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Drawings for Building Consent Application



Existing Situation

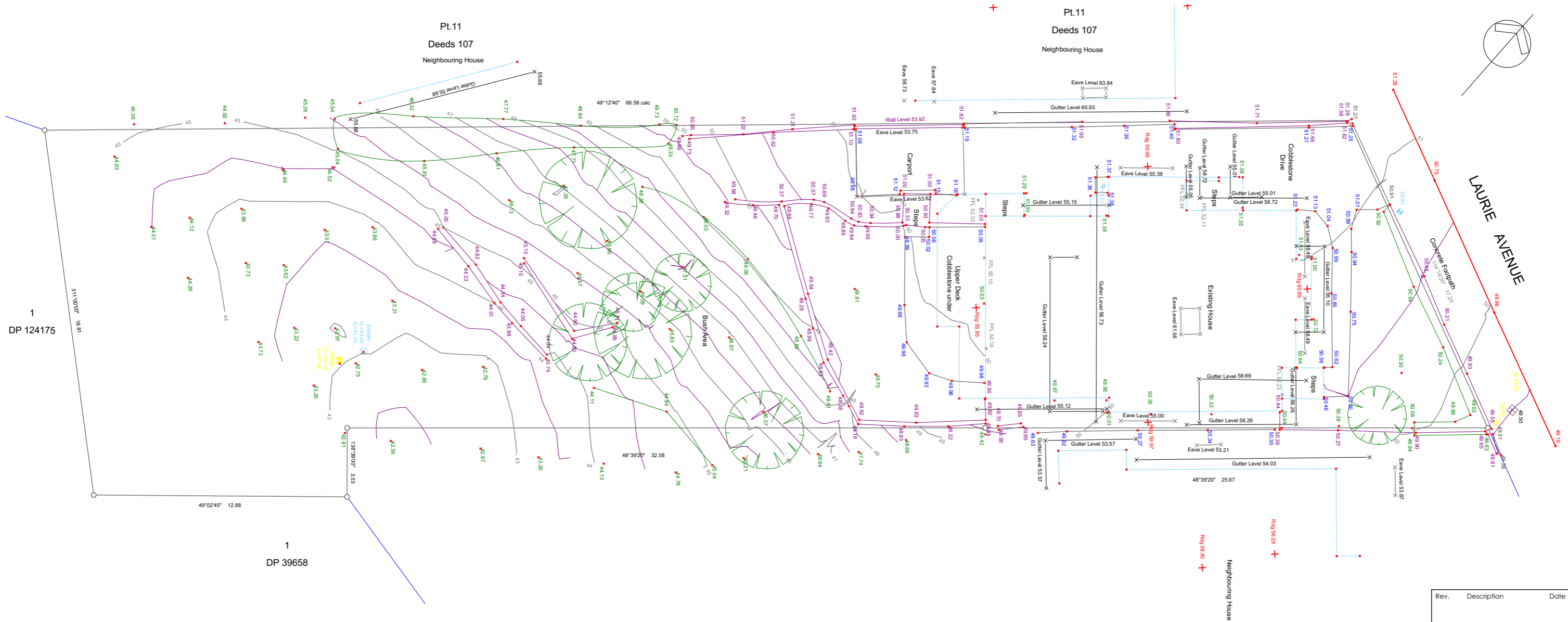

 01 MAY 2019
 BCO10282383
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BUILDING CONSENT PLANS

Rev.	Description	Date
BESPOKE nz ltd.		
Suite 4, 26 Victoria Road, Devonport, Auckland P.O. BOX 32-167 Devonport Auckland 0744 Tel - 09 445 7095		
Job Title <p style="text-align: center;">S Jayaraman & J Davidson</p> Residential Alterations & Additions 13 Laurie Avenue, Parnell, Auckland 1052		
Existing Street View		
Drawn: DPA		Design: Bespoke
Job No: 1254		Date: 23/01/2019
Project Status: <p style="text-align: center;">Building Consent</p>		
Scale : NTS		Rev. - A001
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Job Title S Jayaraman & J Davidson Residential Alterations & Additions 13 Laurie Avenue, Parnell, Auckland 1052		
Proposed Street View		
Drawn: DPA	Design: Bespoke	
Job No: 1254	Date: 23/01/2019	
Project Status: Building Consent		
Scale : NTS	Rev. - A002	
<small>All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.</small>		

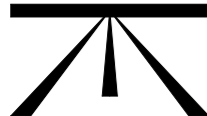


1
DP 124175

1
DP 39658

1
DP 365045

A.I.BATES & ASSOCIATES REF: 217288



Registered Surveyors
Unit 5B, 10 Canaveral Drive, Albany
PO Box 302 532, North Harbour,
Auckland 0751
Ph 09 415 8424 Fax 09 415 8425.

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Levels are in terms of LINZ Datum
Origin 1629 SO 48202
RL 43.770

Comprised in CT - NA532/274
Total Area = 1131m²

Site Information

13 Laurie Avenue, Parnell, Auckland
Legal description
Lot 12, Deeds S107
Area = 1,131m²

NZS 3604 classifications

Earthquake = Zone 1
Corrosion = Zone D
Climate = Zone 1
Wind = Low (Geomaps)

Planning Zone = Residential - Single House Zone - H3

Overlays = Built Heritage & Character Area - D18
Residential and Business (Ithmus B)

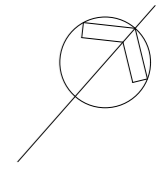
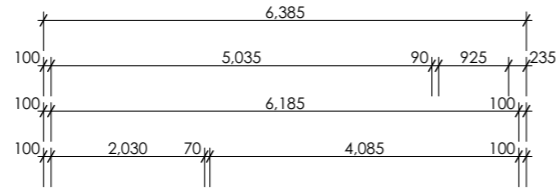
Max height = 8m
HIRB = 3m & 45 degrees
Rear Yard = 3.0m
Side yard = 1.2m
Front Yard = Street average
Paved Area = 25% max
Coverage = 25% max
Landscaped = 50% minimum

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13 Laurie Avenue, Parnell, Auckland 1052		
Existing Site Survey		
Drawn: DPA	Design: Bespoke	
Job No: 1254	Date: 23/01/2019	
Project Status:		
Building Consent		
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1:200 @A3		
All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.		



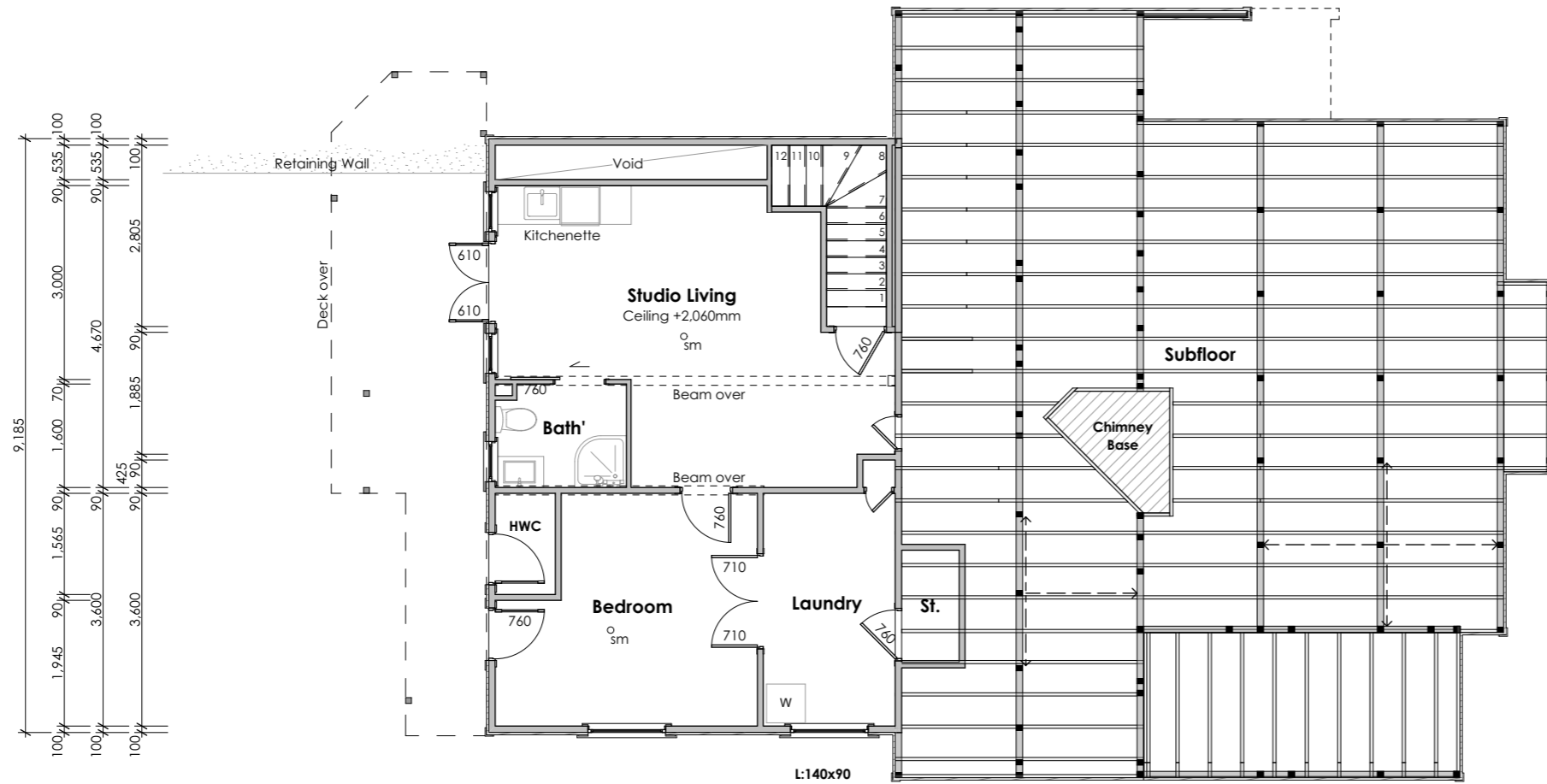
Survey by AI Bates & Associates. Refer to supporting documents for original. Survey DWG import pen weights, colours, text size/orientation may vary

Confirm all dimensions on site
Dimensions shown are to framing (no linings)



Note: Subfloor layout is based on drawings by others and should be considered indicative. Check on site.

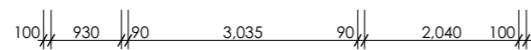
Existing smoke alarm ϕ_{sm}



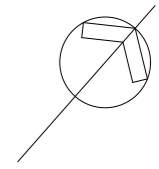
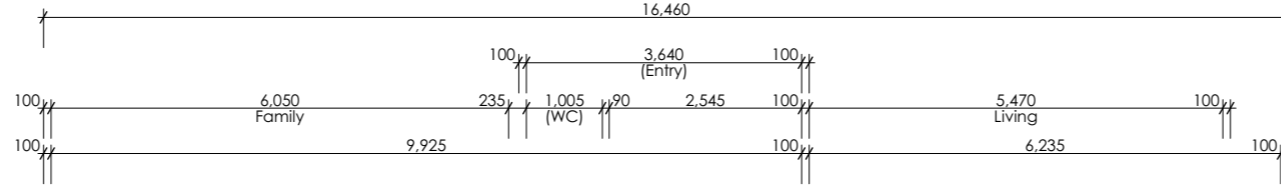
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Job Title		
S Jayaraman & J Davidson		
Residential Alterations & Additions		
13 Laurie Avenue, Parnell, Auckland 1052		
Existing Basement Plan		
Drawn: DPA	Design: Bespoke	
Job No: 1254	Date: 23/01/2019	
Project Status:		
Building Consent		
1:50 @A1	Rev. - A102	
Scale: 1:100 @A3		
All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.		

Basement Floor Area = 60.52m²
(Area measured from outside of framing)

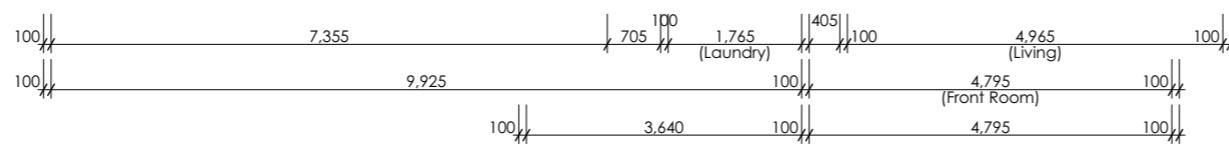
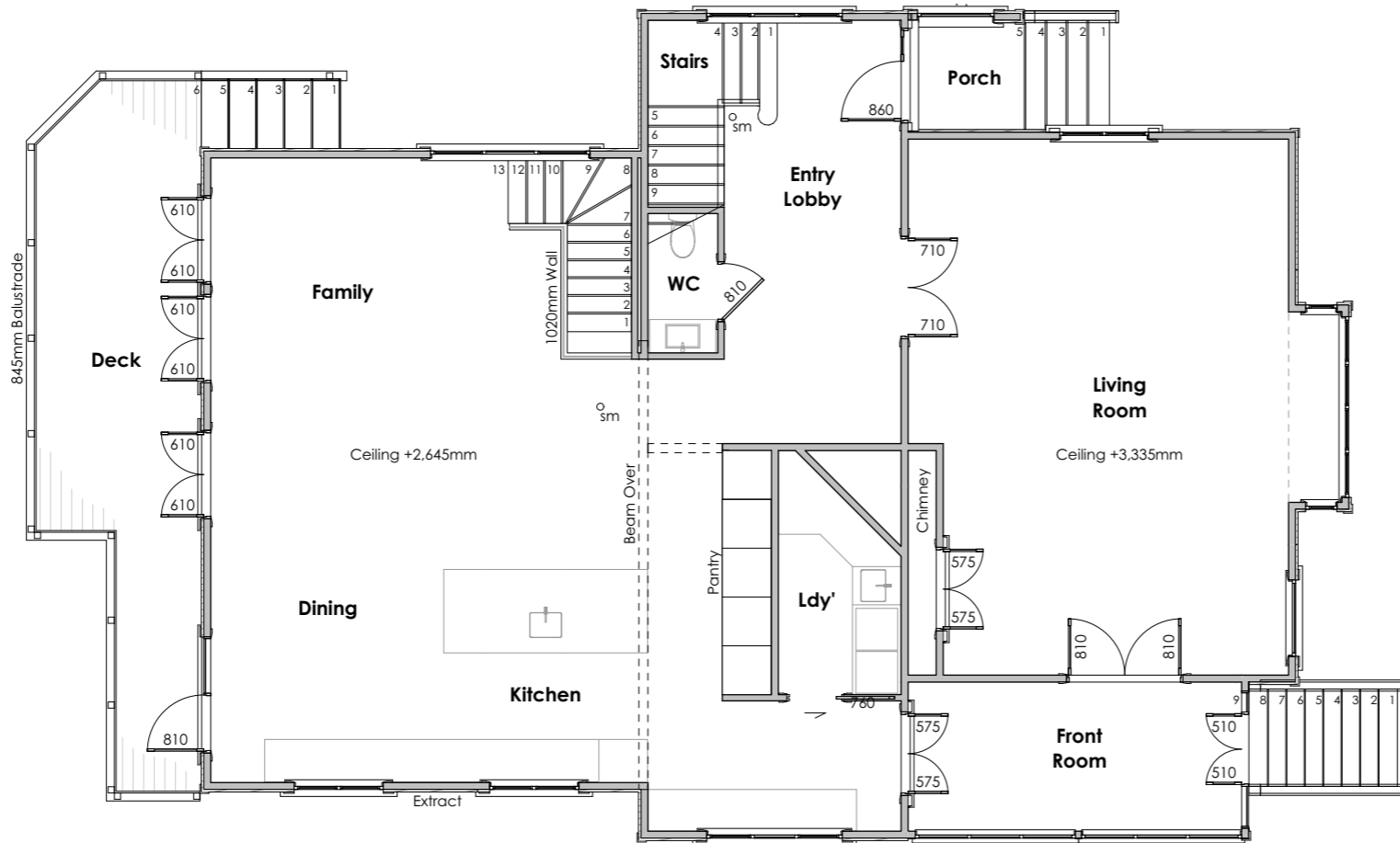
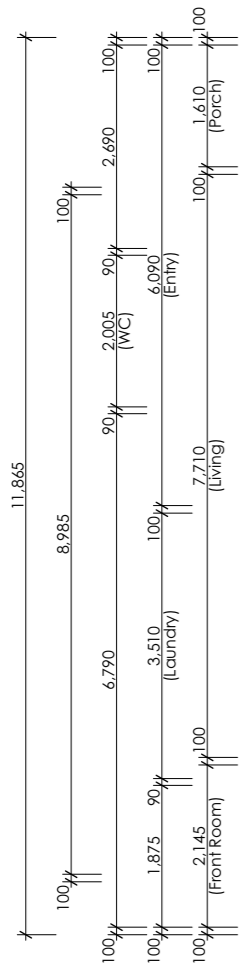
Finished Floor Level (FFL) = 50,100mm RL



Confirm all dimensions on site
Dimensions shown are to framing (no linings)



Existing smoke alarm ^osm

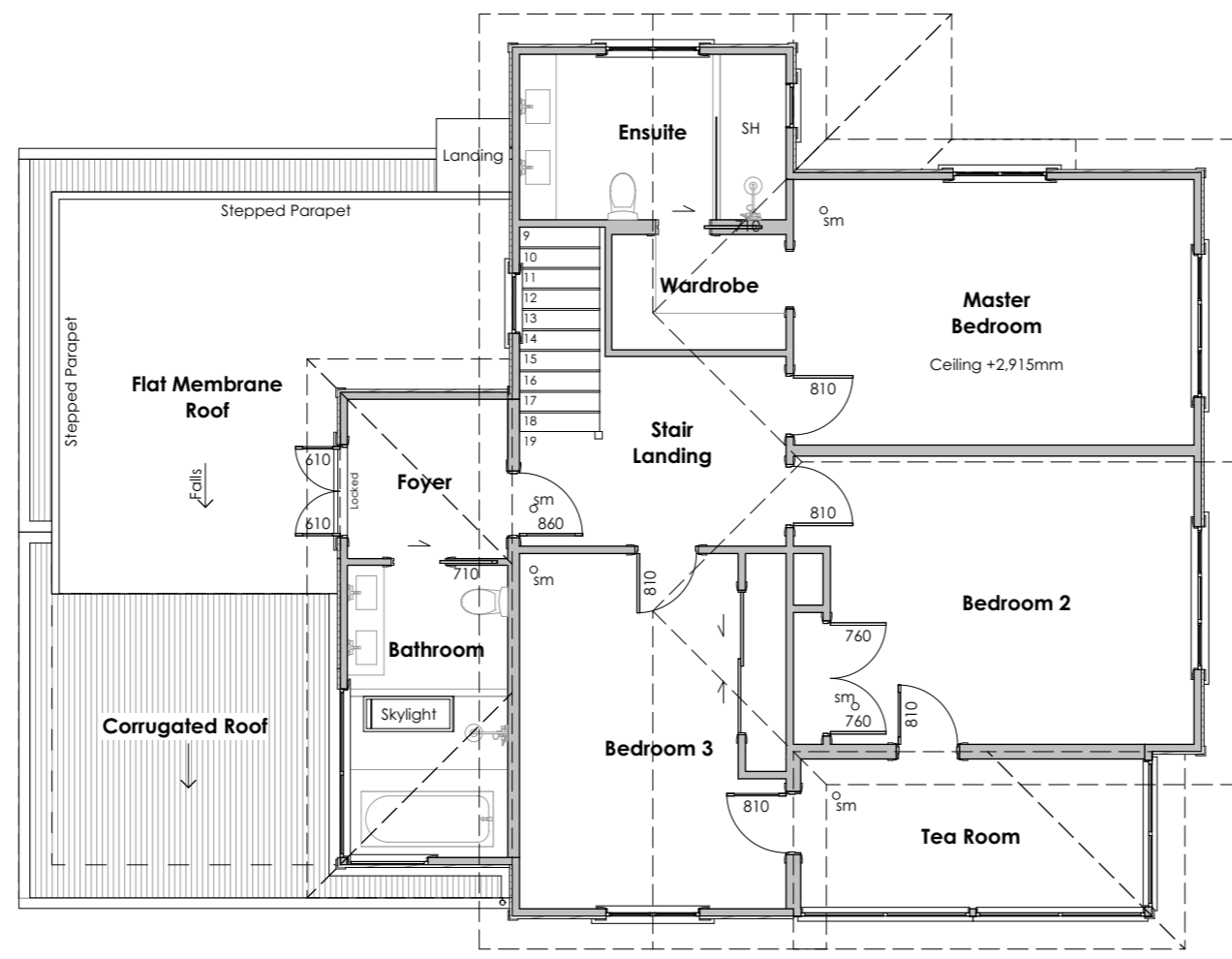
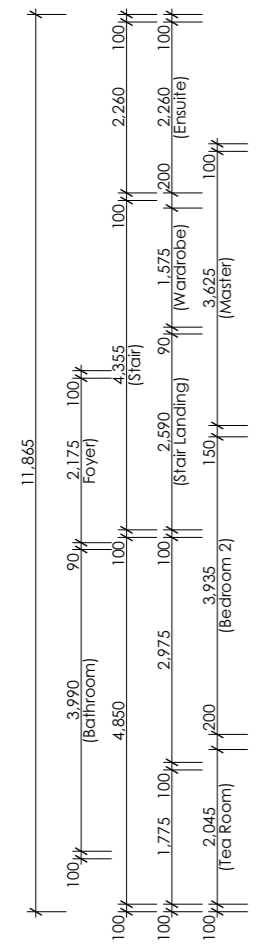
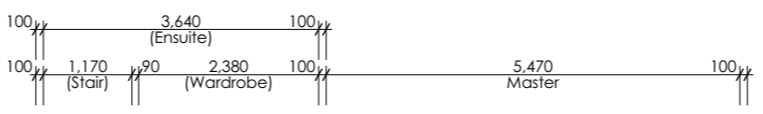
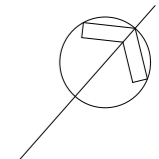


Ground Floor Area = 156.49m²
(Area measured from outside of framing)

Finished Floor Level (FFL) = 52,340mm RL



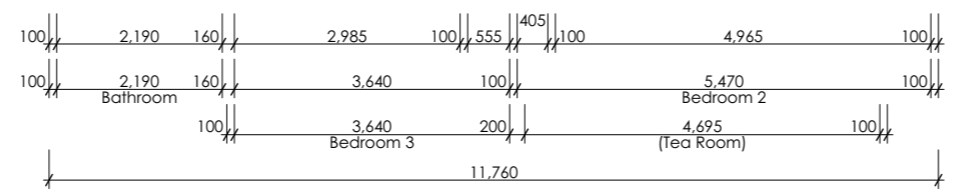
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Job Title		
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13 Laurie Avenue, Parnell, Auckland 1052		
Existing Ground Floor Plan		
Drawn: DPA	Design: Bespoke	
Job No: 1254	Date: 23/01/2019	
Project Status:		
Building Consent		
Scale: 1:50 @A1	Rev. - A103	
Scale: 1:100 @A3		
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Existing smoke alarm \circ_{sm}

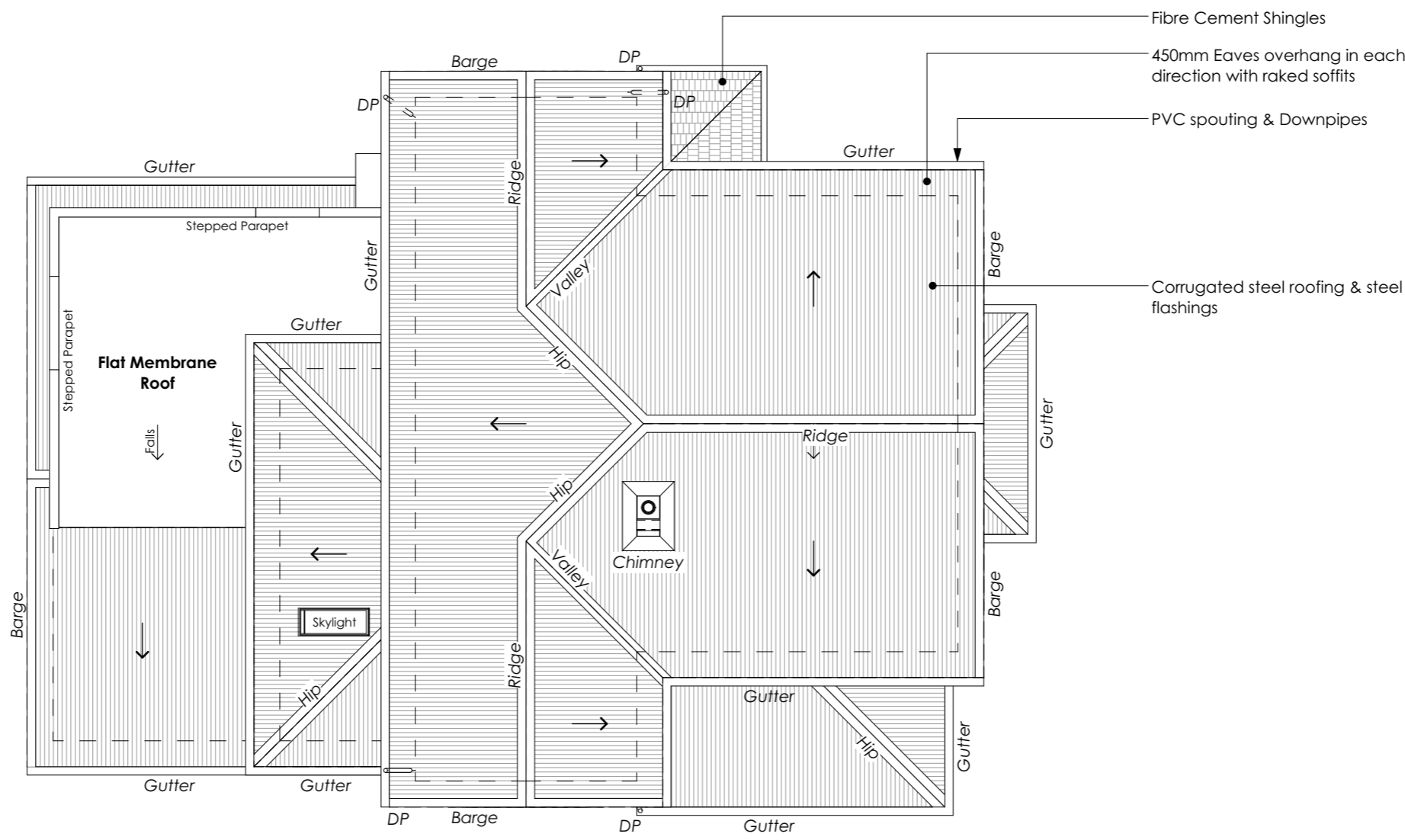
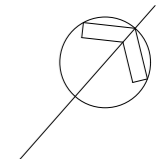
First Floor Area = 112.72m²
(Area measured from outside of framing)

Finished Floor Level (FFL) = 55,950mm RL




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Job Title		
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13 Laurie Avenue, Parnell, Auckland 1052		
Existing First Floor Plan		
Drawn: DPA	Design: Bespoke	
Job No: 1254	Date: 23/01/2019	
Project Status:		
Building Consent		
Scale: 1:50 @A1	Rev. - A104	
Scale: 1:100 @A3		
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Existing Roof Plan		
Drawn: DPA	Design: Bespoke	
Job No: 1254	Date: 23/01/2019	
Project Status:		
Building Consent		
1:50 @A1	Rev. -	A105
1:100 @A3		
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Existing North-East Elevation
Scale 1:100
(Street Facade)



Existing South-West Elevation
Scale 1:100



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Drawn: DPA	Design: Bespoke	
Job No: 1254	Date: 23/01/2019	
Project Status:		
Building Consent		
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Scale: 1:100 @A3		
All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.		

