VM1, G13/AS1, AS2, VM1, VM2 AND ANY LOCAL AUTHORITY BY-LAWS. GIVE ALL NOTICES AND ARRANGE FOR THE INSPECTION OF THE WORKS AND MATERIALS. THE WORK IS TO BE CARRIED OUT BY LICENCED AND REGISTERED PLUMBERS USING ADEQUATE AND PROPER EQUIPMENT AND METHODS IN ACCORDANCE WITH BEST TRADE PRACTICE. ALLOW TO DISCONNECT AND RECONNECT FITTINGS AS NECESSARY FOR EARTHQUAKE REPAIRS.

#### ELECTRICAL

THE ELECTRICAL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE NEW ZEALAND BUILDING CODE AND APPROVED DOCUMENTS G9/AS1, VM1 AND THE ELECTRICAL SAFETY REGULATIONS 1993. ALL WIRING SHALL BE CONCEALED. THE ELECTRICIAN SHALL ARRANGE ALL INSPECTIONS AND ISSUE A COMPLIANCE CERTIFICATE AT THE COMPLETION OF THE CONTRACT. ALLOW TO ISOLATE POWER AS NECESSARY FOR EARTHQUAKE REPAIRS AND ALLOW TO UPGRADE IF/AS NECESSARY TO COMPLETE THE ABOVE AND ACHIEVE COMPLIANCE WITH THE BUILDING CODE. CO-ORDINATE WITH THE BUILDER BEFORE ANY REQUIRED UPGRADES.

#### SERVICES IN GENERAL

ALL SUB CONTRACTORS (PLUMBERS, ELECTRICIANS ETC) ARE TO PROVIDE THE MAIN CONTRACTOR A FULL SET OF 'AS BUILT' DRAWINGS ON COMPLETION OF WORKS. MAIN CONTRACTOR TO PROVIDE ALL NECESSARY DOCUMENTATION TO OBTAIN THE CODE OF COMPLIANCE CERTIFICATE FROM THE LOCAL AUTHORITY AND MAKE COPIES AVAILABLE TO THE CLIENT.

#### SMOKE ALARMS

SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH NEW ZEALAND BUILDING CODE ACCEPTABLE SOLUTION F7/AS1 SECTION 3:

THE SMOKE ALARMS MAY BE BATTERY POWERED AND ARE NOT REQUIRED TO BE INTERCONNECTED. THEY SHALL PROVIDE A HUSH FACILITY BUTTON WHICH SILENCES THE ALARM FOR 60 SECONDS MINIMUM (THIS ALLOWS THE CAUSE OF A NUISANCE ALARM TO BE CLEARED WITHOUT REMOVING THE BATTERY TO SILENCE THE SMOKE ALARM), AND SHALL HAVE AN ALARM TEST FACILITY READILY ACCESSIBLE BY BUILDING OCCUPANT.

SMOKE ALARMS SHALL BE LISTED OR APPROVED BY A RECOGNIZED NATIONAL AUTHORITY AS COMPLYING WITH AT LEAST ONE OF ; UL 217, CAN/ULC S531, AS 3786. BS 5446: PART 1.

LOCATION OF SMOKE ALARMS SHALL BE: ON THE ESCAPE ROUTES ON ALL LEVELS WITHIN THE HOUSEHOLD UNIT. ON LEVELS CONTAINING SLEEPING SPACES. THE SMOKE ALARMS SHALL BE LOCATED EITHER: IN EVERY SLEEPING SPACE OR WITHIN 3 METRES OF EVERY SLEEPING SPACE DOOR. IN THIS CASE, THE SMOKE ALARMS MUST BE AUDIBLE TO SLEEPING OCCUPANTS ON THE OTHER SIDE OF CLOSED DOORS.

ADDITIONAL SMOKE ALARMS MUST LOCATED IN EACH SPACE THAT MUST BE PASSED THROUGH TO GET TO A SAFE LOCATION (OUTSIDE).

INSTALLATION OF SMOKE ALARMS SHALL BE: ON OR NEAR THE CEILING IN ACCORDANCE WITH AS 1670.6 AND THE MANUFACTURERS INSTRUCTIONS.