Existing North-West Elevation
Scale 1:100

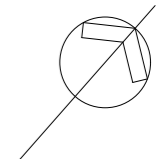


Existing South-East Elevation
Scale 1:100




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Existing Elevations		
Drawn: DPA		Design: Bespoke
Job No: 1254		Date: 23/01/2019
Project Status:		
Building Consent		
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Scale: 1:100 @A3		
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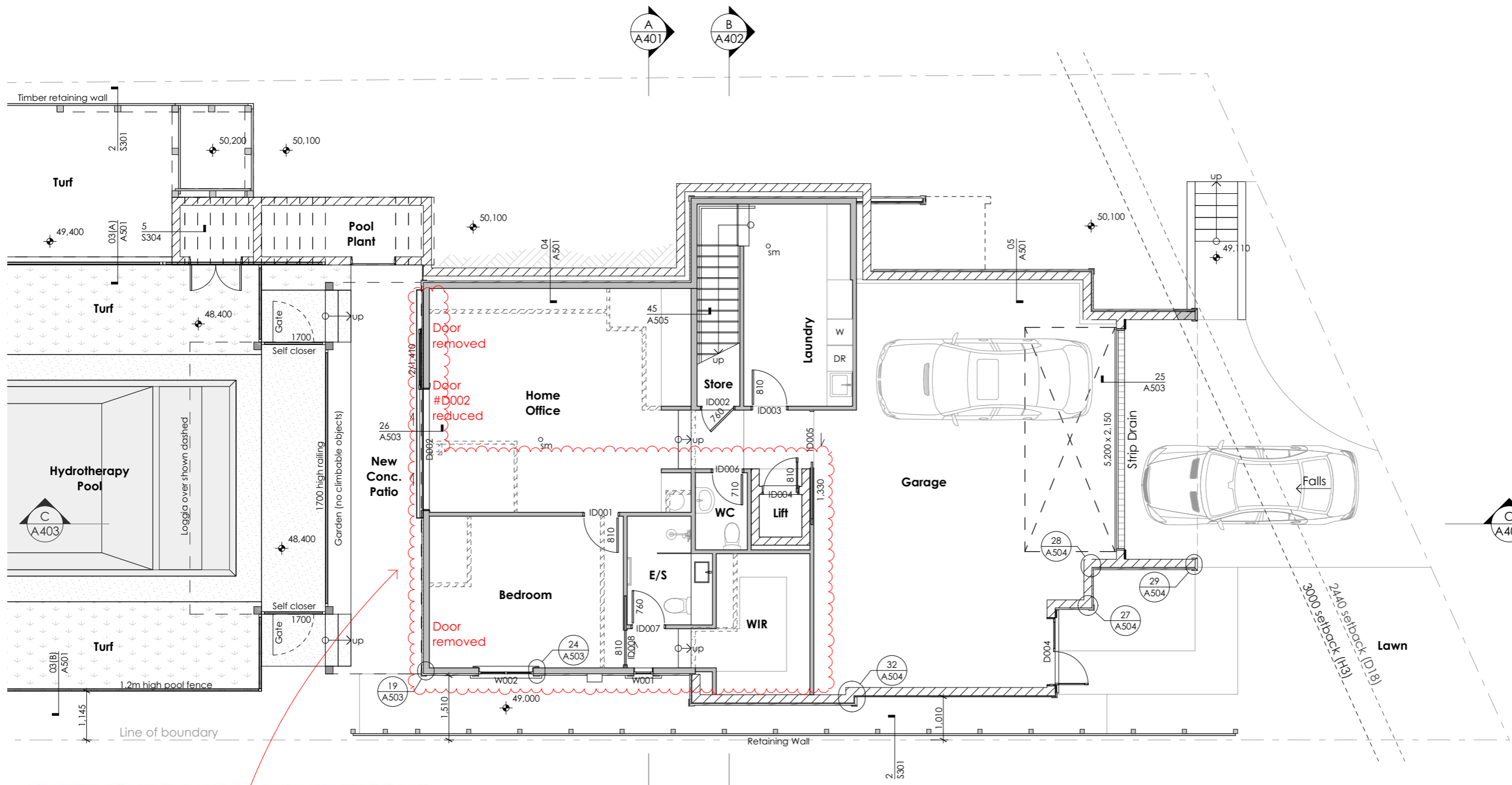


Legend

- Demolish
- 20 series Block
- Timber Wall

- Scope of work summary**
- New Garage below house
 - Basement floor lowered
 - Interior layout alterations
 - Extend First floor at rear
 - New 3 level passenger lift
 - New front Deck and canopy
 - New Loggia at rear
 - New Pool & landscaping
 - Relocated driveway crossing
 - New Skylight in existing roof
 - Remove existing chimney

Smoke alarm 0 sm



Rev.	Description	Date
A	Pool fence dimensions	20/02/19
A	Smoke alarms shown	20/02/19
D	BC Amendment	10/06/19

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13 Laurie Avenue, Parnell, Auckland 1052

Proposed Basement Plan

Drawn: CW Checked: DPA
Job No: 1254 Date: 24/06/2019
Project Status:
Building Consent
Scale: 1:50 @A1
1:100 @A3

All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.

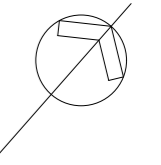
Table D18.4.1 Activity table – Special Character Areas Overlay - Residential

Activity	Activity status
Development	
(A1) Restoration and repair to a building on all sites in the Special Character Areas Overlay–Residential or the Special Character Areas Overlay - General (with a residential zoning)	P
(A2) Minor alterations to the rear of a building on all sites in the Special Character Area Overlay – Residential or Special Character Areas Overlay - General (with a residential zoning) where works to the building use the same design and materials to the existing building	P Permitted

Auckland Council

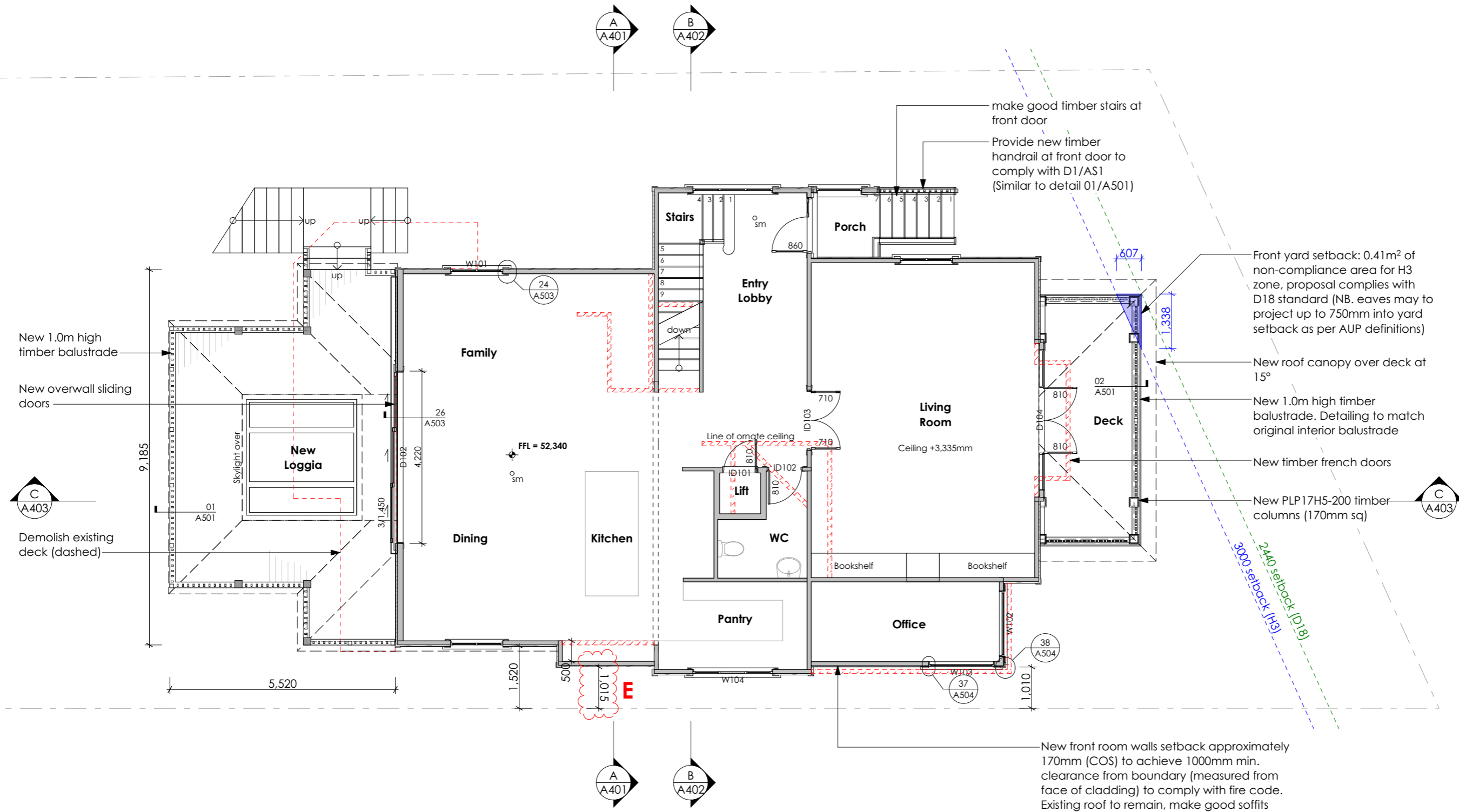
15 JUL 2019
BCO10282383-A
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BUILDING CONSENT PLANS





Legend

- - - - - Demolish
- 20 series Block
- Timber Wall
- Smoke alarm** o_{sm}



Rev.	Description	Date
A	Smoke alarms shown	20/02/19
D	BC Amendment	10/06/19
E	Dimension added	04/07/19



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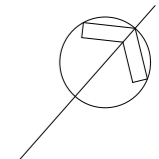
Job Title
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Residential Alterations & Additions
 13 Laurie Avenue, Parnell, Auckland 1052

Proposed Ground Floor Plan

Drawn: CW Checked: DPA
 Job No: 1254 Date: 4/07/2019
 Project Status:
Building Consent
 Scale: 1:50 @A1 Rev. E **A204**
 1:100 @A3

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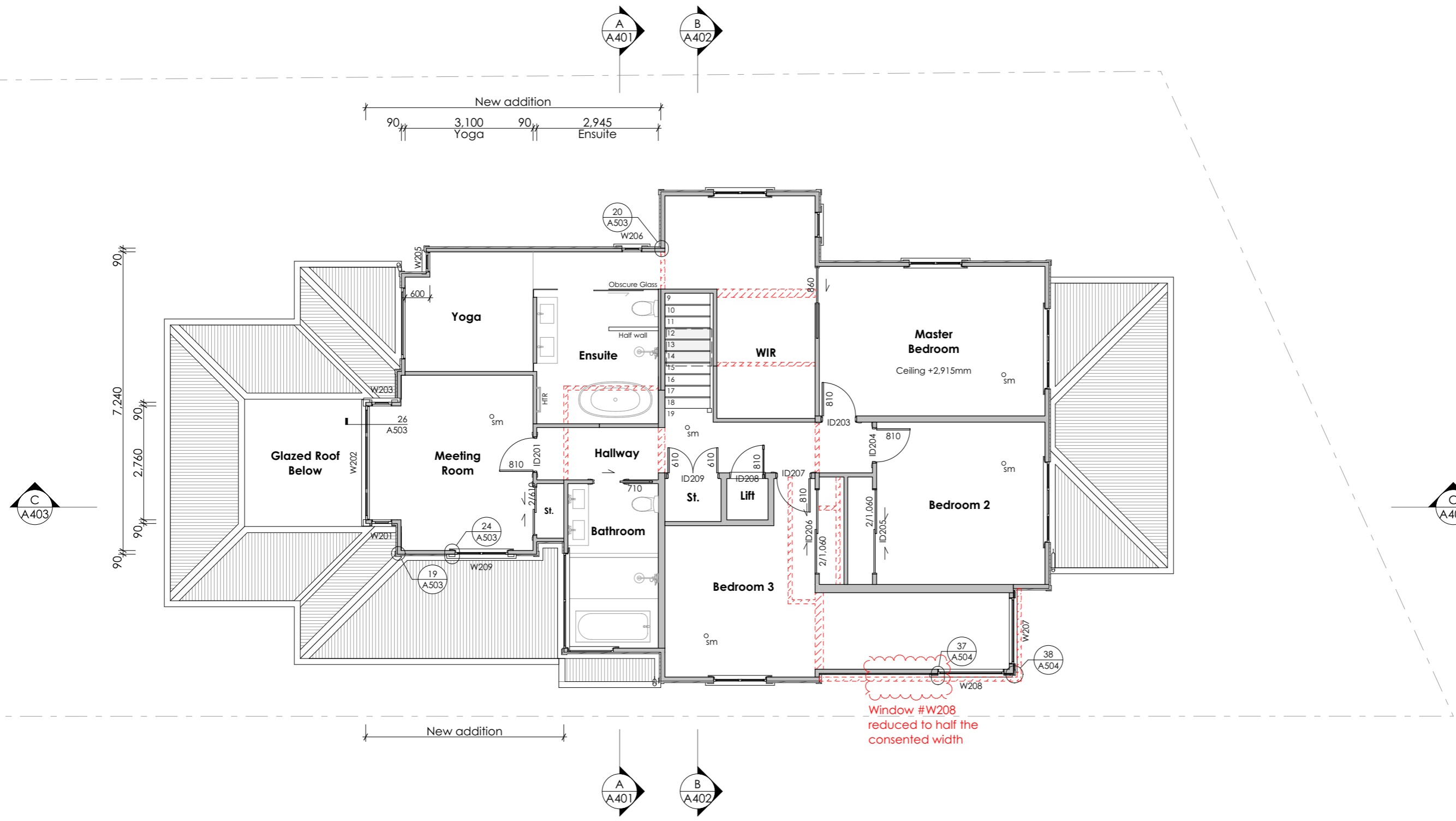




Legend

- Demolish
- 20 series Block
- Timber Wall

Smoke alarm sm



Rev.	Description	Date
A	Smoke alarms shown	20/02/19
D	BC Amendment	10/06/19

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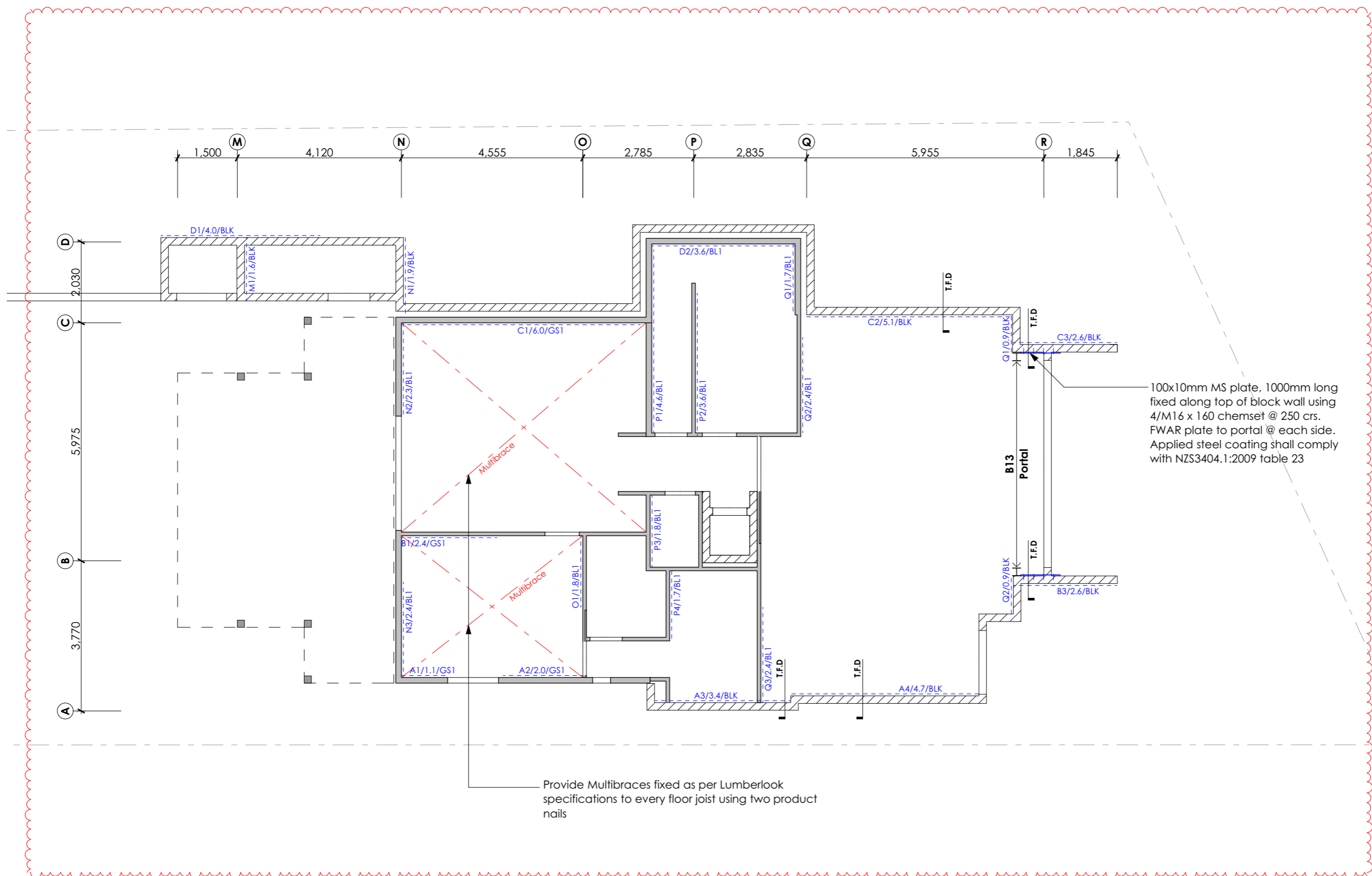
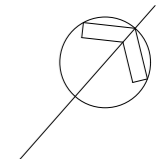
Proposed First Floor Plan

Drawn: CW	Checked: DPA
Job No: 1254	Date: 24/06/2019
Project Status: Building Consent	
Scale: 1:50 @A1 1:100 @A3	Rev. D A205

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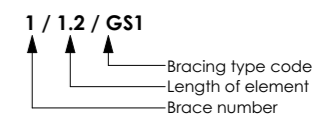


Provide Multibraces fixed as per Lumberlook specifications to every floor joist using two product nails

Bracing Legend

- GS1** GIB Standard 1 side
- GS2** GIB Standard 2 sides
- BL1** GIB Braceline
- BLK** 20 series block wall

Bracing Label Key



Refer to braced lining fixing details on sheet A505

Bracing by structural engineer

T.F.D
Timber Floor Diaphragm connections as per 4229:2013 figure 9.5

100x10mm MS plate, 1000mm long fixed along top of block wall using 4/M16 x 160 chemset @ 250 crs. FWAR plate to portal @ each side. Applied steel coating shall comply with NZS3404.1:2009 table 23

Rev.	Description	Date
A	PS2 engineer revisions	26/03/19
D	BC Amendment	19/06/19

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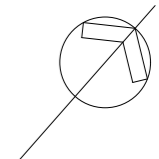
Basement Bracing Plan

Drawn: CW	Checked: DPA
Job No: 1254	Date: 24/06/2019
Project Status: Building Consent	
Scale: 1:50 @A1 1:100 @A3	Rev. D A206

All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.

Auckland Council

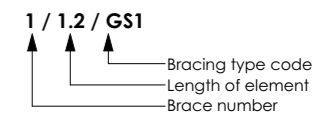
15 JUL 2019
BCO10282383-A
AMENDED
BUILDING CONSENT PLANS



Bracing Legend

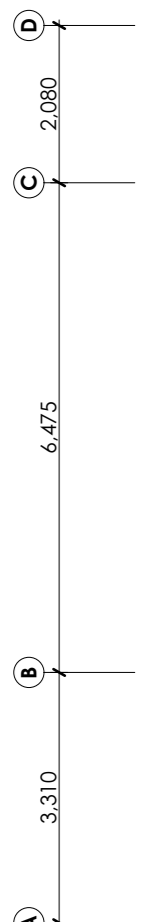
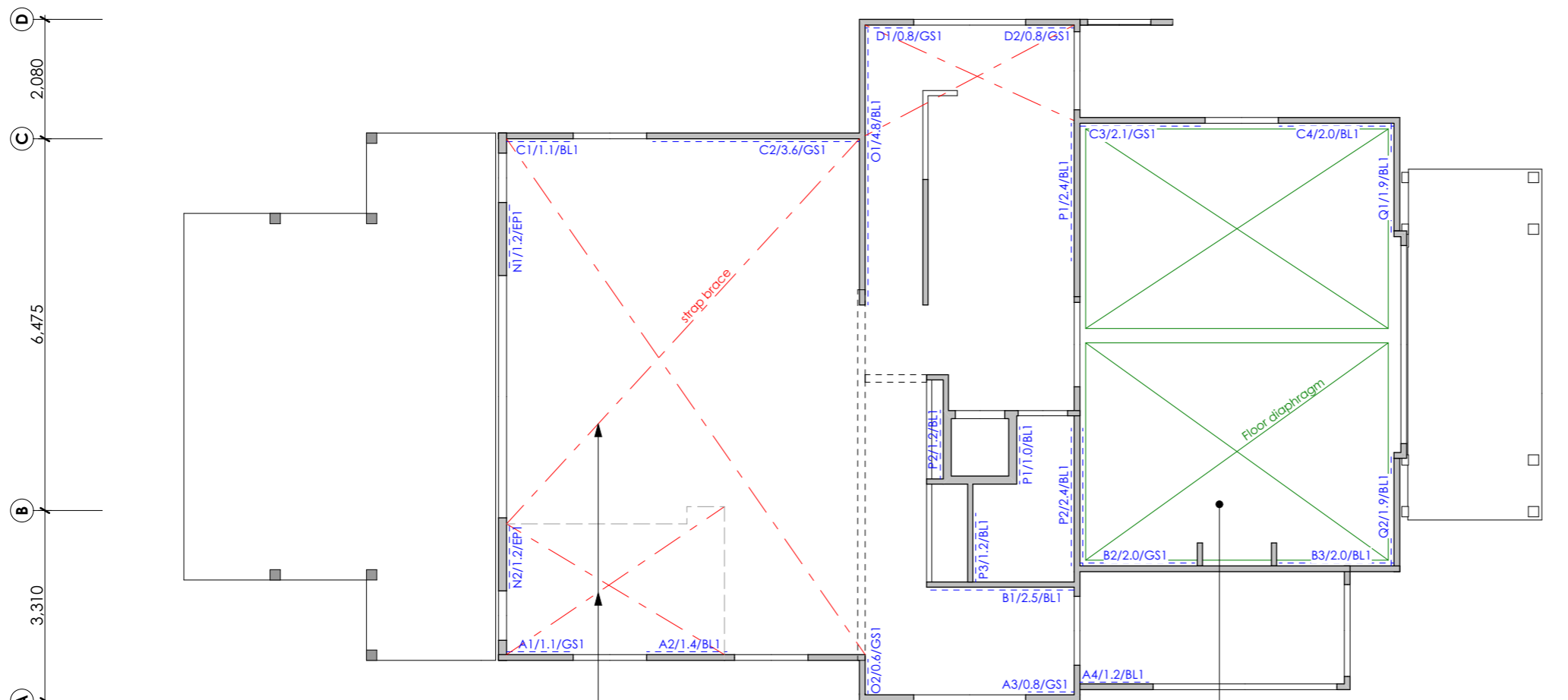
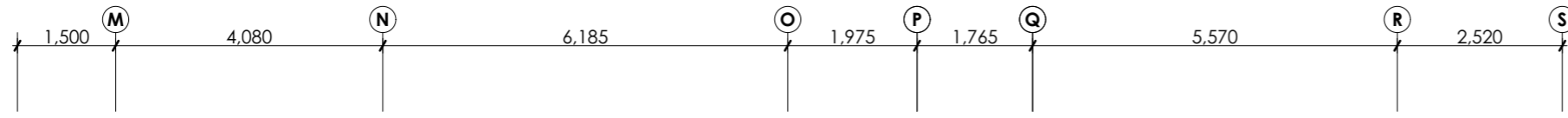
- GS1** GIB Standard 1 side
- GS2** GIB Standard 2 sides
- BL1** GIB Braceline
- BLK** 20 series block wall
- EP1** 7 or 12mm Ecoply

Bracing Label Key



Refer to braced lining fixing details on sheet A505

Bracing by structural engineer

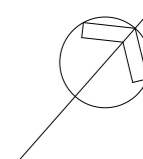


Provide new Lumberlok 25x1 diagonally opposing strap braces as shown fixed with two product nails at every second joist/rafter

Cut out existing flooring above, add solid blocking as required and lay new 20mm flooring grade ply as diaphragm. Reinstate carpet



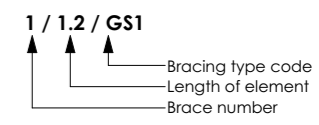
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Job Title S Jayaraman & J Davidson Residential Alterations & Additions 13 Laurie Avenue, Parnell, Auckland 1052		
Ground Floor Bracing Plan		
Drawn: DPA	Design: Bespoke	
Job No: 1254	Date: 23/01/2019	
Project Status: Building Consent		
1:50 @A1	Rev. - A207	
Scale: 1:100 @A3		
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Bracing Legend

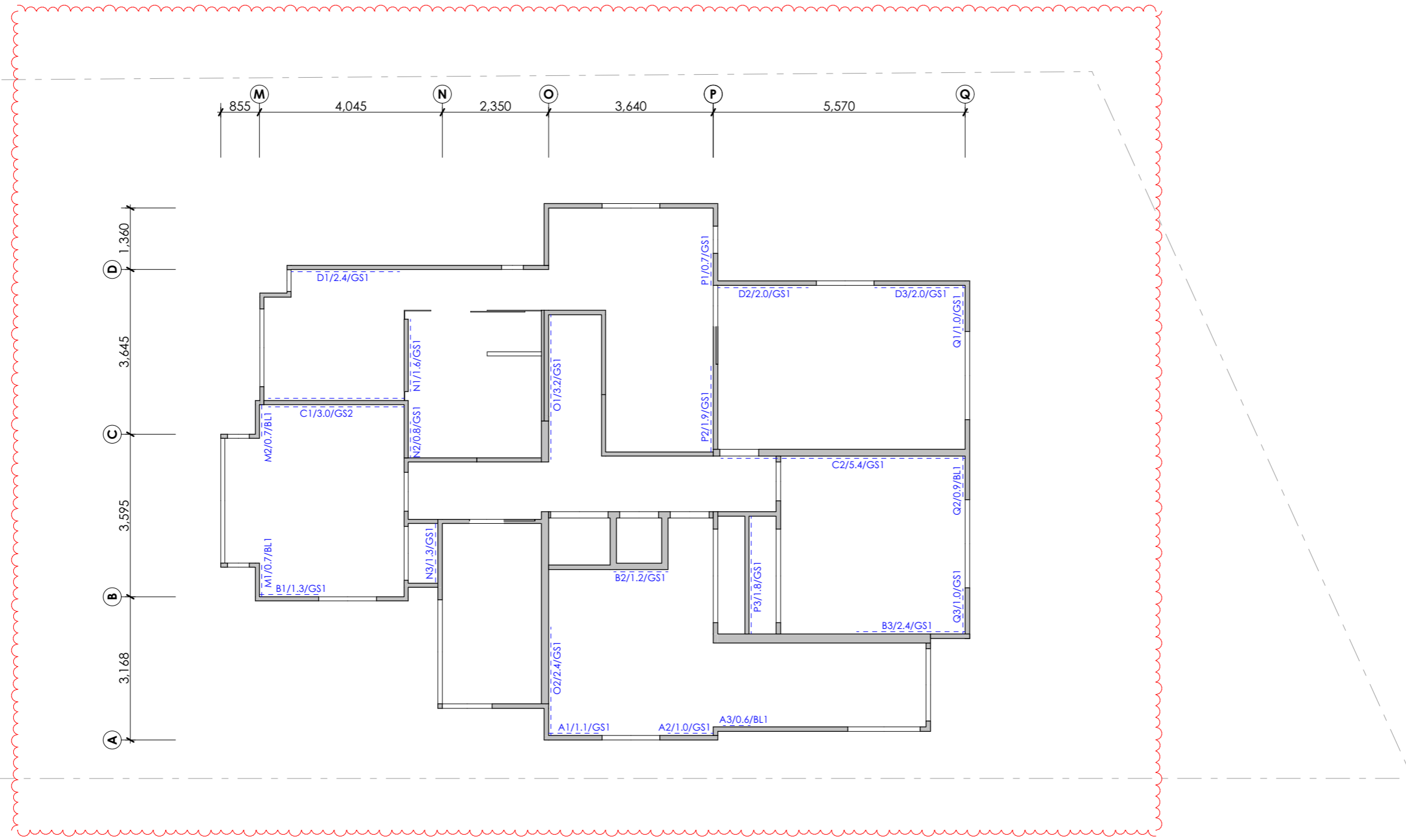
- GS1** GIB Standard 1 side
- GS2** GIB Standard 2 sides
- BL1** GIB Braceline
- BLK** 20 series block wall

Bracing Label Key



Refer to braced lining fixing details on sheet A505

Bracing by structural engineer



Rev.	Description	Date
A	PS2 engineer revisions	26/03/19
D	BC Amendment	19/06/19

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13 Laurie Avenue, Parnell, Auckland 1052

First Floor Bracing Plan

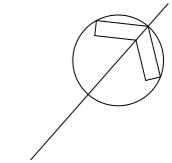
Drawn: CW	Checked: DPA
Job No: 1254	Date: 24/06/2019
Project Status: Building Consent	
Scale: 1:50 @A1 1:100 @A3	Rev. D A208

All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.


15 JUL 2019
 BCO10282383-A
AMENDED
BUILDING CONSENT PLANS

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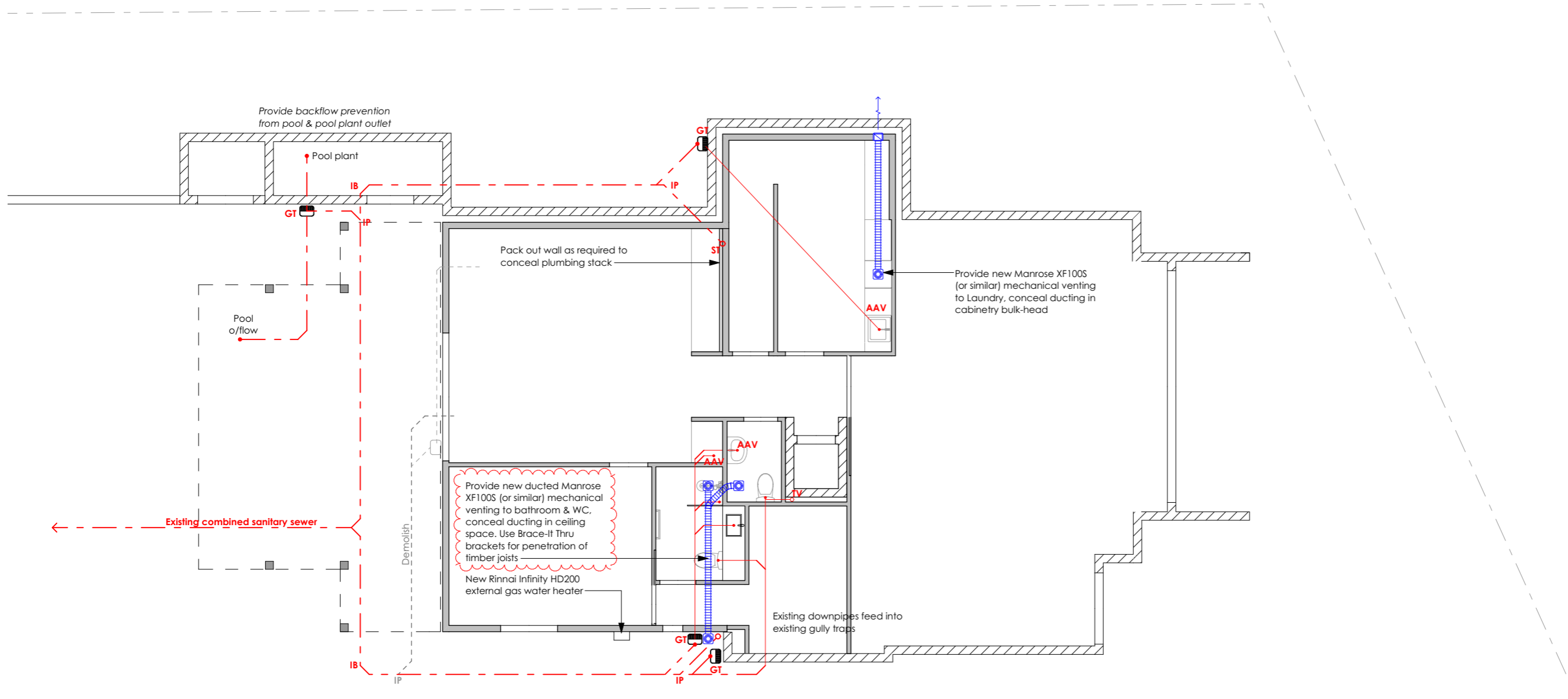
04 JUL 2019



Legend

- GT** Gully Trap
- TV** Terminal Vent
- IP** Inspection Point
- IB** Inspection Bend
- AAV** Air Admittance Valve
- FWG** Floor Waste Gully
- ST** 110Ø Plumbing Stack

All plumbing works to comply with NZBC G13. Sizes shown are minimums and can be substituted for greater pipes/falls for typical/best practice as recommended by plumber. Plumber to confirm any substitutions with owner before installation.



Rev.	Description	Date
A	Mechanical Venting	20/02/19
D	BC Amendment	19/06/19
E	mech' venting added	04/07/19



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Job Title

S Jayaraman & J Davidson

Residential Alterations & Additions

13 Laurie Avenue, Parnell, Auckland 1052

Basement Plumbing Plan

Drawn: CW Checked: DPA

Job No: 1254 Date: 4/07/2019

Project Status:
Building Consent

Scale: 1:50 @A1
1:100 @A3 Rev. E **A209**

All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.

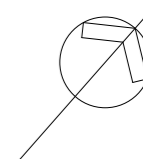
Pipe Sizes and Falls

Fixture	Pipe Size	Falls (Min.)
Bath	50Ø	1:40
Dishwasher	40Ø	1:40
Sink	50Ø	1:40
Shower	40Ø	1:40
Tub	50Ø	1:40
Vanity/Basin	40Ø	1:40
Toilet Pan	100Ø	1:60
Terminal Vent	80Ø	-


15 JUL 2019
 BCO10282383-A
AMENDED
BUILDING CONSENT PLANS

RECEIVED

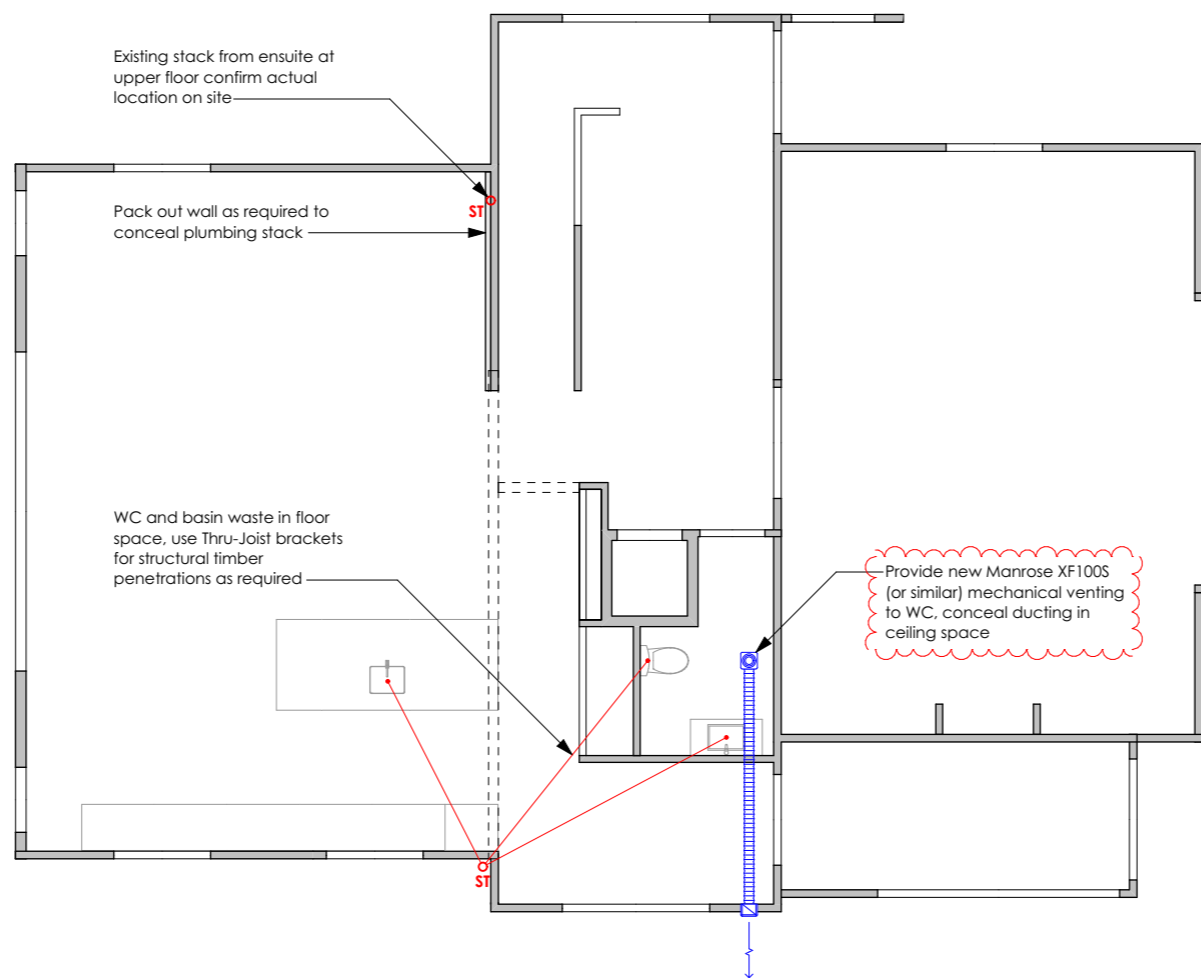
21 FEB 2019



Legend

- GT** Gully Trap
- TV** Terminal Vent
- IP** Inspection Point
- IB** Inspection Bend
- AAV** Air Admittance Valve
- FWG** Floor Waste Gully
- ST** 110Ø Plumbing Stack

All plumbing works to comply with NZBC G13. Sizes shown are minimums and can be substituted for greater pipes/falls for typical/best practice as recommended by plumber. Plumber to confirm any substitutions with owner before installation.



Pipe Sizes and Falls		
Fixture	Pipe Size	Falls (Min.)
Bath	50Ø	1:40
Dishwasher	40Ø	1:40
Sink	50Ø	1:40
Shower	40Ø	1:40
Tub	50Ø	1:40
Vanity/Basin	40Ø	1:40
Toilet Pan	100Ø	1:60
Terminal Vent	80Ø	-



Rev.	Description	Date
A	Mechanical Venting	20/02/19

BESPOKE nz ltd.

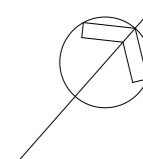
Suite 4, 26 Victoria Road, Devonport, Auckland
 P.O. BOX 32-167
 Devonport
 Auckland 0744
 Tel - 09 445 7095

Job Title
 S Jayaraman & J Davidson
 Residential Alterations & Additions
 13 Laurie Avenue, Parnell, Auckland 1052

Ground Floor Plumbing Plan

Drawn: DPA	Design: Bespoke
Job No: 1254	Date: 21/02/2019
Project Status: Building Consent	
1:50 @A1	Rev. A A210
Scale: 1:100 @A3	

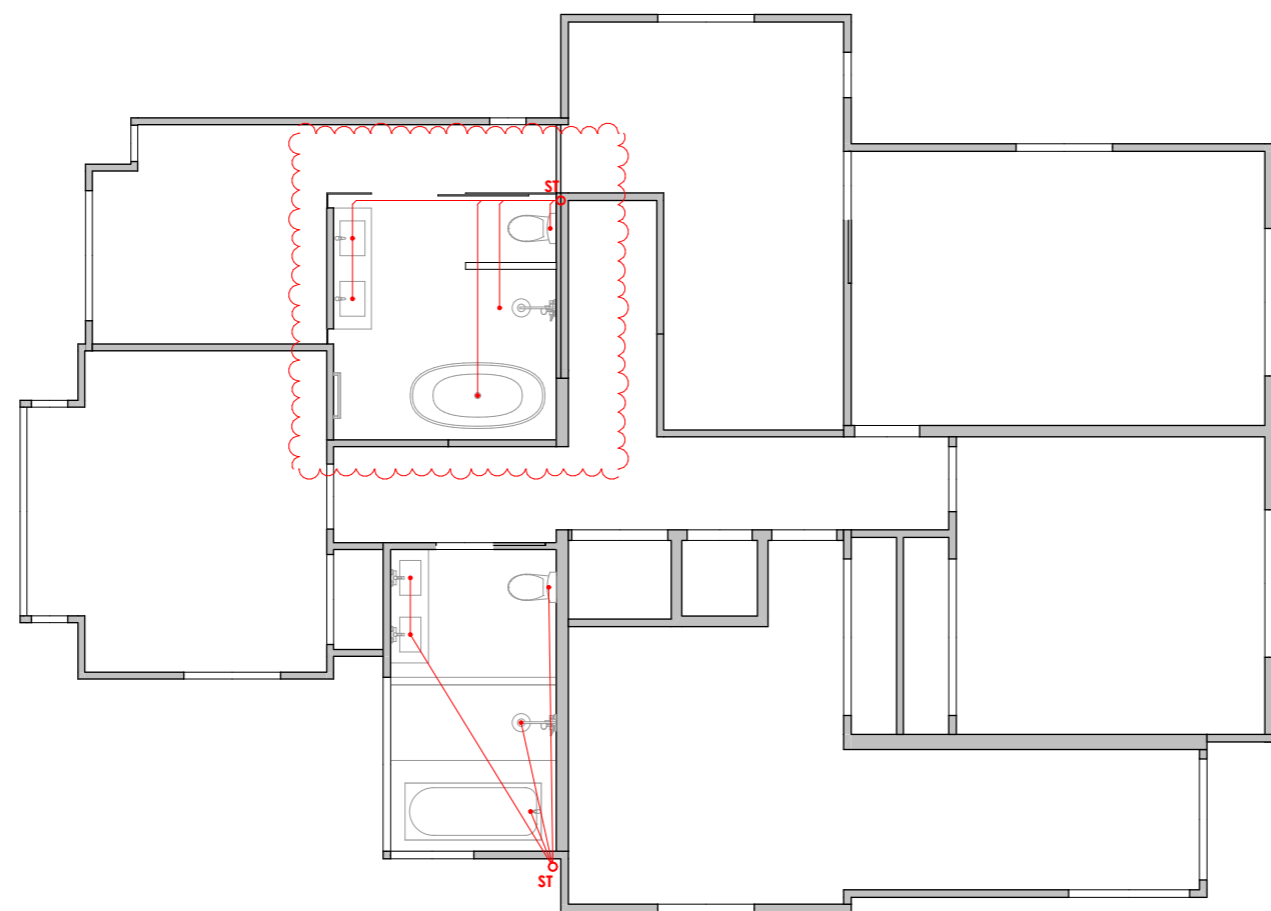
All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.



Legend

- GT** Gully Trap
- TV** Terminal Vent
- IP** Inspection Point
- IB** Inspection Bend
- AAV** Air Admittance Valve
- FWG** Floor Waste Gully
- ST** 110Ø Plumbing Stack

All plumbing works to comply with NZBC G13. Sizes shown are minimums and can be substituted for greater pipes/falls for typical/best practice as recommended by plumber. Plumber to confirm any substitutions with owner before installation.



Rev.	Description	Date
D	BC Amendment	19/06/19



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Job Title
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Residential Alterations & Additions
13 Laurie Avenue, Parnell, Auckland 1052

First Floor Plumbing Plan

Drawn: CW	Checked: DPA
Job No: 1254	Date: 24/06/2019
Project Status: Building Consent	
Scale: 1:50 @A1 1:100 @A3	Rev. D A211

All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.