#### GENERAL

ALL THE ABOVE WORKS ARE TO BE CARRIED OUT TO NZS 3604:2011 (INCLUDING AMENDMENTS PART 1 AND 2). ALL WORKS ARE TO MEET THE REQUIREMENTS OF THE LOCAL AUTHORITY BUILDING INSPECTOR. ALL WORKS ARE TO BE IN STRICT ACCORDANCE WITH DESIGNS AND DETAILS OF A SUITABLY QUALIFIED STRUCTURAL ENGINEER.

#### BUILDING CONSENT APPLICATION

THE CONTRACTOR IS TO ENSURE THAT ANY / ALL WORKS ON SITE ARE CARRIED OUT IN STRICT ACCORDANCE WITH NZS 3604:

LEVELLING

STEP	ACTIVITY
1.	TAKE UP ALL FLOOR COVERINGS IN THE AREAS WHERE THE FLOOR IS TO BE RE-LEVELLED (LIFTED).
2.	ENSURE THE SERVICES CAN ACCOMMODATE THE LIFT HEIGHTS BE EXPOSING (IF POSSIBLE) AND ALLOWING THEM TO LIFT WITH THE WALL OR DETACH THESE BEFORE THE LIFT BEGINS.
3.	CLEAR THE PERIMETER OF THE FOUNDATION. AT A SPACING OF 2m MAXIMUM AROUND THE PERIMETER, EXCAVATE ACCESS PITS BENEATH THE FOUNDATION TO A SUITABLE BEARING LAYER. I INSTALL CONCRETE PADS OR DUNNAGE TO ENGINEERS SPECIFICATIONS AND JACKS. CUT INTERNAL WINDOWS ON LOADBEARING WALLS FOR JACKING AS WELL. THIS IS TO BE RECORDED AND INSPECTED BY ENGINEER & LBP. IT IS PREFERABLE TO HAVE A NUMBER OF JACKS AVAILABLE TO ALLOW THE ENTIRE FOUNDATION WALL TO BE LIFTED SEQUENTIALLY BY INCREMENTS OF 3mm MAXIMUM. MAKE SURE NO DIFFERENTIAL DISPLACEMENT IS CREATED THROUGHOUT THIS PROCESS THAT EXCEEDS A SLOPE OF 1:200 ALTERNATIVELY.
4.	START BY LIFTING THE RING FOUNDATION AND INTERNAL WINDOW POINTS UNTIL THE DESIRED LEVELS HAVE BEEN ACHIEVED AND CONFIRMED WITH ENGINEER. FILL THE SPACE BETWEEN THE UNDERSIDE OF THE FOUNDATION AND THE GROUND BETWEEN THE JACK PITS WITH GROUT TO SUPPORT THE BUILDING, INTERNAL WINDOWS IN SLAB BRING CONCRETE JUST BELOW THE EXISTING SLAB CAREFUL PILLING BACK THE EXISTING DPC. INSTALL PATCHED DPC AND STEEL WORK AS PER STICH REPAIR DETAILS. THIS IS TO BE INSPECTED BY ENGINEER. RE-POUR SLAB WINDOWS TO LEVEL WITH EXISTING CONCRETE AND GRIND TO SMOOTH ONCE CURED, APPROX. 7DAYS.
5.	FILL THE VOID UNDER THE RING FOUNDATION WITH CONCRETE AND REINSTATE HARD FILL.
6.	RECONNECT ANY SERVICES THAT HAD BEEN DISCONNECTED BEFORE THE LIFT.
7.	REINSTATE THE ADJACENT GROUND TO THE APPROPRIATE LEVEL SUITABLE TO THE CLADDING . SEE PAGE A7.03
8.	RELAY THE FLOOR COVERINGS.

**NUPLEX FLOOR LEVELLING AND REPAIR  
(FROM NUPLEX DATA SHEET MARCH 2007)**

ADVANTAGES: WILL BOND TO MANY FLOOR CONTAMINANTS EG OLD ADHESIVE, CONCRETE SCRAP EASY TO MIX AND LAY & SELF PRIMING ON MOST SURFACES OTHER METHODS MAY INCLUDE USING SELF-LEVELLING SCREEDS (EG NUPLEX SUPERFLO) BUT THESE REQUIRE A GREATER DEGREE OF EXPERIENCE AND MORE CARE MUST BE TAKEN WITH SUPERVISION, PRE-SUBSTRATE INSPECTION AND LAYING TECHNIQUES.