Pipe Sizes and Falls		
Fixture	Pipe Size	Falls (Min.)
Bath	50Ø	1:40
Dishwasher	40Ø	1:40
Sink	50Ø	1:40
Shower	40Ø	1:40
Tub	50Ø	1:40
Vanity/Basin	40Ø	1:40
Toilet Pan	100Ø	1:60
Terminal Vent	80Ø	-

Auckland Council

15 JUL 2019

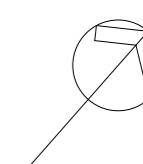
BCO10282383-A

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BUILDING CONSENT PLANS

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04 JUL 2019



New wall framing:
90x45 H1.2 SG8 studs @ 600 crs & nogged @ 800 crs, or as required for cladding fixings, or unless specifically stated otherwise

Beam Schedule

- B10 250 UB 37.3
- B11 250 PFC
- B12 250 PFC
- B13 200 UC 46.2 Portal frame
- B14 250 UB 37.3
- B15 250 UB 25.7
- B16 310 UC 118
- B17 300 PFC
- B18 230 PFC
- B19 250 UB 37.3
- B20 250 PFC
- L1 390x190 Block Lintel +2/D16 & R6 @ 200 crs
- L2 190x90 Block lintel with 2/D12 & R6 @ 100 crs

Post Schedule

- P1 2/90x45 SG8
- P2 100x100x9 SHS
- P3 3/90x45 SG8
- P4 89x89x6 SHS
- P5 PLP 17 H5-200 (single span)

Legend

- LBW Load bearing wall
- Trim 90x45 trimmer on flat
- New timber framing
- Existing timber framing
- Timber Wall
- 20 Series Block wall
- Stainless steel Multibrace strap fixed as per Lumberlok specification

New 90 SQ H3.2 balustrade posts face-fixed into 2/240x45 SG8 H3.2 boundary joist Refer to details

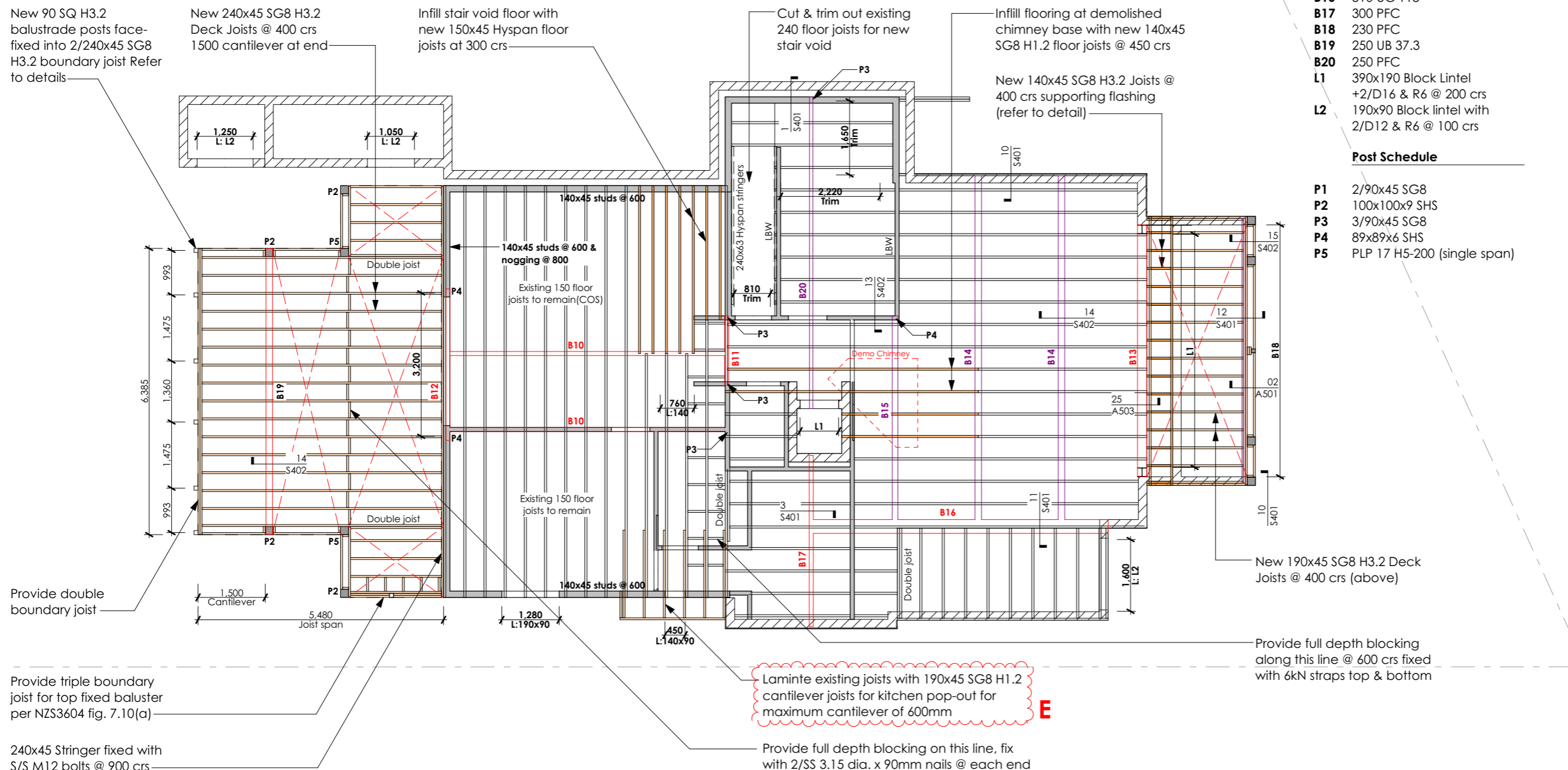
New 240x45 SG8 H3.2 Deck Joists @ 400 crs 1500 cantilever at end

Infill stair void floor with new 150x45 Hyspan floor joists at 300 crs

Cut & trim out existing 240 floor joists for new stair void

Infill flooring at demolished chimney base with new 140x45 SG8 H1.2 floor joists @ 450 crs

New 140x45 SG8 H3.2 Joists @ 400 crs supporting flashing (refer to detail)



Provide double boundary joist

Provide triple boundary joist for top fixed baluster per NZS3604 fig. 7.10(a)

240x45 Stringer fixed with S/S M12 bolts @ 900 crs

Laminate existing joists with 190x45 SG8 H1.2 cantilever joists for kitchen pop-out for maximum cantilever of 600mm

Provide full depth blocking on this line, fix with 2/SS 3.15 dia. x 90mm nails @ each end

New 190x45 SG8 H3.2 Deck Joists @ 400 crs (above)

Provide full depth blocking along this line @ 600 crs fixed with 6kN straps top & bottom

Rev.	Description	Date
A	PS2 engineer revisions	26/03/19
D	Cantilever joists kitchen	04/06/19
E	Joist size correction	04/07/19



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Job Title

S Jayaraman & J Davidson

Residential Alterations & Additions

13 Laurie Avenue, Parnell, Auckland 1052

Ground Floor Framing Plan

Drawn: CW Checked: DPA

Job No: 1254 Date: 4/07/2019

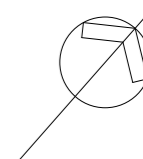
Project Status: Building Consent

Scale: 1:50 @A1
1:100 @A3 Rev. E A213

All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.

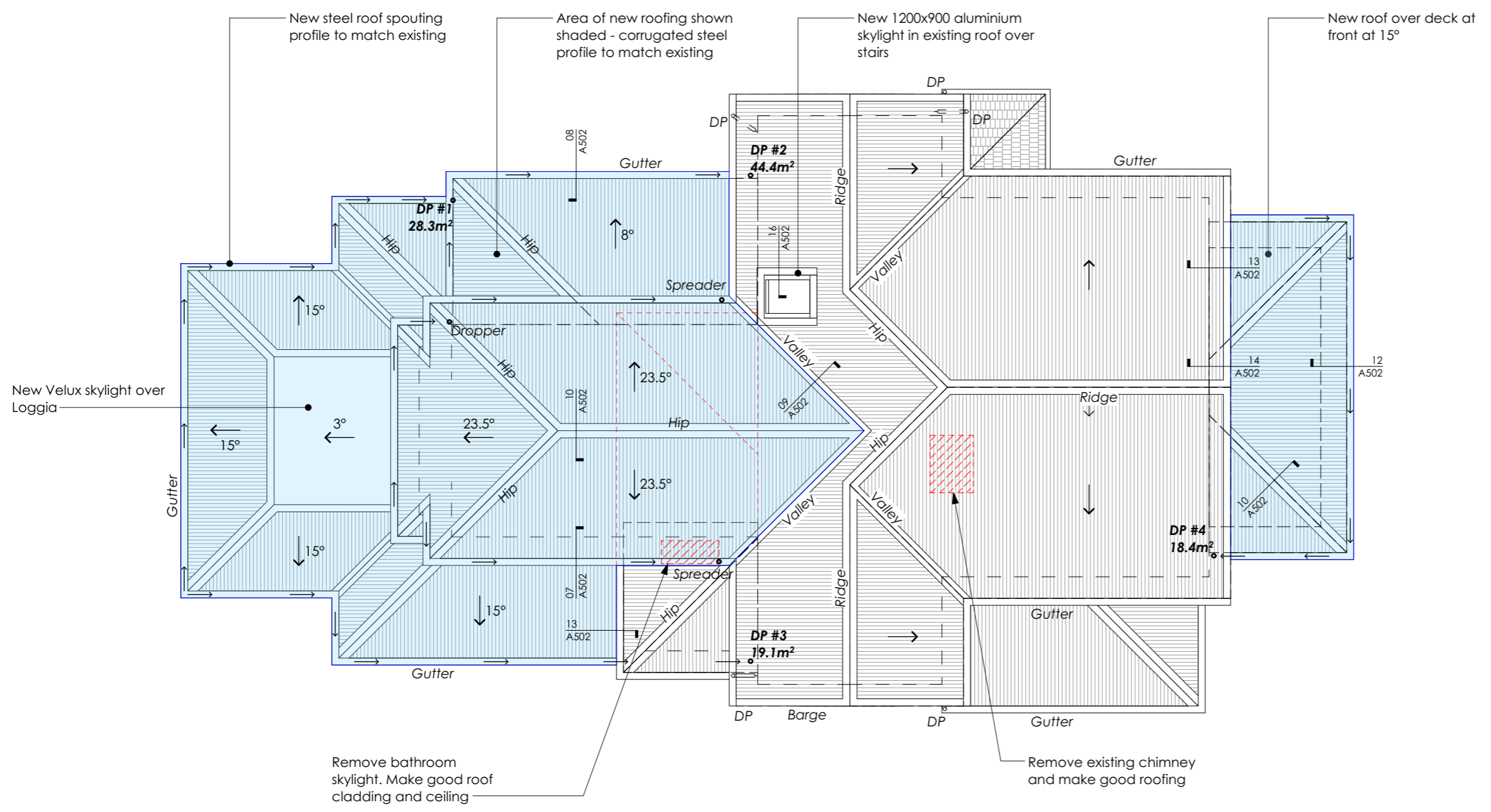


15 JUL 2019
BCO10282383-A
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BUILDING CONSENT PLANS

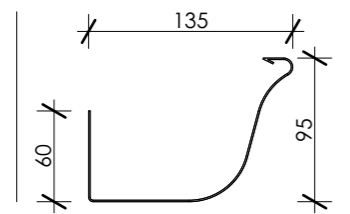


Legend

- Demolish
- New roof



Spouting
 New Continuous Group Quarter Round 6,300mm² 0.5mm MagnaFlow spouting with internal brackets on H3.1 pre-primed 180x20 pine fascias. 80Ø downpipes to match

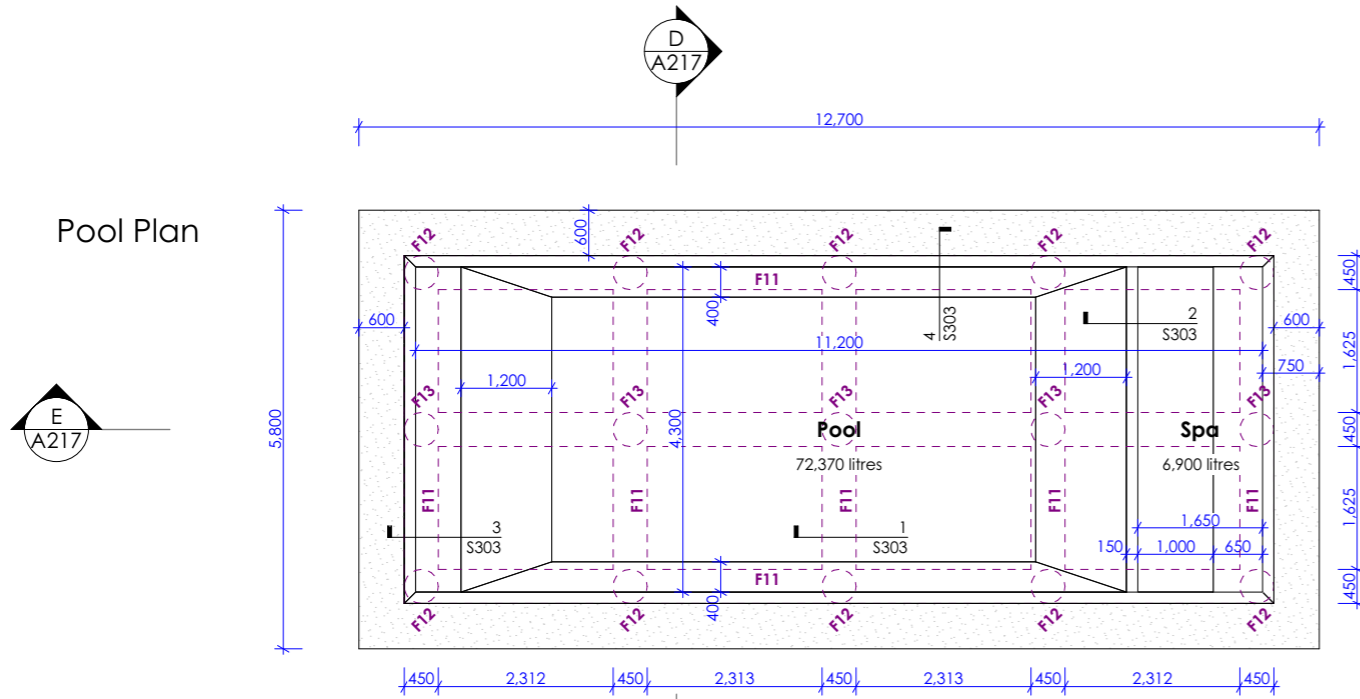


01 MAY 2019
 BCO10282383
APPROVED
BUILDING CONSENT PLANS



Rev.	Description	Date
BESPOKE nz ltd.		
Suite 4, 26 Victoria Road, Devonport, Auckland P.O. BOX 32-167 Devonport Auckland 0744 Tel - 09 445 7095		
Job Title S Jayaraman & J Davidson Residential Alterations & Additions 13 Laurie Avenue, Parnell, Auckland 1052		
Proposed Roof Plan		
Drawn: DPA Job No: 1254	Design: Bespoke Date: 23/01/2019	
Project Status: Building Consent		
Scale: 1:50 @A1 1:100 @A3	Rev. -	A216
All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.		

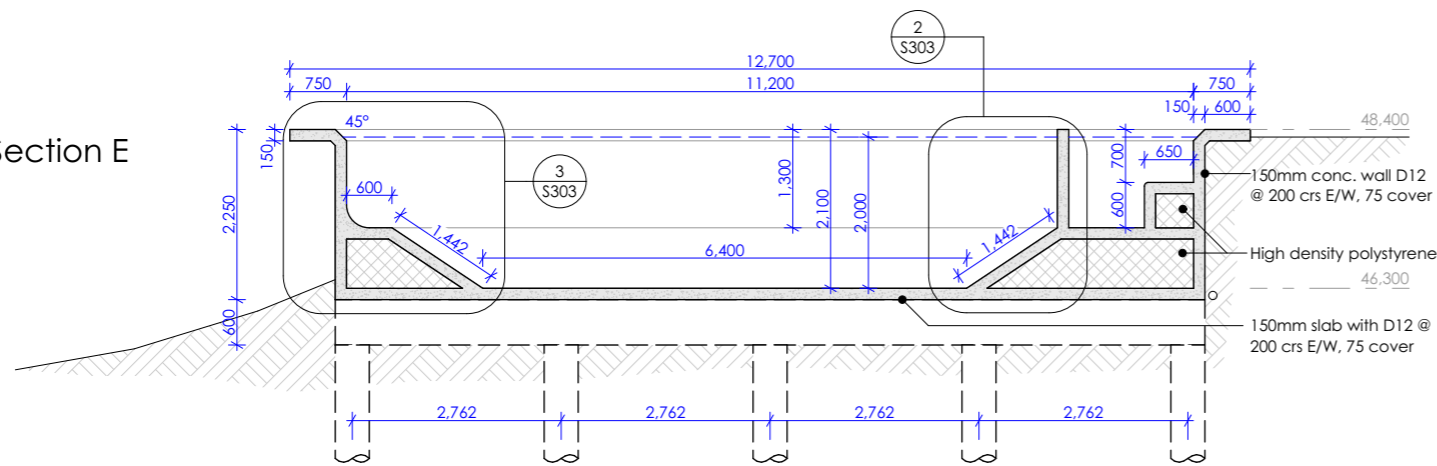
Pool Plan



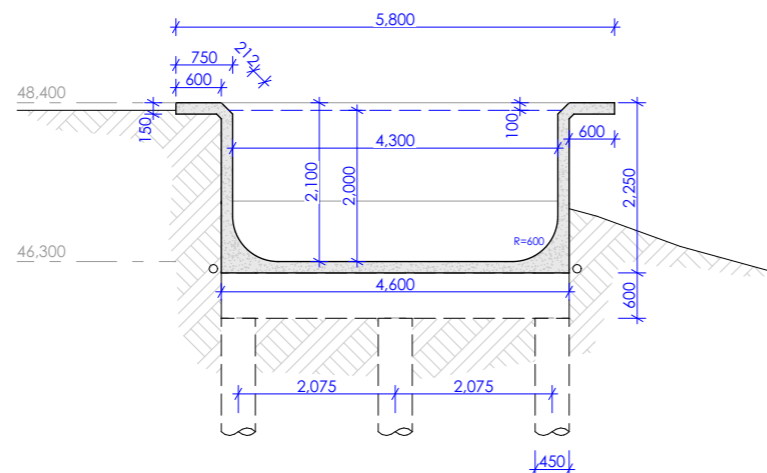
Footing Schedule

- F11** 500 SQ Ground Beam + 3 HD16 top & bottom + R10 @ 100 crs
- F12** 500Ø x 3500 deep concrete piles with 10/HD12 + R10 @ 200 Crs. Ensure 75mm cover to sides and bottom
- F13** 500Ø x 5000 deep concrete piles with 10/HD12 + R10 @ 200 crs. Ensure 75mm cover to sides and bottom

Section E



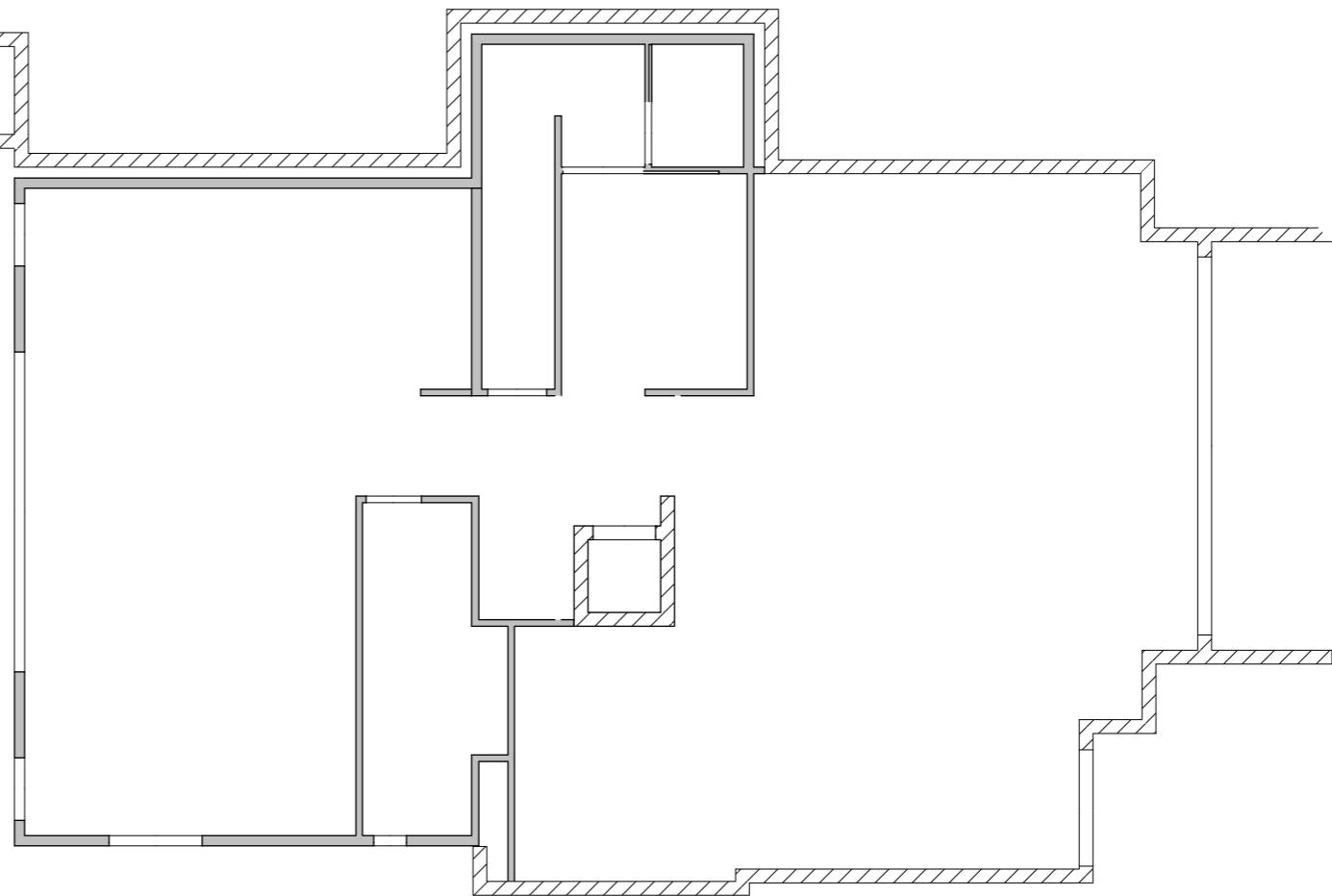
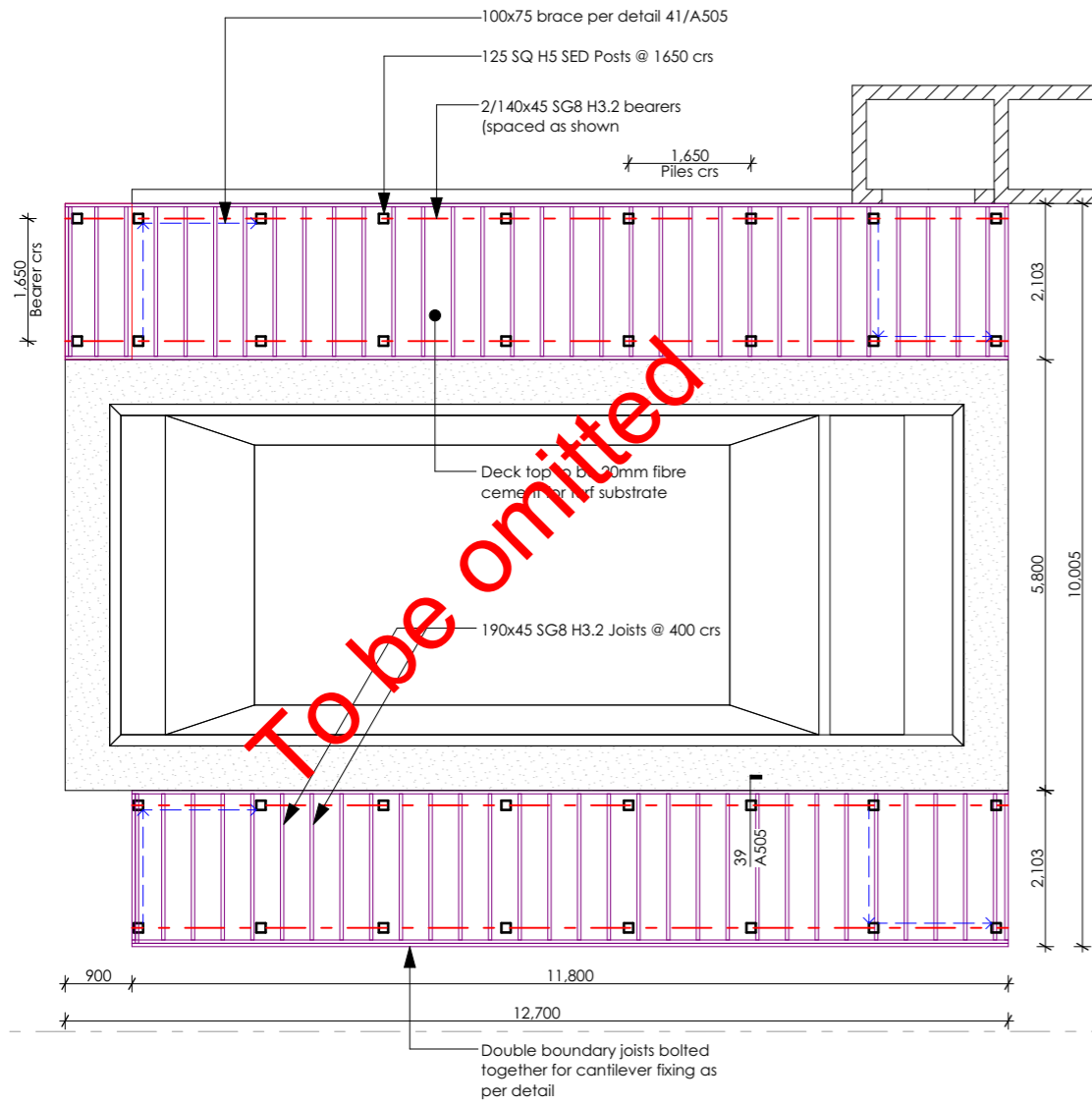
Section D



To be omitted



Rev.	Description	Date
BESPOKE nz ltd.		
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Job Title		
S Jayaraman & J Davidson Residential Alterations & Additions 13 Laurie Avenue, Parnell, Auckland 1052		
Proposed Pool Plan		
Drawn: DPA	Design: Bespoke	
Job No: 1254	Date: 23/01/2019	
Project Status:		
Building Consent		
1:50 @A1	Rev. - A217	
Scale: 1:100 @A3		
All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.		

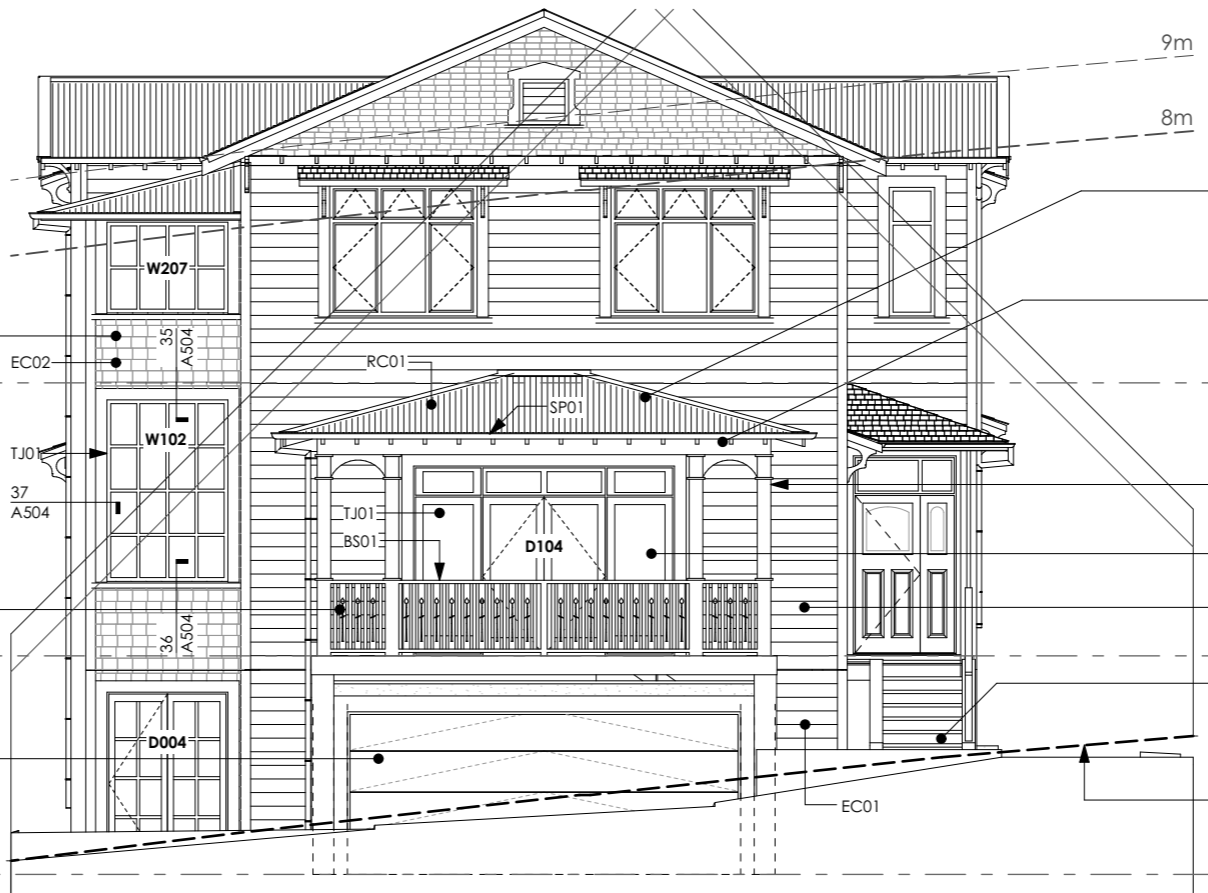


Rev.	Description	Date
BESPOKE nz ltd.		
Suite 4, 26 Victoria Road, Devonport, Auckland		
P.O. BOX 32-167 Devonport Auckland 0744 Tel - 09 445 7095		
Job Title		
S Jayaraman & J Davidson		
Residential Alterations & Additions		
13 Laurie Avenue, Parnell, Auckland 1052		
Pool Deck Framing		
Drawn: DPA	Design: Bespoke	
Job No: 1254	Date: 23/01/2019	
Project Status:		
Building Consent		
1:50 @A1	Rev. - A218	
Scale: 1:100 @A3		
All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.		

- AL-01** Aluminium Skylight - New double glazed Velux aluminium fixed skylight with EDW flashing kit fitted between existing roof framing (Refer to detail 15/16 on sheet A502)
- BS-01** Balustrade (timber) - New external timber balustrade. H3.2 SG8 pine posts, rails & infill with paint finish. refer to details
- BS-02** Balustrade (Steel) - New external steel balustrade & pool fencing. Mild steel posts, balusters & rails with powdercoat paint finish. refer to details
- CL-01** Ceiling Lining typical - New 13mm GIB standard plasterboard ceiling linings fixed to 70x35mm H1.2 ceiling battens (or GIB Rondo system) @ 400 crs as per manufacturers specifications. Square stop at wall junctions. Level 4 finish for painting
- CL-02** Ceiling Lining wet areas - New 13mm GIB Aqualine plasterboard ceiling linings fixed to 70x35mm H1.2 ceiling battens (or GIB Rondo system) @ 400 crs as per manufacturers specifications. Square stop at wall junctions. Level 4 finish for painting
- DK-01** Decking - New 140x20 Herman Pacific Vitex hardwood watershed decking (HP92) with stain/oil finish. All fixings to be stainless steel
- EC-01** External Cladding - New H3.1 Pre-primed Pine bevelback weatherboards to match existing on 20mm nominal cavity on Thermakraft Watagate 295 synthetic self supporting underlay (or similar approved alternative)
- EC-02** External Cladding - New H3.1 cedar shingles to match original fixed H3.2 ply substrate on Thermakraft Watagate 295 synthetic self supporting underlay (or similar)
- FL-01** Flooring general - New engineered timber overlay on 20mm flooring grade plywood
- FL-02** Flooring bedrooms - New Nylon carpet on underlay fixed with edge grippers
- FL-03** Flooring wet areas - New ceramic tiles on membrane as per details provided
- HR-01** Handrail - New pre-painted pine stair handrail 900-1000mm above pitch line on proprietary steel brackets fixed to wall. Refer to details
- IN-01** Insulation: walls - New 90mm Pink Batts Wall Ultra (R2.6)
- IN-02** Insulation: Ceiling - New 115mm Pink batts skillion roof (R3.2)
- RC-01** Roof cladding - New 0.4 BMT Roofing Industries corrugated steel roofing on Covertek 407 fire retardant synthetic self supporting underlay. 0.55 BMT Colorsteel Maxx flashings
- RW-01** Retaining wall (Block) - New 20 series solid filled & reinforced block retaining wall with free-draining backfill & Novacoil drainage
- RW-02** Retaining wall (Timber) - New Timber Pole retaining wall with free-draining backfill & Novacoil drainage (refer to details)
- SF-01** New Soffits - 9mm James Hardie Villaboard (or similar) with flush joints, paint finish
- SL-01** Concrete Slab - 100mm 25MPa concrete slab with SE62 reinforcing mesh on Expol R1.3 Thermaslab polystyrene insulation on thermathene orange DPM, 25mm sand blinding, 150mm compacted hardfill
- SP-01** Spouting - New Continuous Group Quarter Round 6,300mm² 0.5mm MagnaFlow spouting with internal brackets on H3.1 pre-primed 180x20 pine fascias. 80Ø downpipes to match
- ST-01** Stairs (internal) - New 35mm pine stairs glued, blocked & wedged into 15mm stringer rebate. 240x45 H1.2 SG8 stringers each side. 190mm max rise & 280 min. tread, 25mm max. nosing overhang. All works to comply with D1/AS1
- TJ-01** New Timber joinery - Double glazed H3.1 timber frames with cedar sashes pre-primed in factory. Trims and facings matched to original profiles
- TK-01** Tanking - Bitubond peel & stick damp proof membrane over block. Protect with 3mm corflute, installed as per manufacturers specifications
- TW-01** Timber Walls typical - H1.2 SG8 studs (refer to framing plan for crs) noggled at 800 crs generally - unless stated otherwise. all works to comply with NZS3604:2011
- WL-01** Internal wall linings typical - 10mm GIB standard throughout stopped to level 4 with paint finish (check braced/fire rated)
- WL-02** Internal wall linings wet areas - 10mm GIB Aqualine throughout stopped to level 4 with paint finish (check braced/fire rated)

Proposed North-East Elevation
Scale 1:100

New shingle cladding
55,950
EC02
35
A504
RC01
TJ01
37
A504
W102
36
A504
D004
52,340
New 1.0m high balustrade similar to internal stair balusters
New sectional steel garage door
49,450



New corrugated steel roofing at 15° to new canopy (profile to match existing)
New H3 solid pine bungalow fretwork and exposed rafters with paint finish
New 170 SQ H3.1 pine columns with paint finish
New timber french doors
New weatherboard cladding over block walls to match existing
Make good existing timber stairs at entry
Existing ground line (dashed)

BUILDING ENVELOPE RISK MATRIX		
N.S.E.W Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	Low risk	0
Number of storeys	Very high risk	4
Roof/wall intersection design	Very high risk	5
Eaves width	Very high risk	5
Envelope complexity	Medium risk	1
Deck design	Medium risk	2
Total Risk Score:		17

Auckland Council

15 JUL 2019
BCO10282383-A
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BUILDING CONSENT PLANS

H1 Insulation Calculation
Schedule Method (< 30% Glazed)

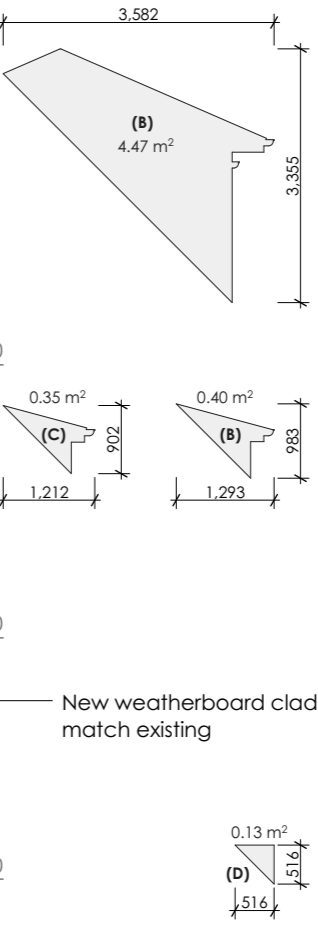
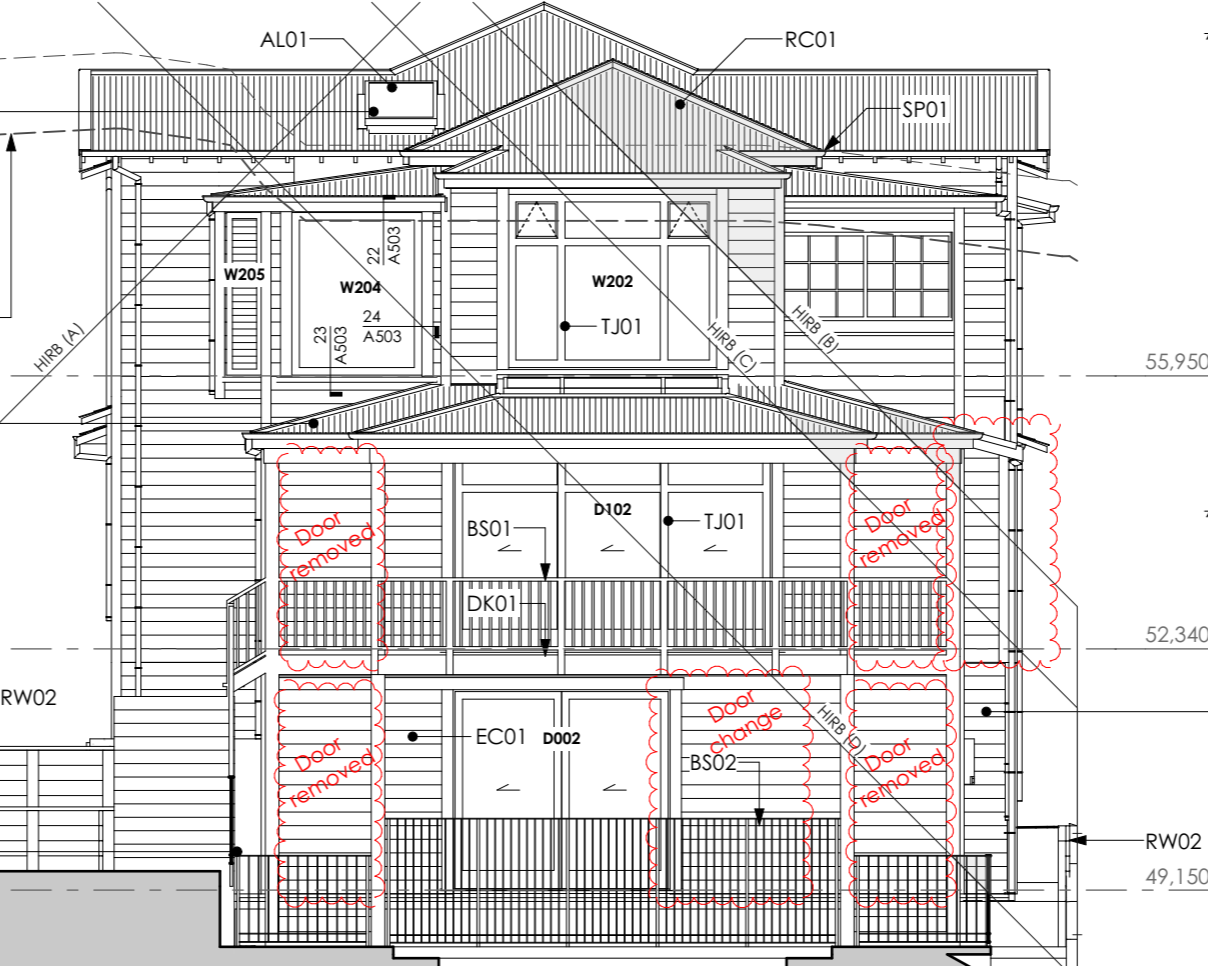
R-Values Achieved - Climate Zone 1	
Floor:	1.56 (1.3 min.)
Walls:	2.23 (1.9 min.)
Roof:	3.12 (2.9 min.)

See specification for compliance demonstration

Total Wall Area	= 514.01m²
(N=128.3, S=165.4, E=106.6, W=113.8)	
Total Glazed Area	= 129.01m²
(N=13.8, S=28.6, E=42.0, W=44.6)	
Total Glazed Area %	= 25.1 %
S+W+E Glazed Area %	= 29.9 %

Proposed South-West Elevation
Scale 1:100

New aluminium skylight
9m
8m
374
229
0.03 m²
(A)
55,950
New corrugated steel roofing at 15° (profile to match existing)
52,340
Height in relation to boundary demonstration (HIRB) as per AUP D18.6.1.2 (3m & 45°). Heights are given on site plan sheet A201
52,340
New 1200 high pool fence
49,150



Rev.	Description	Date
A	Risk Matrix amended	20/02/19
A	Cladding change	20/02/19
D	BC Amendment	19/06/19

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Job Title
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Residential Alterations & Additions
13 Laurie Avenue, Parnell, Auckland 1052

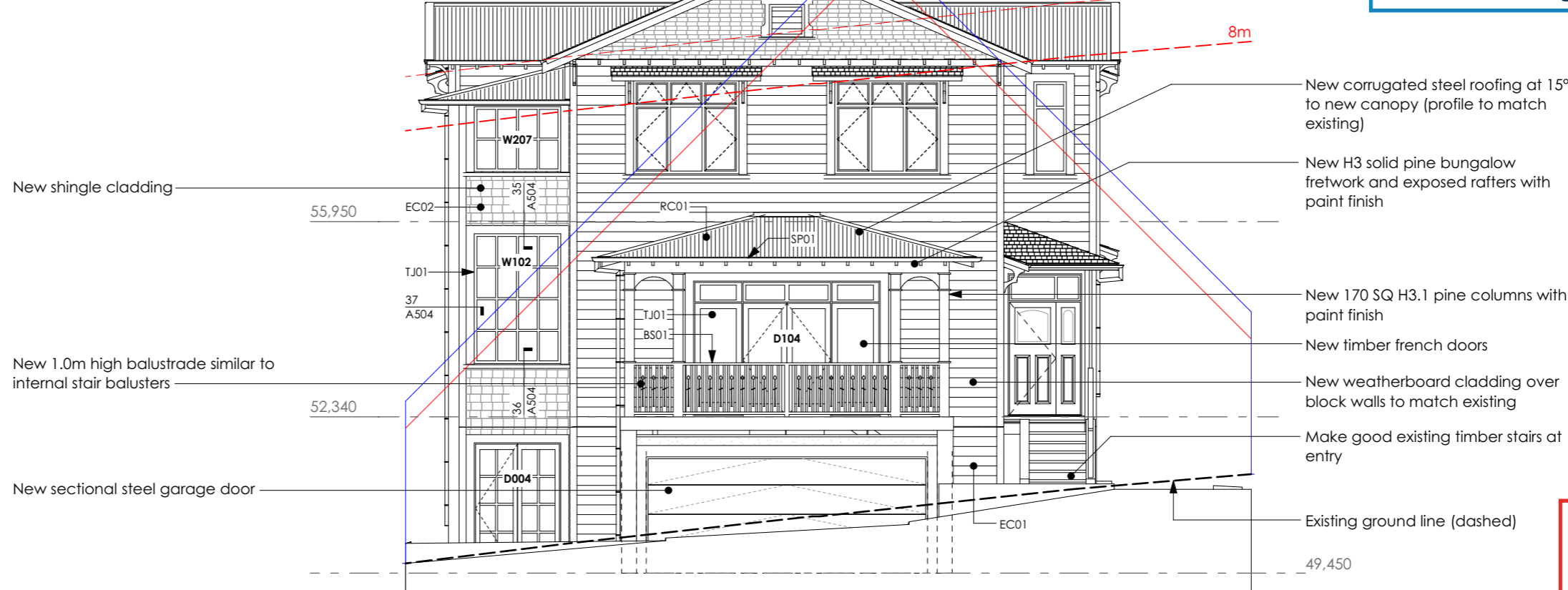
(D18) Proposed Elevations

Drawn: CW Checked: DPA
Job No: 1254 Date: 24/06/2019
Project Status:
Building Consent
Scale: 1:50 @A1
1:100 @A3 Rev. D **A301**
All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.

- AL-01 Aluminium Skylight - New double glazed Velux aluminium fixed skylight with EDW flashing kit fitted between existing roof framing (Refer to detail 15/16 on sheet A502)
- BS-01 Balustrade (timber) - New external timber balustrade. H3.2 SG8 pine posts, rails & infill with paint finish. refer to details
- BS-02 Balustrade (Steel) - New external steel balustrade & pool fencing. Mild steel posts, balusters & rails with powdercoat paint finish. refer to details
- CL-01 Ceiling Lining typical - New 13mm GIB standard plasterboard ceiling linings fixed to 70x35mm H1.2 ceiling battens (or GIB Rondo system) @ 400 crs as per manufacturers specifications. Square stop at wall junctions. Level 4 finish for painting
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- EC-01 External Cladding - New H3.1 Pre-primed Pine bevelback weatherboards to match existing on 20mm nominal cavity on Thermakraft Watgate 295 synthetic self supporting underlay (or similar approved alternative)**
- EC-02 External Cladding - New H3.1 cedar shingles to match original fixed H3.2 ply substrate on Thermakraft Watgate 295 synthetic self supporting underlay (or similar)
- FL-01 Flooring general - New engineered timber overlay on 20mm flooring grade plywood
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- FL-03 Flooring wet areas - New ceramic tiles on membrane as per details provided
- HR-01 Handrail - New pre-painted pine stair handrail 900-1000mm above pitch line on proprietary steel brackets fixed to wall. Refer to details
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- IN-02 Insulation: Ceiling - New 115mm Pink batts skillion roof (R3.2)
- RC-01 Roof cladding - New 0.4 BMT Roofing Industries corrugated steel roofing on Covertek 407 fire retardant synthetic self supporting underlay. 0.55 BMT Colorsteel Maxx flashings
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- RW-02 Retaining wall (Timber) - New Timber Pole retaining wall with free-draining backfill & Novacoil drainage (refer to details)
- SF-01 New Soffits - 9mm James Hardie Villaboard (or similar) with flush joints, paint finish
- SL-01 Concrete Slab - 100mm 25MPa concrete slab with SE62 reinforcing mesh on Expol R1.3 Thermaslab polystyrene insulation on thermathene orange DPM, 25mm sand blinding, 150mm compacted hardfill
- SP-01 Spouting - New Continuous Group Quarter Round 6,300mm² 0.5mm MagnaFlow spouting with internal brackets on H3.1 pre-primed 180x20 pine fascias. 80Ø downpipes to match
- ST-01 Stairs (internal) - New 35mm pine stairs glued, blocked & wedged into 15mm stringer rebate. 240x45 H1.2 SG8 stringers each side. 190mm max rise & 280 min. tread, 25mm max. nosing overhang. All works to comply with D1/AS1
- TJ-01 New Timber joinery - Double glazed H3.1 timber frames with cedar sashes pre-primed in factory. Trims and facings matched to original profiles
- TK-01 Tanking - Bitubond peel & stick damp proof membrane over block. Protect with 3mm corflute, installed as per manufacturers specifications
- TW-01 Timber Walls typical - H1.2 SG8 studs (refer to framing plan for crs) noggled at 800 crs generally - unless stated otherwise. all works to comply with NZS3604:2011
- WL-01 Internal wall linings typical - 10mm GIB standard throughout stopped to level 4 with paint finish (check braced/fire rated)
- WL-02 Internal wall linings wet areas - 10mm GIB Aqualine throughout stopped to level 4 with paint finish (check braced/fire rated)

Proposed North-East Elevation

Scale 1:100



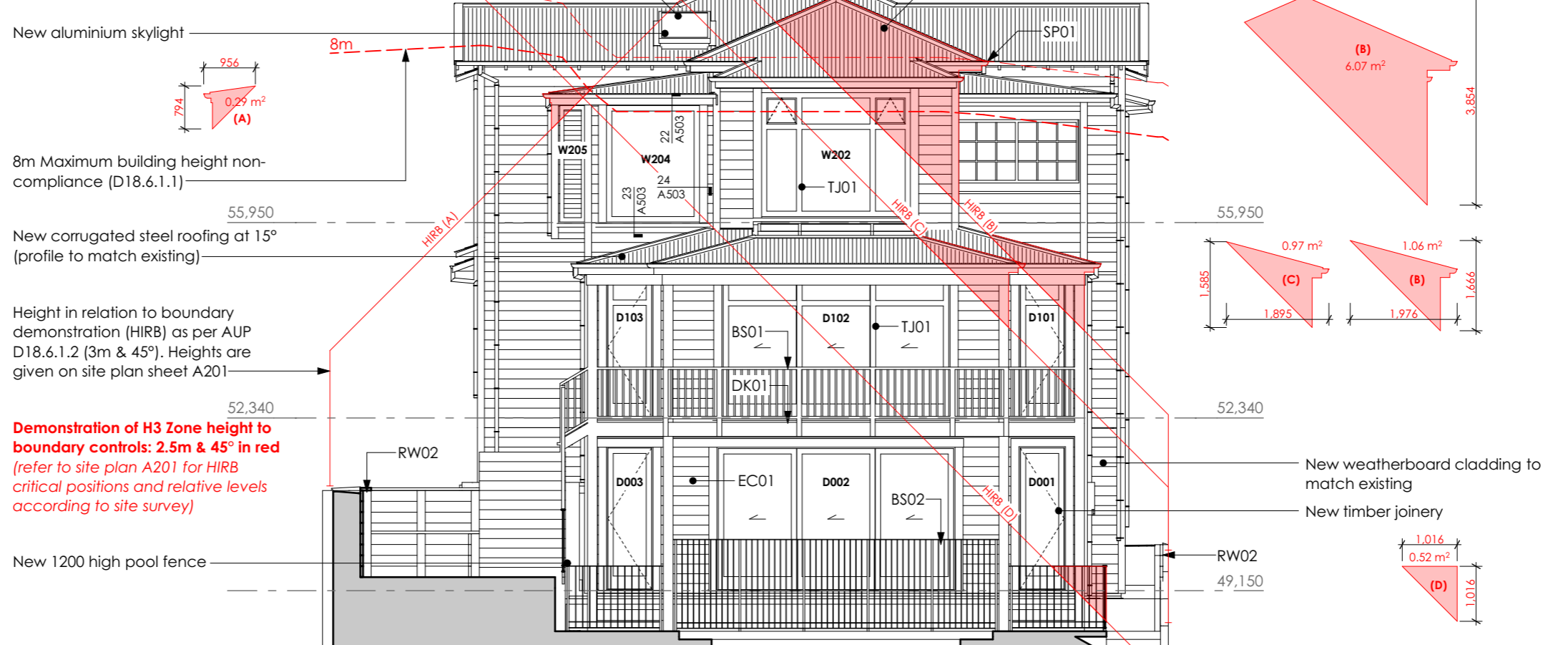
New shingle cladding

New 1.0m high balustrade similar to internal stair balusters

New sectional steel garage door

Proposed South-West Elevation

Scale 1:100



New aluminium skylight

8m Maximum building height non-compliance (D18.6.1.1)

New corrugated steel roofing at 15° (profile to match existing)

Height in relation to boundary demonstration (HIRB) as per AUP D18.6.1.2 (3m & 45°). Heights are given on site plan sheet A201

Demonstration of H3 Zone height to boundary controls: 2.5m & 45° in red (refer to site plan A201 for HIRB critical positions and relative levels according to site survey)

New 1200 high pool fence

Auckland Council
Te Kaitiaki o Tamaki Makaurau

01 MAY 2019
BCO10282383
APPROVED
BUILDING CONSENT PLANS

Rev.	Description	Date
A	Cladding change	20/02/19

BESPOKE nz ltd.