**METHOD**

**1. PREPARATION**

INSPECT THE CONCRETE FLOOR AND REMOVE LARGE LUMPS AND/OR FILL LARGE HOLES. REMOVE ANY LOOSE MATERIAL. IF WATERPROOFING IS REQUIRED, APPLY THIS NOW. USE AQUAGUARD 101 EPOXY COATING.

**2. APPLY DURABOND FLC SYSTEM(S):**

A. FLC POWDER FOR STANDARD SMOOTHING (MAY REQUIRE ULTRAFINISH TO COMPLETE)

B. USE DURABOND SUPERFINE FOR NORMAL SMOOTHING WORK

C. USE FLC SCREEN 20 FOR FILLS 20 TO 30mm (FURTHER RE-FINISH WITH COATS OF DURABOND SUPERFINE FLC) USING DURABOND SUPERFINE, MIX ONE 24KG BAG WITH 4LTS OF FLC EMULSION WITH A POWDER DRILL. FOLLOW THE FULL DIRECTIONS ON THE DATA SHEET AND APPLY TO THE PREPARED FLOOR BY 18" TROWEL. ALLOW TO CURE, USUALLY OVERNIGHT.

**3. FINISHING**

NEXT DAY, SAND THE FLOOR USING A SANDIVAC MACHINE (IF NECESSARY) TO REMOVE TROWEL MARKS. THIS STEP IS NEEDED DEPENDING ON THE TROWEL APPLICATION OF THE DURABOND. THIS IS THE KEY ITEM IN THE USEFULNESS OF THE SYSTEM. IT ENABLES MANY USERS TO LAY A GOOD FLOOR UNDERLAYMENT. THE LEVEL OF FLOOR FLATNESS ALSO DEPENDS ON WHETHER TILES, VINYL TILES, VINYL OR CARPET BEING LAID. THE SADVAC MACHINE, USING P20 405mm SANDING DISCS WILL GIVE A VINYL READY SURFACE. THE MACHINE ALSO SELF-EXTRACTS DUST. IF ABSOLUTELY CRITICAL, THE FINAL FLOOR CAN BE TOUCHED UP USING ULTRAFINISH SMOOTHING PASTE. THE FLOOR IS NOW READY FOR VINYL LAYING AND WILL ACCEPT ADHESIVES SUCH AS DURACRYL ACRYLIC VINYL FLOORING ADHESIVE

**4. CONTACT**

PH: 0508-882288

EMAIL: NSCALES@NUPLEX.CO.NZ



**EARTHQUAKE REPAIRS**

74 Heaton Street, Stowan,  
Christchurch 8052

**CONSULTANTS**

**ISSUES**

**BUILDING CONSENT EXEMPTION**

**NOTES**

REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND SETTING OUT CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION

Revision		Revision Date
R.0	BUILDING CONSENT EXEMPTION	8/02/2018

**SPECIFICATION 2**

SCALE: @ A3

DATE: 8/02/2018

PROJECT No: R-7197

PROJECT STATUS:

DRAWN: DW CHECKED:

SHEET: A 7.02 REV: R0





## EARTHQUAKE REPAIRS

74 Heaton Street, Stowan,  
Christchurch 8052

### CONSULTANTS

### ISSUES

## BUILDING CONSENT EXEMPTION

### NOTES

REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND SETTING OUT CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION

Revision	Amendment	Revision Date
R0	BUILDING CONSENT EXEMPTION	8/02/2018

	PRODUCT	BRIEF DESCRIPTION	THICKNESS	CURE TIME (APPROX ONLY)	STRENGTH	MIXED VOL
T	FLC & DURABOND SUPERFINE	TROWEL APPLIED, 2 PART LATEX/CEMENT BASED. GENERAL PURPOSE FLOOR LEVELLING COMPOUND, INTERIOR/EXTERIOR. COVERAGE RATE: 5.5m <sup>2</sup> @3mm (24KG FLC POWDER + 4 LITRES FLC LIQUID)	0.5 - 5mm*	12-24 HOURS DRY 24 HOURS OVERLAY	30Mpa	16ft
WVR	HARDFAST	TROWEL APPLIED, VERY QUICK SETTING, PATCHING COMPOUND. RECOMMENDED FOR SMALL AREAS ONLY. COVERAGE RATE: 3.8m <sup>2</sup> @3mm (13KG HARDFAST POWDER + 4 LITRES WATER OR FLC LIQUID)	0 - 5mm*	20 MINUTES DRY 45 MINUTES OVERLAY	N/A	18ft
T	MATRIX	TROWEL APPLIED, 2 PART LATEX/ CEMENT BASED GENERAL PURPOSE FLOOR LEVELLING COMPOUND. COVERAGE RATE: 12.5m <sup>2</sup> @2mm (25KG MATRIX POWDER + 5 LITRES MATRIX LIQUID)	0 - 3mm*	12-24 HOURS DRY 24 -48 HOURS OVERLAY	28Mpa	17ft
T	SCREED 20	TROWEL APPLIED, 2 PART LATEX/ CEMENT BASED FLOOR REPAIR FINISHING COMPOUND DESIGNED TO FILL GREATER DEPTHS THAN STANDARD FLC. COVERAGE RATE: 0.7m <sup>2</sup> @ 20mm (25KG SCREED POWDER + 4 LITRES FLC LIQUID)	4 - 20mm*	24-48 HOURS DRY 2-7 DAYS OVERLAY	28Mpa	15ft
WF	ULTRAFINISH	ULTRA FINE, WATER MIXED SMOOTHER. CAN BE FINE FINISHED TO A FEATHERED EDGE. SUITABLE FOR LEVELLING OVER OLD LINO OR EMBOSSED VINYL. COVERAGE RATE: APPROX 50m <sup>2</sup> / 5KG PAIL	0 - 1mm*	1 HOUR DRY 2 HOURS OVERLAY	N/A	18ft
WSL	SUPERFLO	TROWEL OR PUMP GRADE, CEMENT BASED, SELF LEVELLING, SELF SMOOTHING FLOOR FINISHED COMPOUND. EASY NOTCHED TOWEL APPLICATION. COVERAGE RATE: 4.5m <sup>2</sup> @ 3mm (20KG SUPERFLO POWDER + 4.8 LITRES WATER)	0.5 - 20mm*	2-4 HOURS DRY 12-24 HOURS OVERLAY	30Mpa	15ft
WR	SUPERSET	VERY RAPID SET MORTAR AND LEVELLING COMPOUND (20KG BAG + 3.5 LITRES WATER)	0 - 50mm*	5-10 MINUTES POT LIFE 1-2 HOUR OVERLAY	28Mpa	15ft
W	UNIFLOOR	ECONOMY, WATER ONLY MIX 20KG BAG + 4.5 LITRES WATER	0 - 50mm*	45 MINUTE MIX LIFE DRIES: 4-24 HRS DEPENDING ON THICKNESS	24Mpa	15ft

CODE:  
 T: TWO PART / MIXED WITH RESIN EMULSION    WSL: WATER MIX, SELF LEVELLING    WR: WATER MIXED, RAPID SET  
 WVR: WATER MIXED, VERY RAPID    WF: WATER MIX, FINISHING COMPOUND    W: WATER MIX

## SPECIFICATION 3

SCALE: @ A3

DATE: 8/02/2018

PROJECT No: R-7197

PROJECT STATUS:

DRAWN: DW    CHECKED:

SHEET: A 7.03    REV: R0



**EARTHQUAKE REPAIRS**

74 Heaton Street, Stowan,  
Christchurch 8052

**CONSULTANTS**

**ISSUES**

**BUILDING CONSENT EXEMPTION**

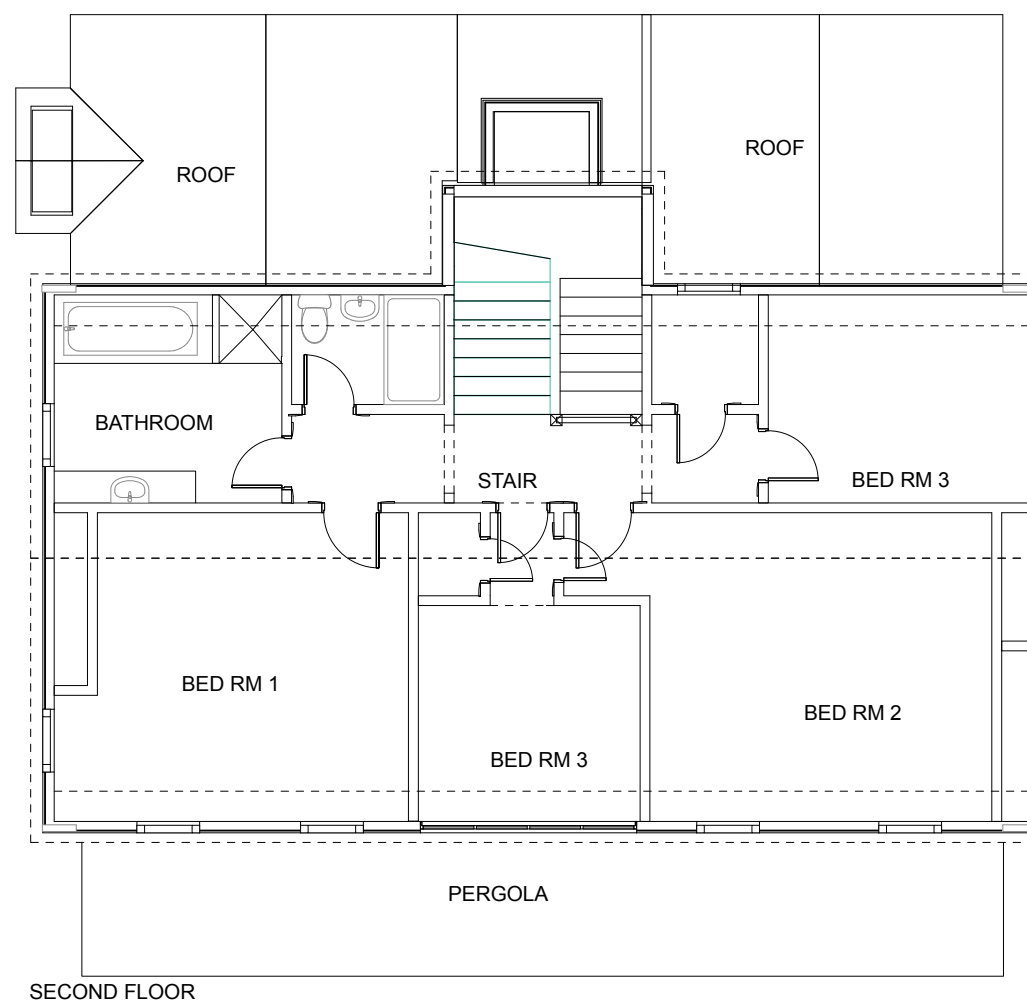
**NOTES**

REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND SETTING OUT  
CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION

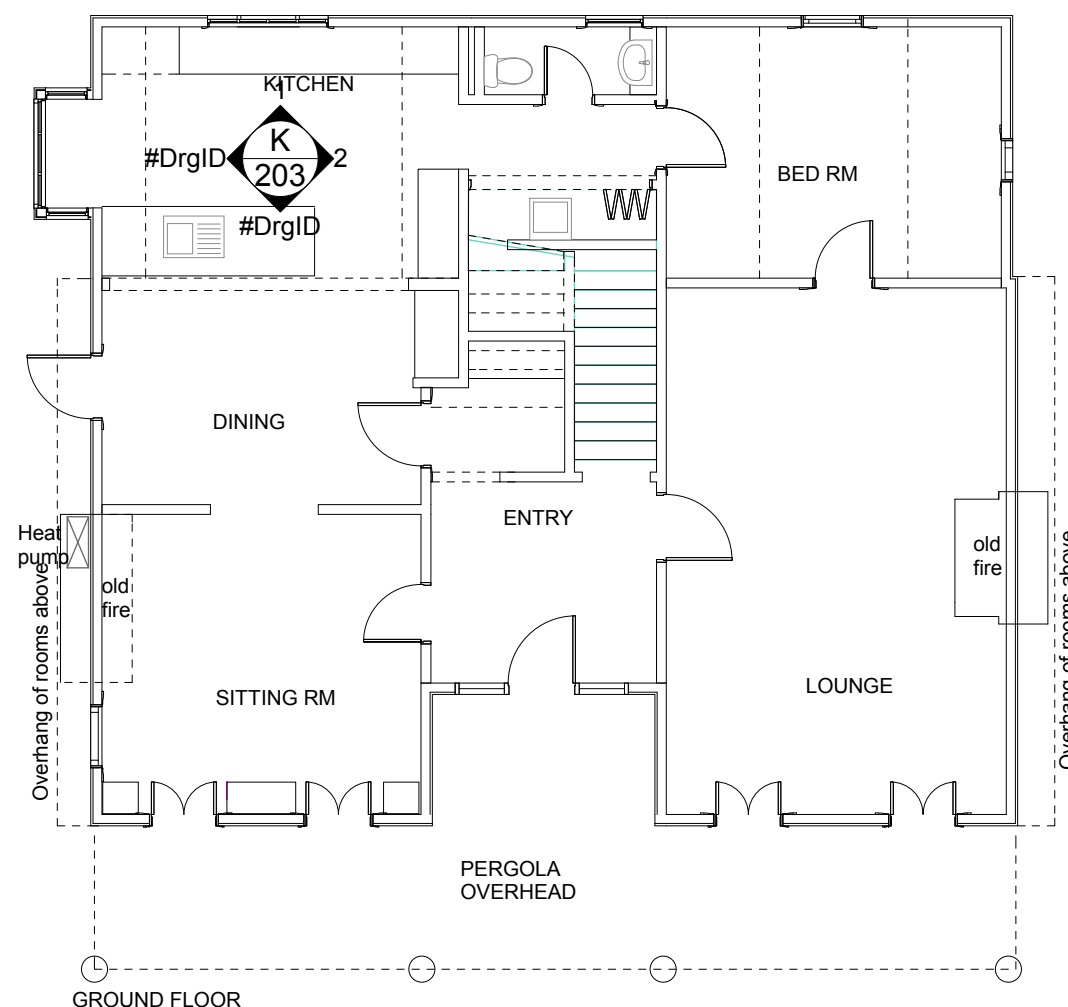
Revision		Revision Date
R.0	BUILDING CONSENT EXEMPTION	8/02/2018

**NOTE:**

- These drawings are to be read in conjunction with the Engineers evaluation, scoping reports and any relevant photos and attachments.
- Contractor to verify extent of repairs, if greater than shown contact the designer ( Deborah Wilson Core Civil Solutions Ltd. -0274143000).
- Final levelling of floor slopes may vary and should be verified if substantially different from the target levels. Levelling to be carried out by an experienced contractor to ensure the dwelling is relevelled professionally. Contractor needs to ensure that no subsequent damage occurs whilst releveling, notify the design engineer should any damage arise.
- No part of the floor shall have a finished floor level variation greater than 1:200 (0.5%)
- Carpet , vinyl, tile floor coverings to be removed before releveling commences
- Patios/Decks/Paths/Concrete steps//Driveway may need removed to level house, to be reinstated there after. This is to be discussed and confirmed before work commence.



SECOND FLOOR



GROUND FLOOR

**EXISTING FLOOR PLANS AS BUILT LEVELS**

± 1 As Built Levels

**EXISTING FLOOR PLANS AS BUILT LEVELS**

SCALE: 1:100@ A3

DATE: 8/02/2018

PROJECT No: R-7197

PROJECT STATUS:

DRAWN:DW CHECKED:

SHEET: 1 REV: R0

**AS BUILT LEVELS:**

**Site manager**

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

**Project manager**

Name: \_\_\_\_\_

Signature: \_\_\_\_\_

**Date of level taken:** \_\_\_\_\_