Suite 4, 26 Victoria Road, Devonport, Auckland
P.O. BOX 32-167
Devonport
Auckland 0744
Tel - 09 445 7095

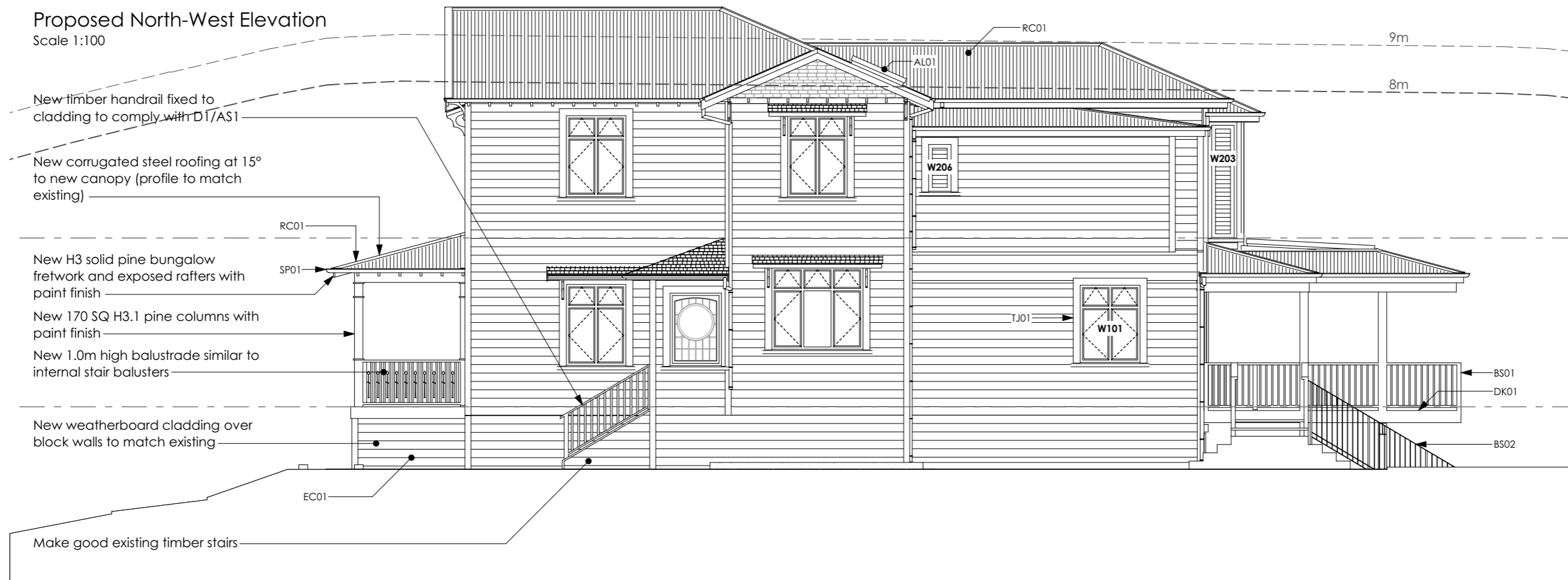
Job Title
S Jayaraman & J Davidson
Residential Alterations & Additions
13 Laurie Avenue, Parnell, Auckland 1052

(H3) Proposed Elevations

Drawn: DPA Design: Bespoke
Job No: 1254 Date: 21/02/2019
Project Status:
Building Consent
Scale: 1:50 @A1 Rev. A **A301**
1:100 @A3
All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.

Proposed North-West Elevation

Scale 1:100



Proposed South-East Elevation

Scale 1:100



15 JUL 2019
BCO10282383-A
AMENDED
BUILDING CONSENT PLANS

Rev.	Description	Date
D	BC Amendment	19/06/19

dpa architects

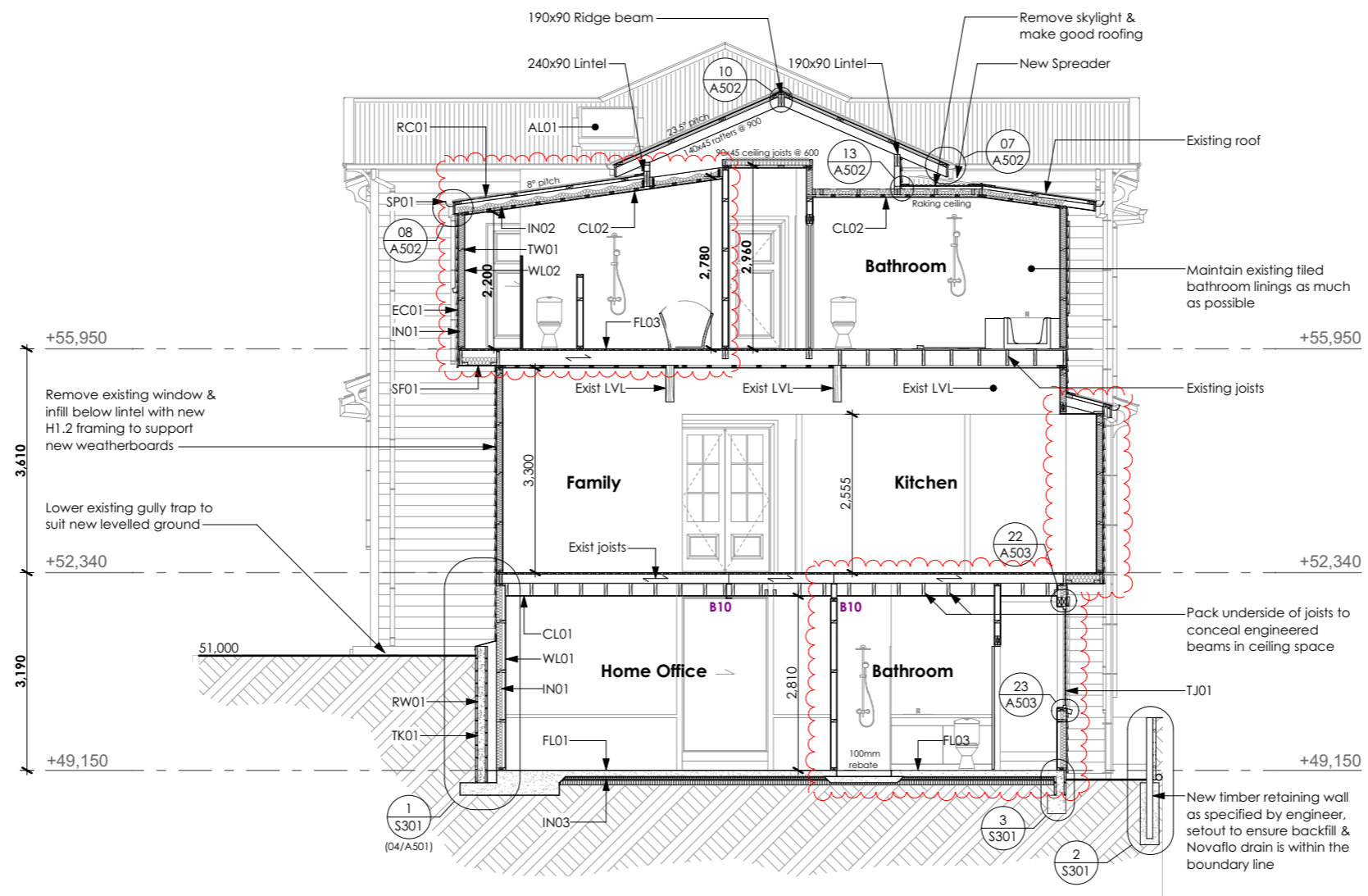
83 Victoria Road, PO BOX 32-318,
Devonport, Auckland 0744
www.dpaarchitects.co.nz
ph: +649 445 8544

Job Title
S Jayaraman & J Davidson
Residential Alterations & Additions
13 Laurie Avenue, Parnell, Auckland 1052

Proposed Elevations

Drawn: CW Checked: DPA
Job No: 1254 Date: 24/06/2019
Project Status:
Building Consent
Scale: 1:50 @A1
1:100 @A3 Rev. D **A302**

All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.



- AL-01** Aluminium Skylight - New double glazed Velux aluminium fixed skylight with EDW flashing kit fitted between existing roof framing (Refer to detail 15/16 on sheet A502)
- BS-01** Balustrade (timber) - New external timber balustrade, H3.2 SG8 pine posts, rails & infill with paint finish. refer to details
- BS-02** Balustrade (Steel) - New external steel balustrade & pool fencing. Mild steel posts, balusters & rails with powdercoat paint finish. refer to details
- CL-01** Ceiling Lining typical - New 13mm GIB standard plasterboard ceiling linings fixed to 70x35mm H1.2 ceiling battens (or GIB Rondo system) @ 400 crs as per manufacturers specifications. Square stop at wall junctions. Level 4 finish for painting
- CL-02** Ceiling Lining wet areas - New 13mm GIB Aqualine plasterboard ceiling linings fixed to 70x35mm H1.2 ceiling battens (or GIB Rondo system) @ 400 crs as per manufacturers specifications. Square stop at wall junctions. Level 4 finish for painting
- DK-01** Decking - New 140x20 Herman Pacific Vitex hardwood watershed decking (HP92) with stain/oil finish. All fixings to be stainless steel

- EC-01** External Cladding - New H3.1 Pre-primed Pine bevelback weatherboards to match existing on 20mm nominal cavity on Thermakraft Watergate 295 synthetic self supporting underlay (or similar approved alternative)
- EC-02** External Cladding - New H3.1 cedar shingles to match original fixed H3.2 plywood substrate on Thermakraft Watergate 295 synthetic self supporting underlay (or similar)
- FL-01** Flooring general - New engineered timber overlay on 20mm flooring grade plywood
- FL-02** Flooring bedrooms - New Nylon carpet on underlay fixed with edge grippers
- FL-03** Flooring wet areas - New ceramic tiles on membrane as per details provided
- HR-01** Handrail - New pre-painted pine stair handrail 900-1000mm above pitch line on proprietary steel brackets fixed to wall. Refer to details
- IN-01** Insulation: walls - New 90mm Pink Batts Wall Ultra (R2.6)
- IN-02** Insulation: Ceiling - New 115mm Pink batts skillion roof (R3.2)

- RC-01** Roof cladding - New 0.4 BMT Roofing Industries corrugated steel roofing on Covertek 407 fire retardant synthetic self supporting underlay. 0.55 BMT Colorsteel Maxx flashings
- RW-01** Retaining wall (Block) - New 20 series solid filled & reinforced block retaining wall with free-draining backfill & Novacoil drainage
- RW-02** Retaining wall (Timber) - New Timber Pole retaining wall with free-draining backfill & Novacoil drainage (refer to details)
- SF-01** New Soffits - 9mm James Hardie Villaboard (or similar) with flush joints, paint finish
- SL-01** Concrete Slab - 100mm 25MPa concrete slab with SE62 reinforcing mesh on Expol R1.3 ThermaSlab polystyrene insulation on thermathene orange DPM, 25mm sand blinding, 150mm compacted hardfill
- SP-01** Spouting - New Continuous Group Quarter Round 6,300mm² 0.5mm MagnaFlow spouting with internal brackets on H3.1 pre-primed 180x20 pine fascias. 80 \varnothing downpipes to match

- ST-01** Stairs (internal) - New 35mm pine stairs glued, blocked & wedged into 15mm stringer rebate. 240x45 H1.2 SG8 stringers each side. 190mm max rise & 280 min. tread, 25mm max. nosing overhang. All works to comply with D1/AS1
- TJ-01** New Timber joinery - Double glazed H3.1 timber frames with cedar sashes pre-primed in factory. Trims and facings matched to original profiles
- TK-01** Tanking - Bitubond peel & stick damp proof membrane over block. Protect with 3mm carflute, installed as per manufacturers specifications
- TW-01** Timber Walls typical - H1.2 SG8 studs (refer to framing plan for crs) nogged at 800 crs generally - unless stated otherwise. all works to comply with NZS3604:2011
- WL-01** Internal wall linings typical - 10mm GIB standard throughout stopped to level 4 with paint finish (check braced/fire rated)
- WL-02** Internal wall linings wet areas - 10mm GIB Aqualine throughout stopped to level 4 with paint finish (check braced/fire rated)

Rev.	Description	Date
A	Cladding change	20/02/19
D	Kitchen popout per RC	10/06/19
D	Layout changes	10/06/19



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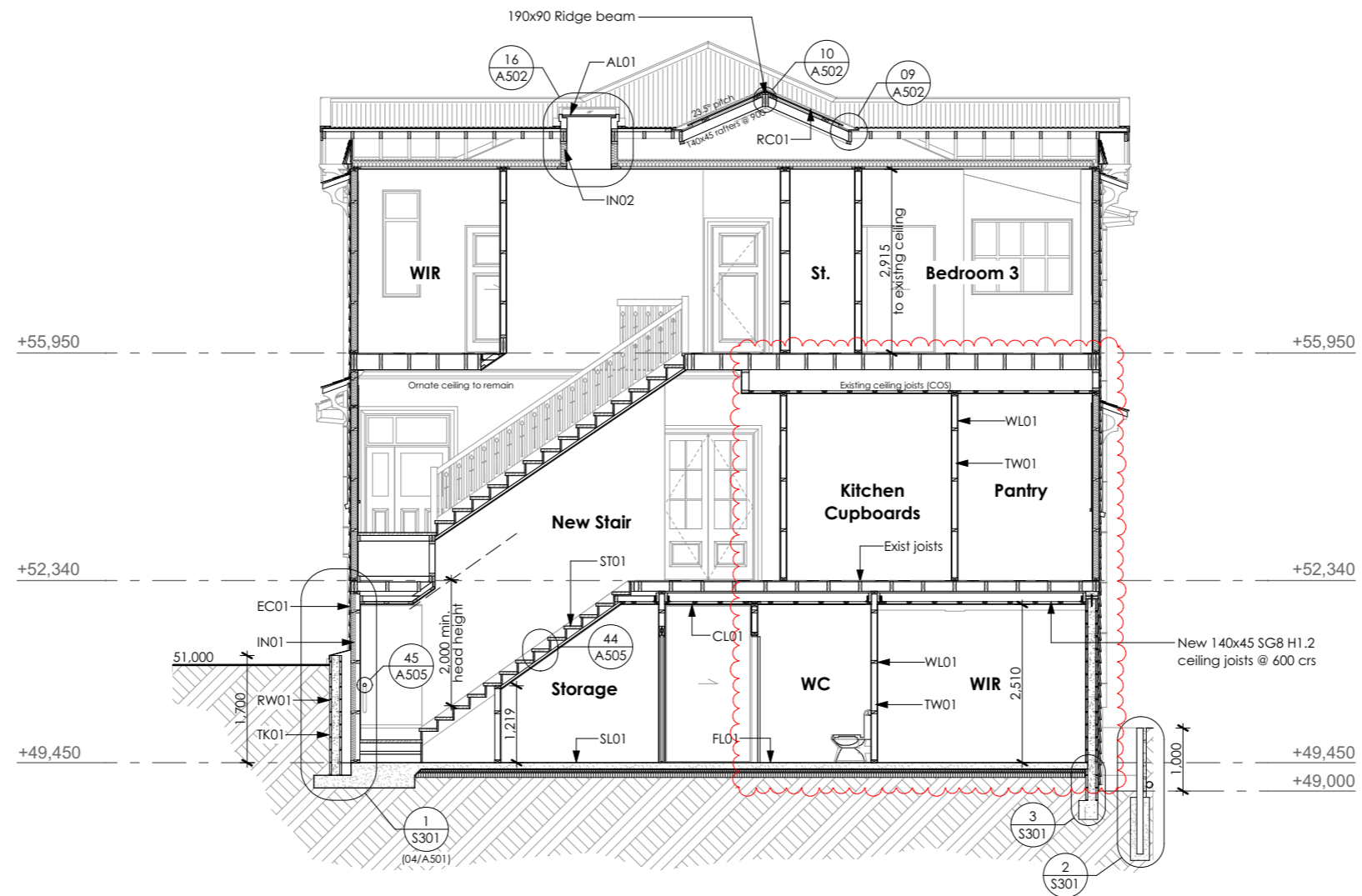
Job Title
S Jayaraman & J Davidson
Residential Alterations & Additions
13 Laurie Avenue, Parnell, Auckland 1052

Cross Sections



15 JUL 2019
BCO10282383-A
AMENDED
BUILDING CONSENT PLANS

Drawn: CW	Checked: DPA
Job No: 1254	Date: 24/06/2019
Project Status: Building Consent	
Scale: 1:50 @A1 1:100 @A3	Rev. D A401
All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.	



- AL-01** Aluminium Skylight - New double glazed Velux aluminium fixed skylight with EDW flashing kit fitted between existing roof framing (Refer to detail 15/16 on sheet A502)
- BS-01** Balustrade (timber) - New external timber balustrade, H3.2 SG8 pine posts, rails & infill with paint finish. refer to details
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15 JUL 2019

BCO10282383-A

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BUILDING CONSENT PLANS

Rev.	Description	Date
A	Cladding change	20/02/19
D	Internal Layout changes	10/06/19

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83 Victoria Road, PO BOX 32-318,
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Job Title

S Jayaraman & J Davidson

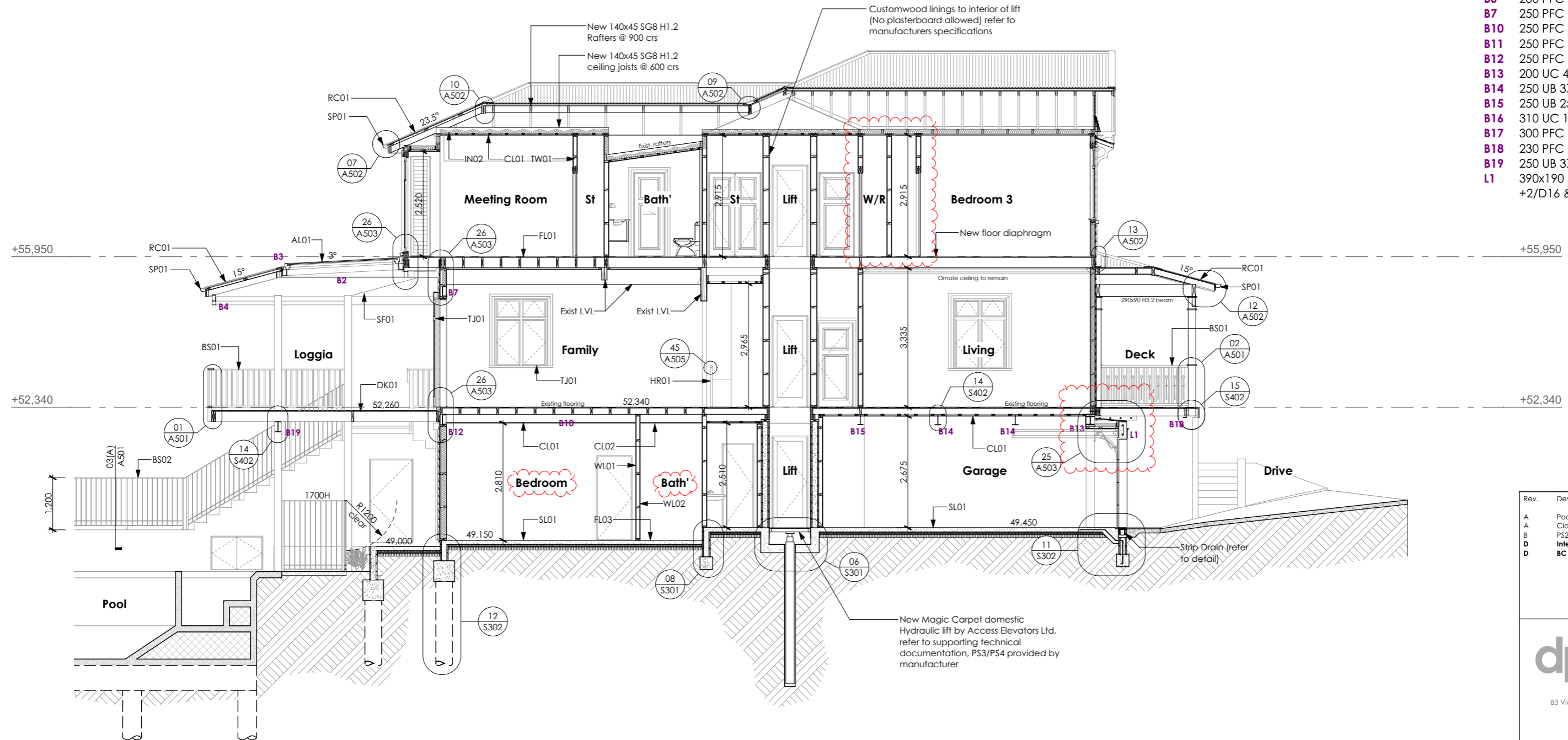
Residential Alterations & Additions

13 Laurie Avenue, Parnell, Auckland 1052

Cross Sections	
Drawn: CW	Checked: DPA
Job No: 1254	Date: 24/06/2019
Project Status: Building Consent	
Scale: 1:50 @A1	Rev. D A402
All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.	

Beam Schedule

- B1** 180 PFC
- B2** 150 PFC
- B3** 200 PFC Cranked Beam
- B4** 150 PFC
- B5** 150 PFC
- B6** 200 PFC
- B7** 250 PFC
- B10** 250 PFC
- B11** 250 PFC
- B12** 250 PFC
- B13** 200 UC 46.2 Portal
- B14** 250 UB 37.3
- B15** 250 UB 25.7
- B16** 310 UC 118
- B17** 300 PFC
- B18** 230 PFC
- B19** 250 UB 37.3
- L1** 390x190 Block Lintel
+2/D16 & R6 @ 200 crs



Rev.	Description	Date
A	Pool fence dimensions	20/02/19
A	Cladding change	20/02/19
B	PS2 Engineer revisions	26/03/19
D	Internal layout changes	10/06/19
D	BC Amendment	19/06/19



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Job Title
S Jayaraman & J Davidson
Residential Alterations & Additions
13 Laurie Avenue, Parnell, Auckland 1052

Cross Sections

Drawn: CW	Checked: DPA
Job No: 1254	Date: 24/06/2019
Project Status: Building Consent	
Scale: 1:50 @A1 1:100 @A3	Rev. D A403
All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.	

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Auckland Council

15 JUL 2019

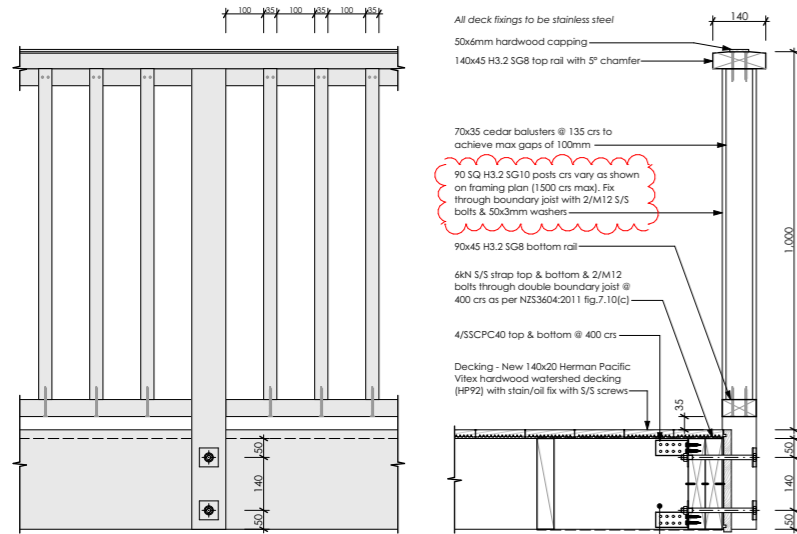
BCO10282383-A

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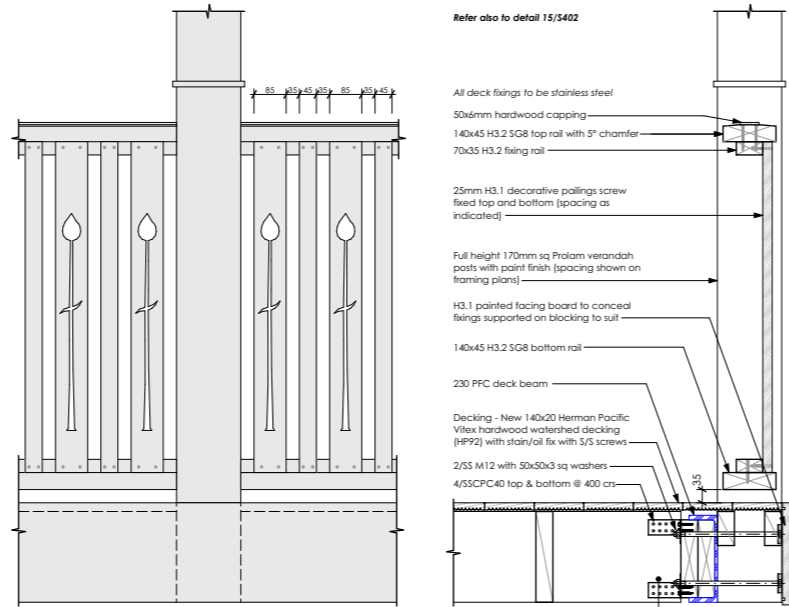
BUILDING CONSENT PLANS

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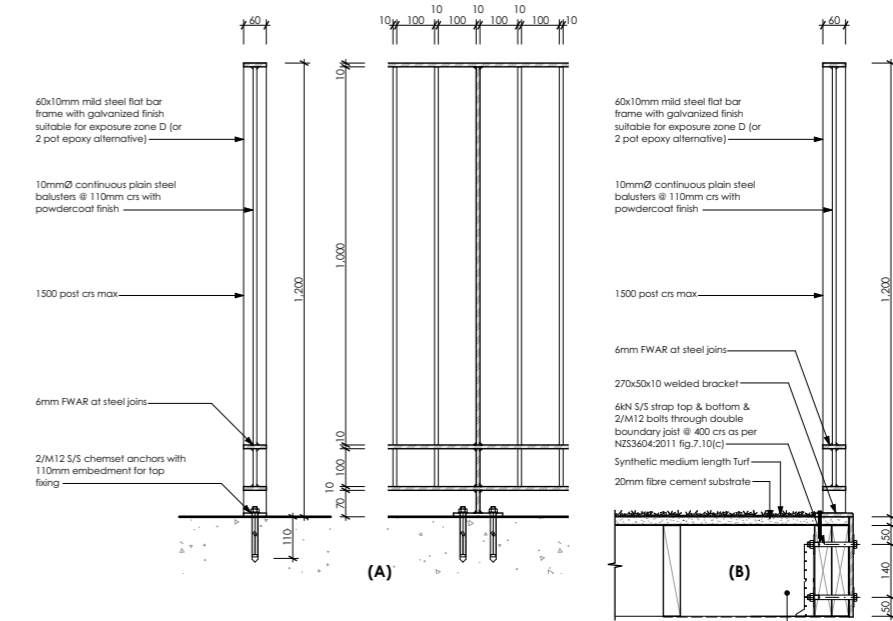
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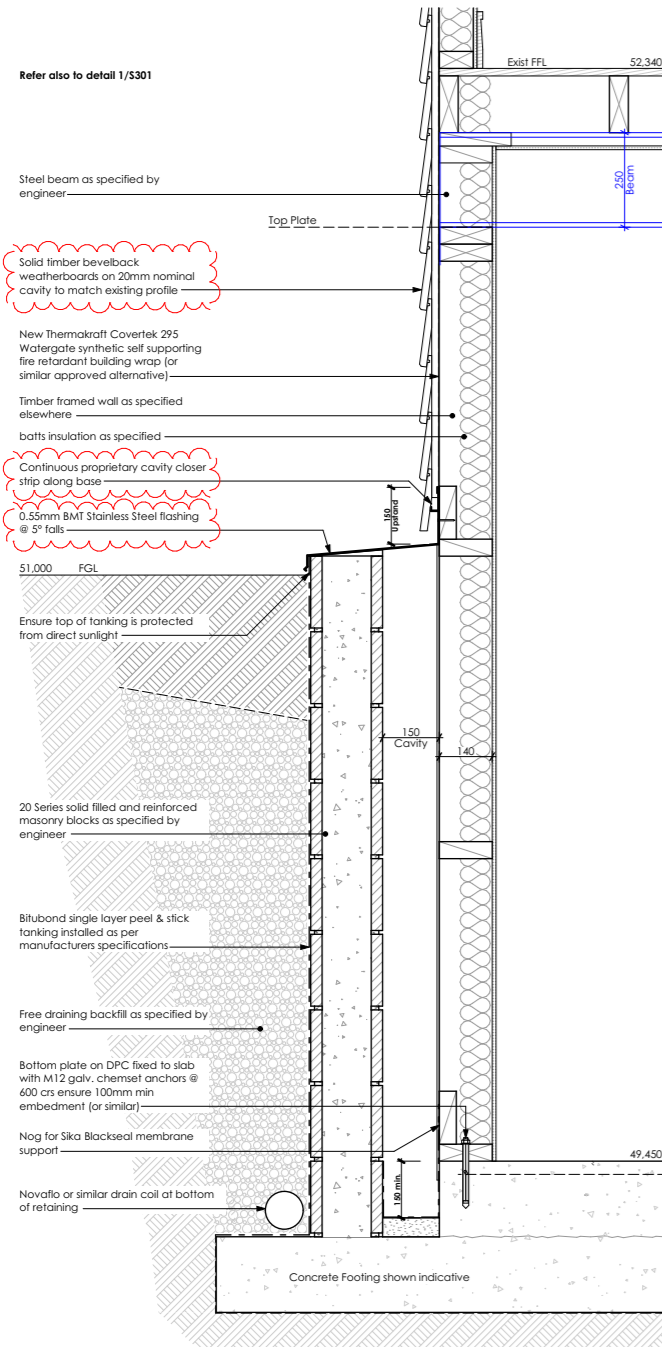
01 Rear Deck Balustrade A204 Scale 1:10 @ A1



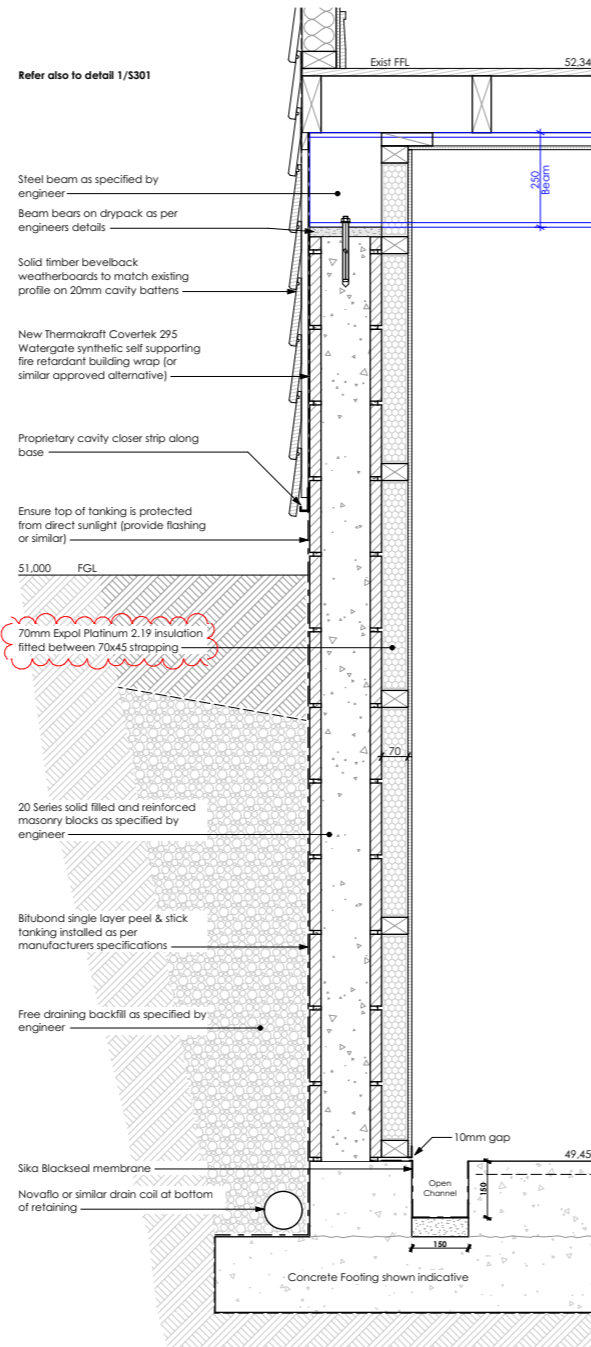
02 Front Deck Balustrade A204 Scale 1:10 @ A1



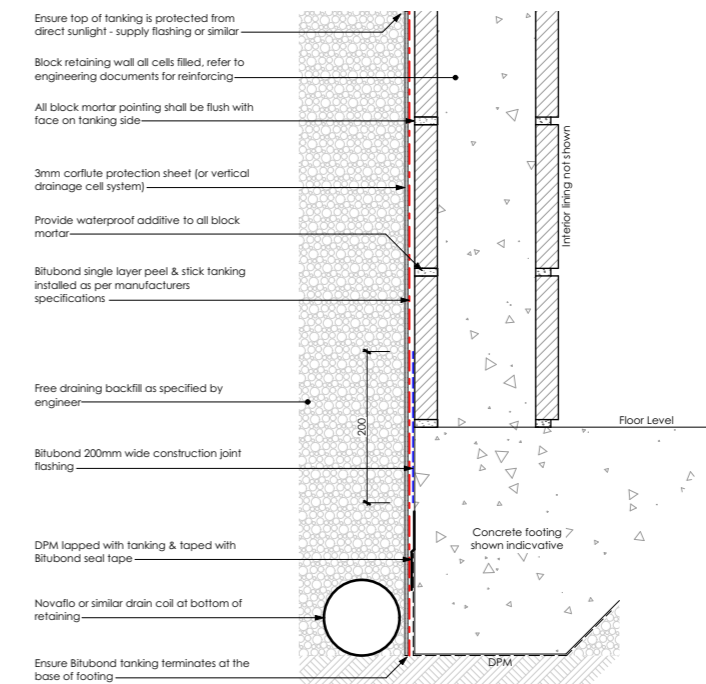
03 Pool fence A203 Scale 1:10 @ A1



04 Offset Masonry Retaining Wall A203 Scale 1:10 @ A1



05 In-Line Masonry Retaining Wall A203 Scale 1:10 @ A1



00 Block Tanking Scale 1:5 @ A1



Rev.	Description	Date
A	Flashing material	20/02/19
A	Insulation specified	20/02/19
A	Cladding change	20/02/19
A	Balustrade post SG10	20/02/19

BESPOKE nz ltd.

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P.O. BOX 32-167
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Tel - 09 445 7095

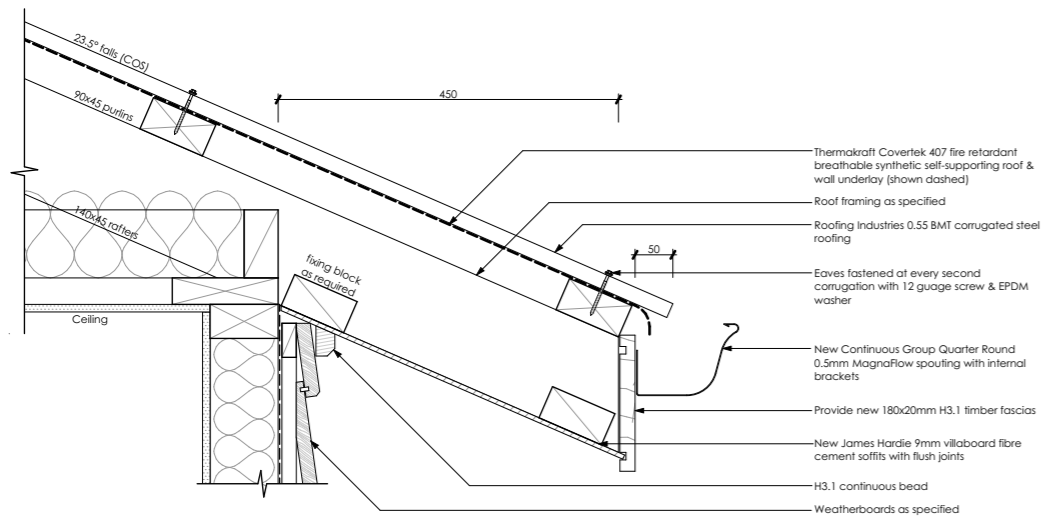
Job Title
S Jayaraman & J Davidson
Residential Alterations & Additions
13 Laurie Avenue, Parnell, Auckland 1052

Details

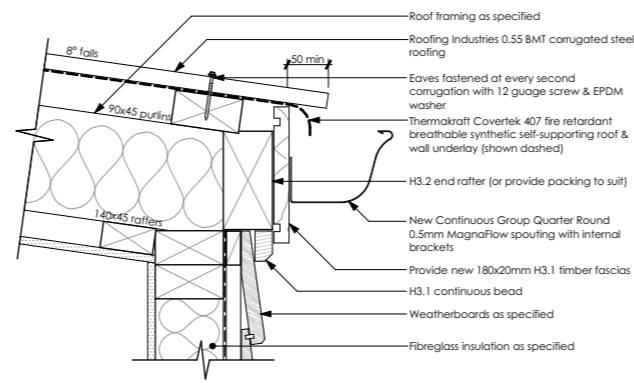
Drawn: DPA Design: Bespoke
Job No: 1254 Date: 21/02/2019
Project Status:
Building Consent

Scale : See Detail Rev. A A501

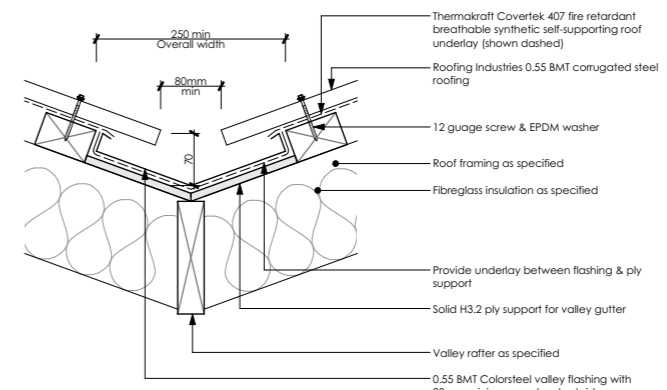
All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.



07 Roof Eaves
A216 Scale 1:5 @ A1

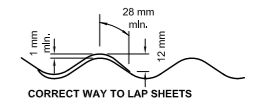
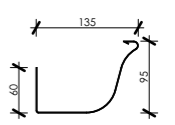


08 Clipped Roof Eaves
A216 Scale 1:5 @ A1

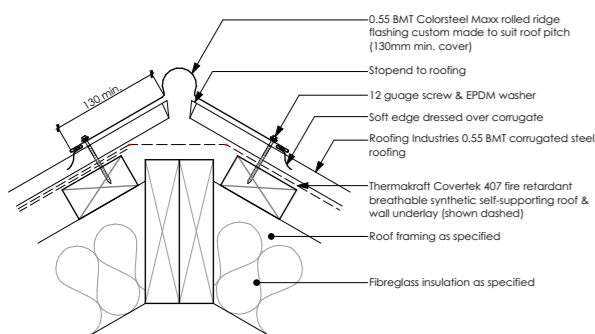


09 Roof Valley
A216 Scale 1:5 @ A1

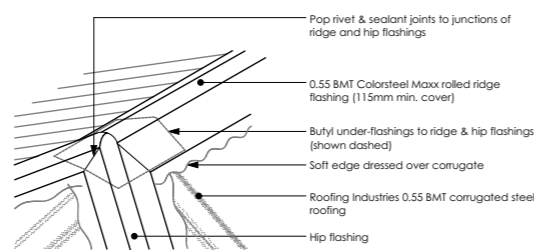
Spouting
New Continuous Group Quarter Round 6.300mm² 0.5mm MagnaFlow spouting with internal brackets on H3.1 pre-primed 180x20 pine fascias. 800mm downpipes to match



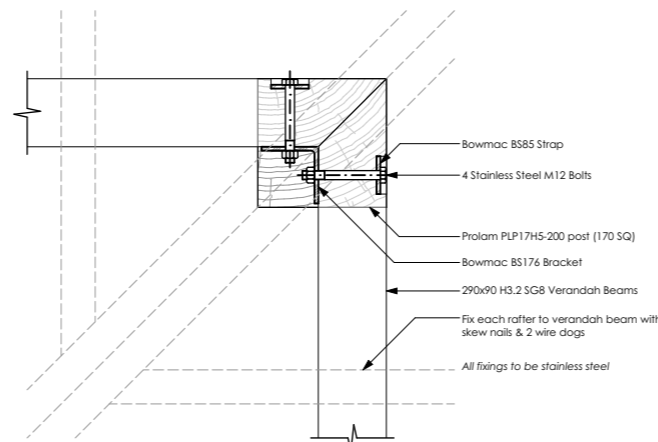
CORRECT WAY TO LAP SHEETS



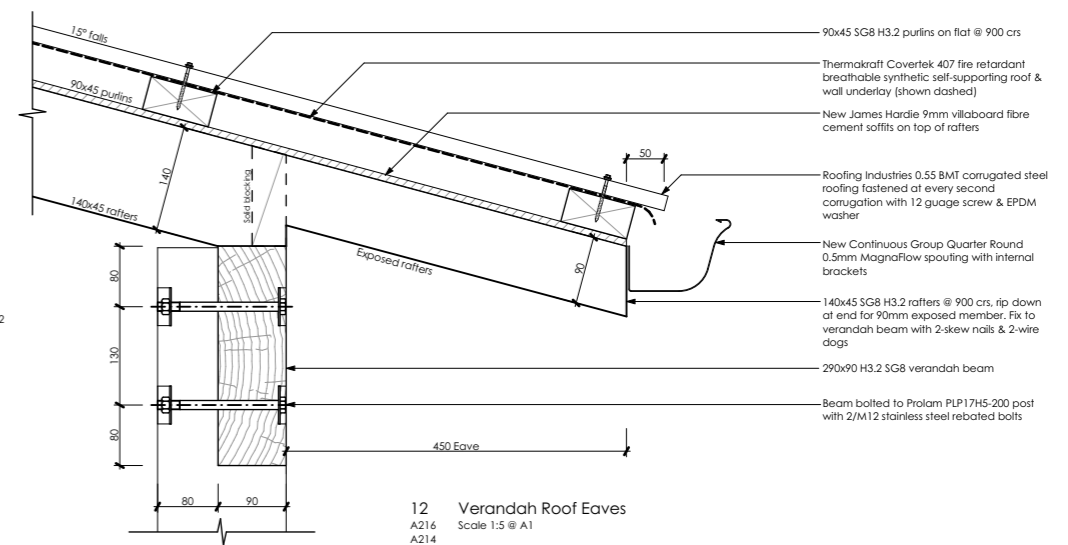
10 Roof Ridge/Hip
A216 Scale 1:5 @ A1



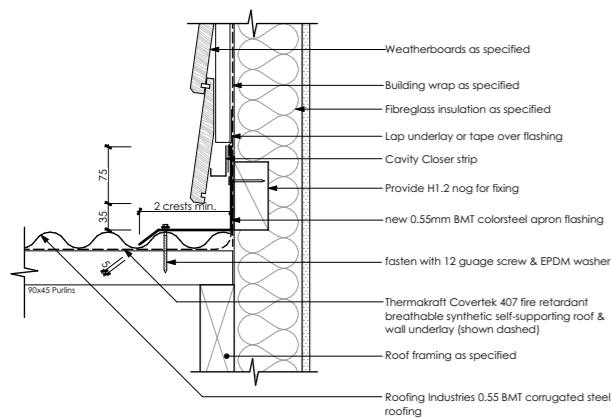
Roof Hip Flashing
Scale 1:5 @ A1



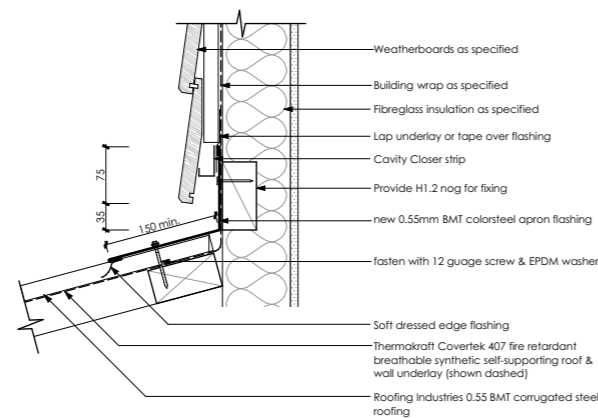
11 Verandah Corner Post/Beam Fixing
A214 Scale 1:5 @ A1



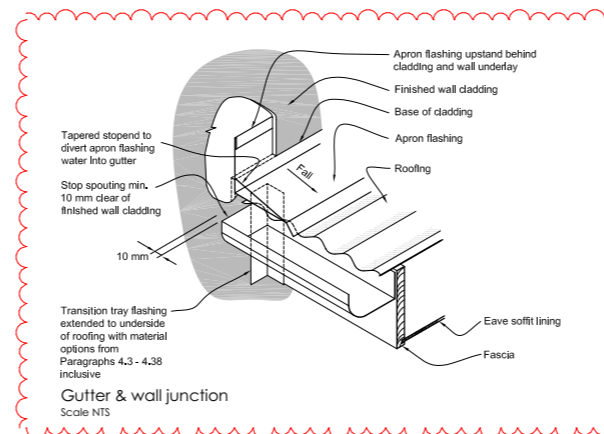
12 Verandah Roof Eaves
A216 A214 Scale 1:5 @ A1



13 Roof Apron (Parallel)
A216 Scale 1:5 @ A1



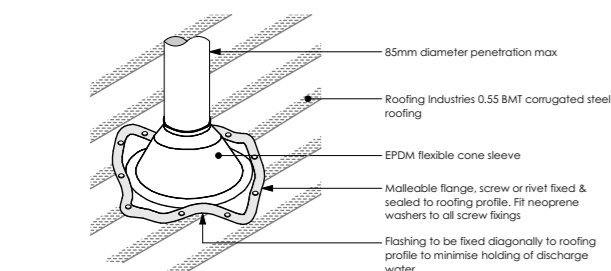
14 Roof Apron (Transverse)
A216 Scale 1:5 @ A1



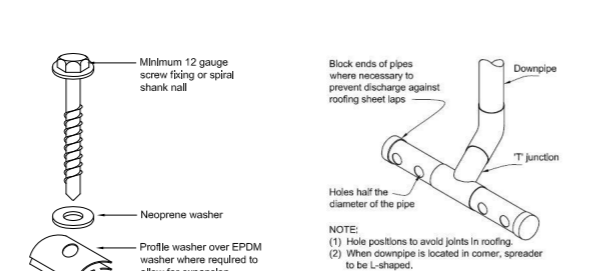
Gutter & wall junction
Scale NTS

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01 MAY 2019
BCO10282383
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BUILDING CONSENT PLANS

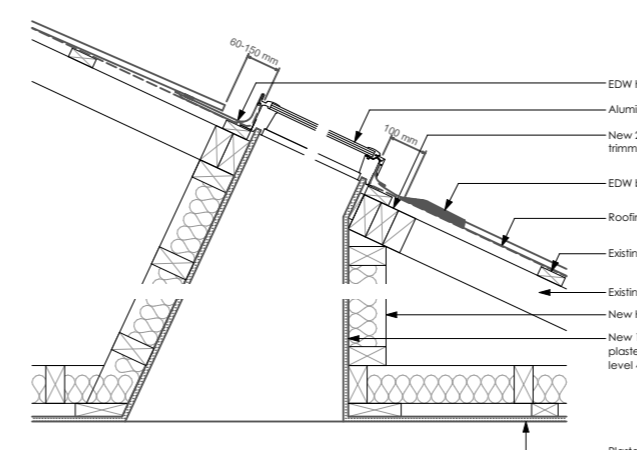
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21 FEB 2019
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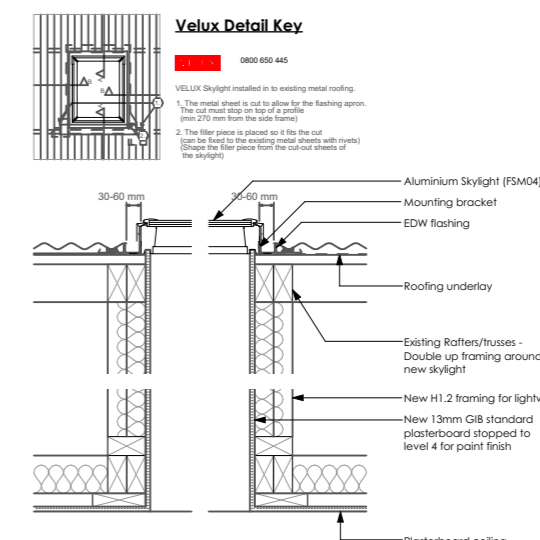
Roof Penetration Boot-Flashing
Scale 1:5 @ A1



Roof Fixings
Scale NTS



15 Velux Fixed Skylight
A216 Scale 1:10



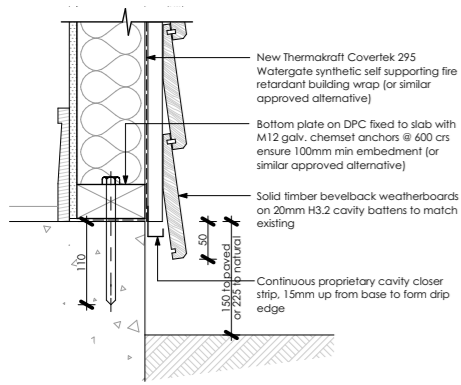
16 Velux Fixed Skylight
A216 Scale 1:10

Rev.	Description	Date
A	Junction detail added	20/02/19
A	Add cladding cavity	20/02/19

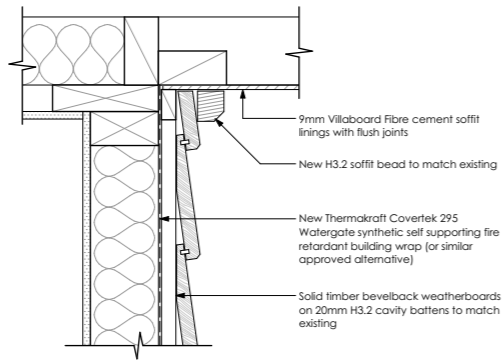
BESPOKE nz ltd.
Suite 4, 26 Victoria Road, Devonport, Auckland
P.O. BOX 32-167
Devonport
Auckland 0744
Tel - 09 445 7095

Job Title
S Jayaraman & J Davidson
Residential Alterations & Additions
13 Laurie Avenue, Parnell, Auckland 1052

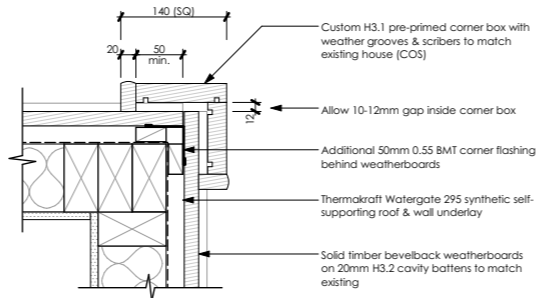
Details
Drawn: DPA Design: Bespoke
Job No: 1254 Date: 21/02/2019
Project Status:
Building Consent
Scale : See Detail Rev. **A A502**
All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.



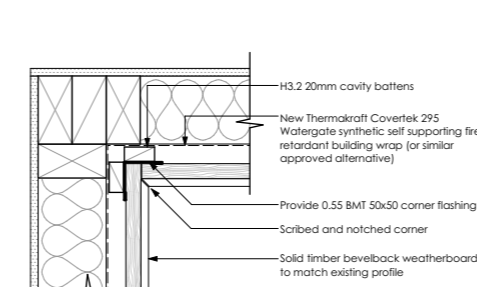
17 Weatherboard base detail
Scale 1:5 @ A1



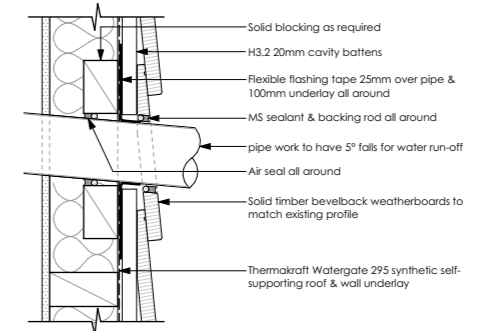
18 Weatherboard Junction at Soffit
Scale 1:5 @ A1



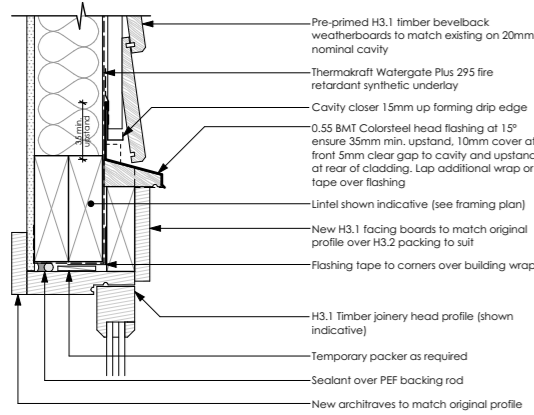
19 Weatherboard External Corner
Scale 1:5 @ A1



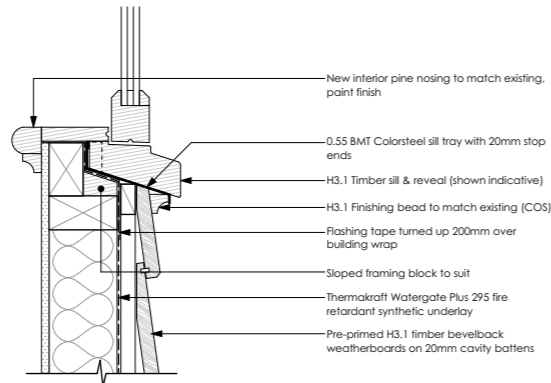
20 Weatherboard Internal Corner
Scale 1:5 @ A1



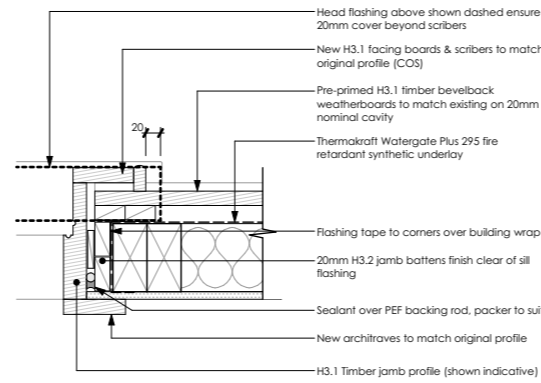
21 Weatherboard Pipe penetration
Scale 1:5 @ A1



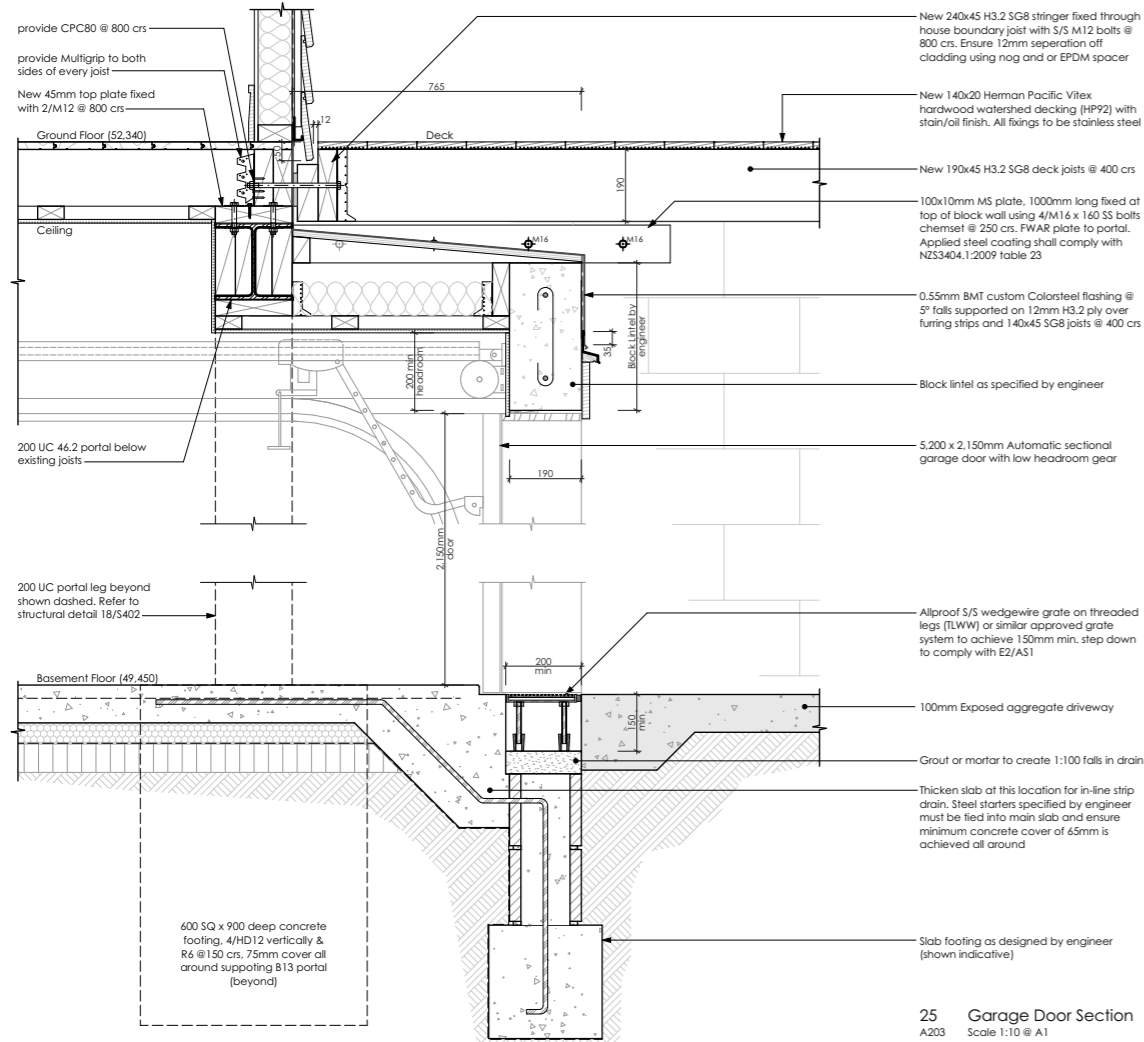
22 Joinery Head
Scale 1:5 @ A1



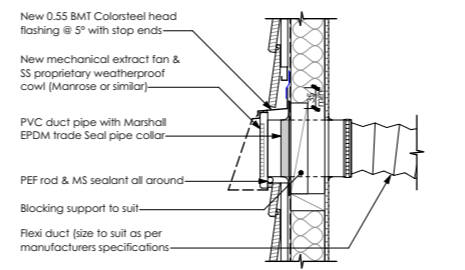
23 Joinery Sill
Scale 1:5 @ A1



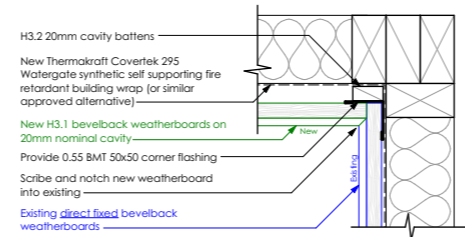
24 Joinery Jamb
Scale 1:5 @ A1



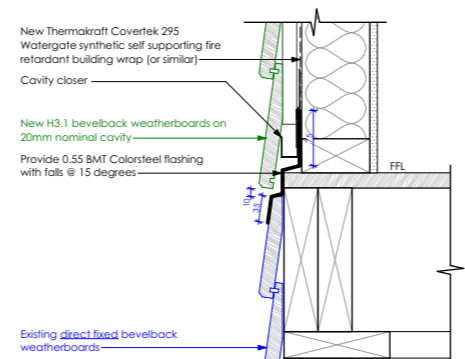
25 Garage Door Section
Scale 1:10 @ A1



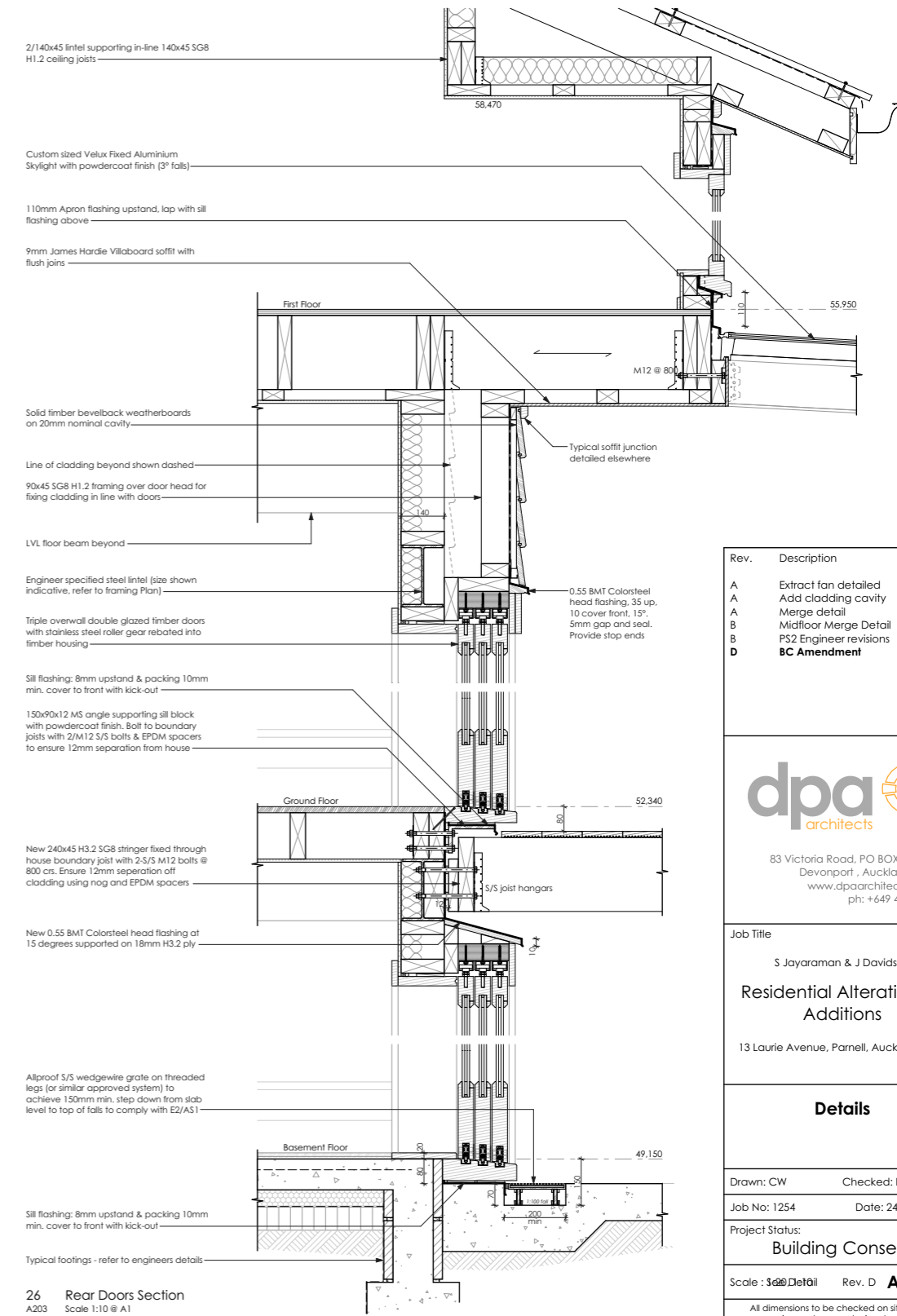
Extract Fan Wall Penetration Detail
Scale 1:10



Existing & New Cladding Merge
Scale 1:5 @ A1



Cladding Merge at mid-floor
Scale 1:5 @ A1



26 Rear Doors Section
Scale 1:10 @ A1

Auckland Council

15 JUL 2019

BCO10282383-A

AMENDED

BUILDING CONSENT PLANS

Rev.	Description	Date
A	Extract fan detailed	20/02/19
A	Add cladding cavity	20/02/19
A	Merge detail	20/02/19
B	Midfloor Merge Detail	28/02/19
B	PS2 Engineer revisions	26/03/19
D	BC Amendment	19/06/19



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Job Title

S Jayaraman & J Davidson

Residential Alterations & Additions

13 Laurie Avenue, Parnell, Auckland 1052

Details

Drawn: CW Checked: DPA

Job No: 1254 Date: 24/06/2019

Project Status:

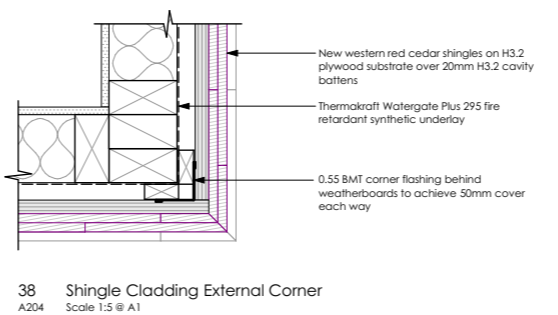
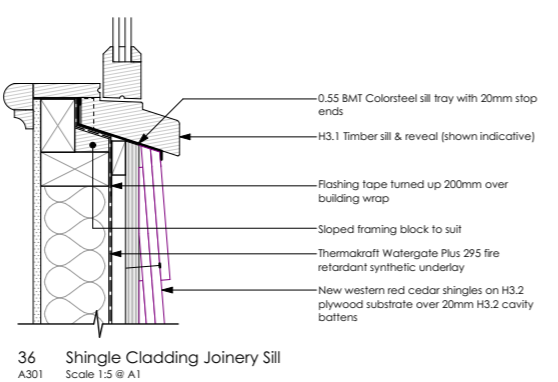
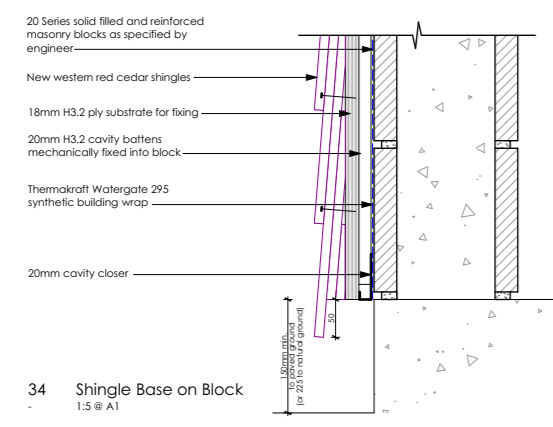
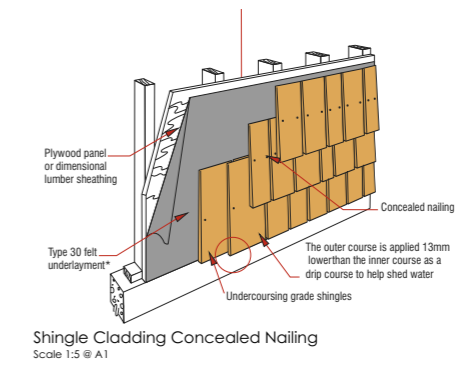
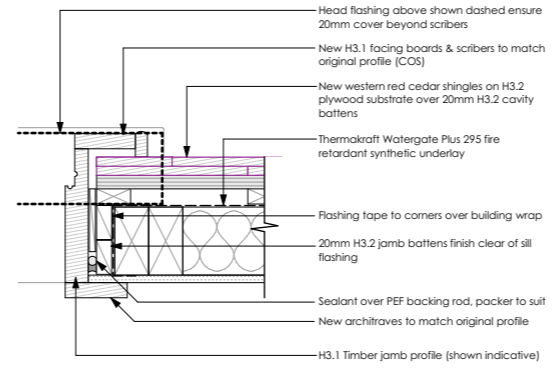
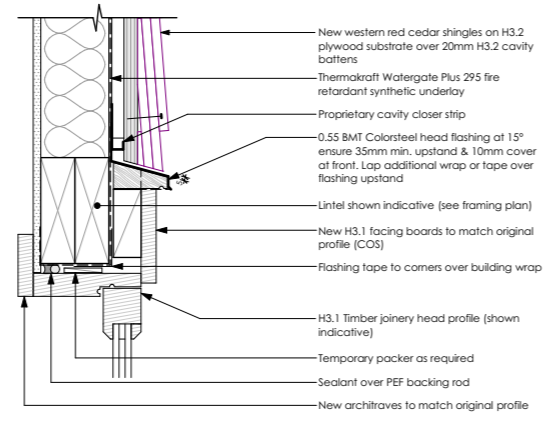
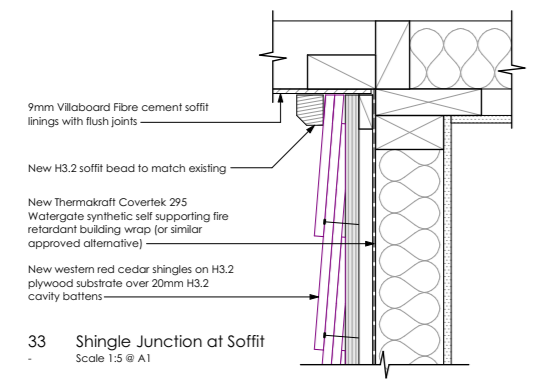
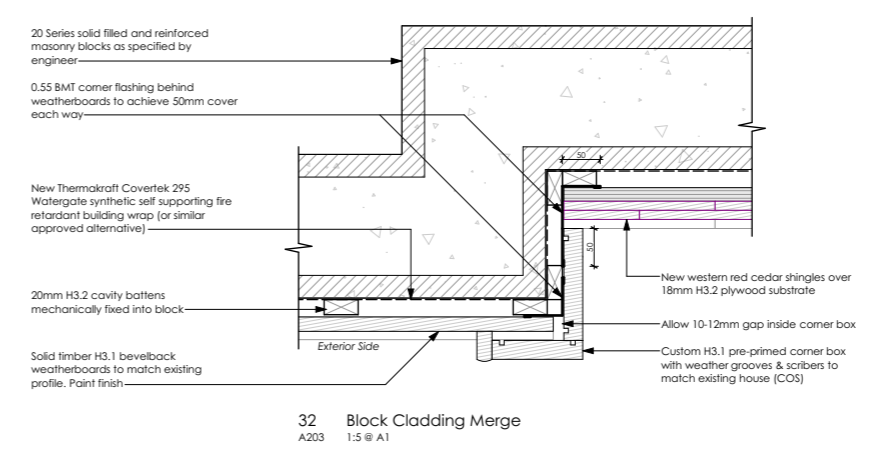
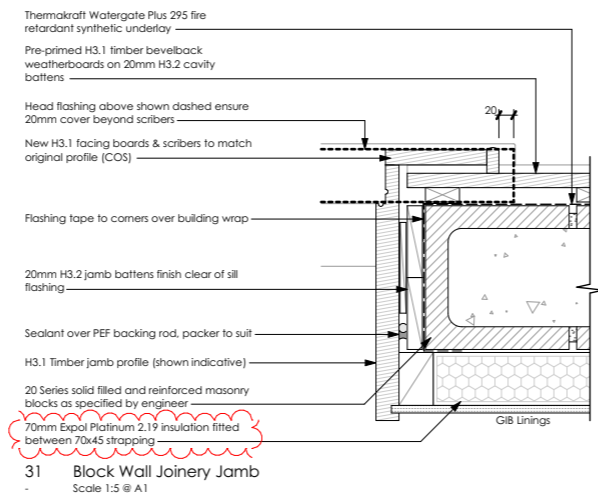
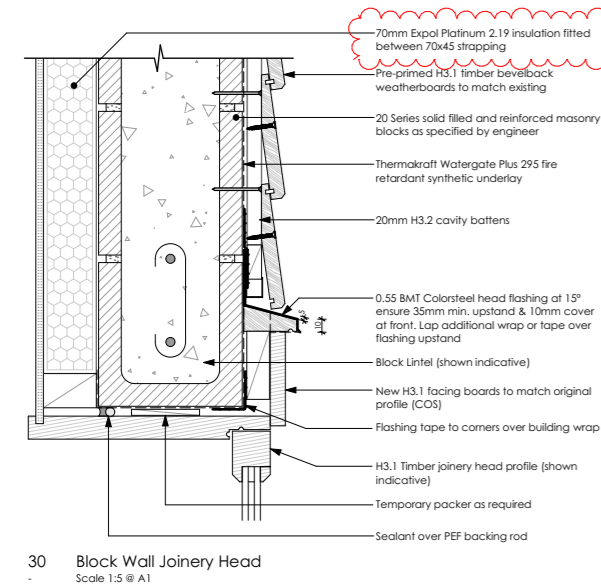
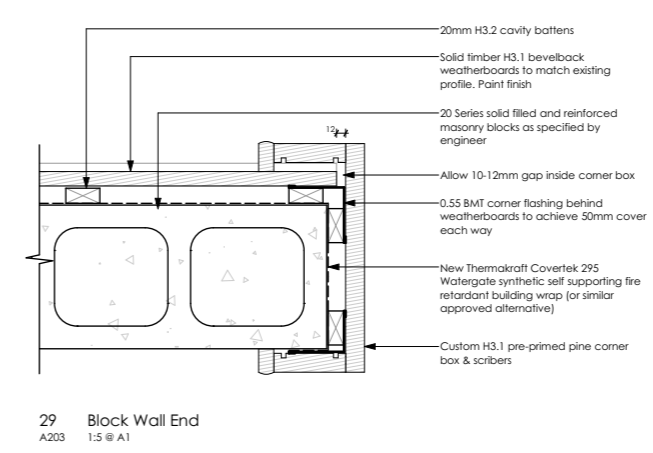
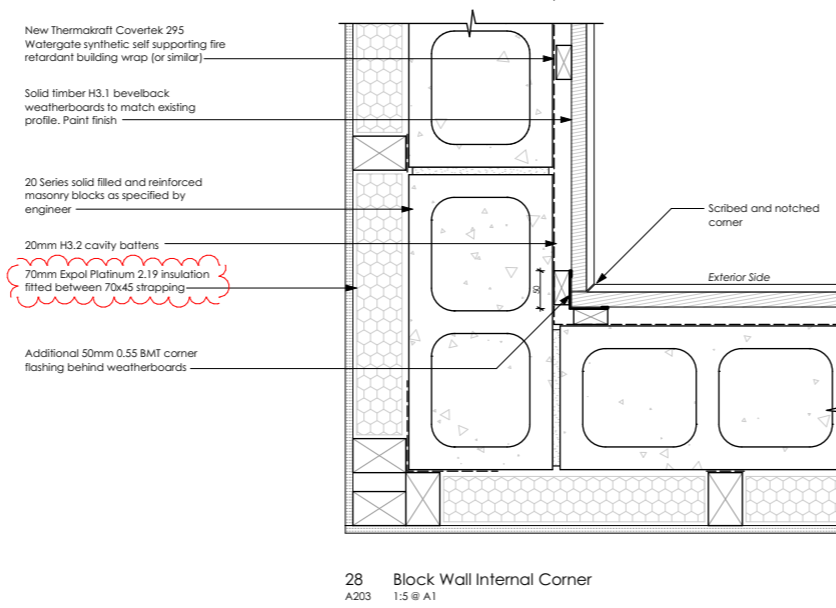
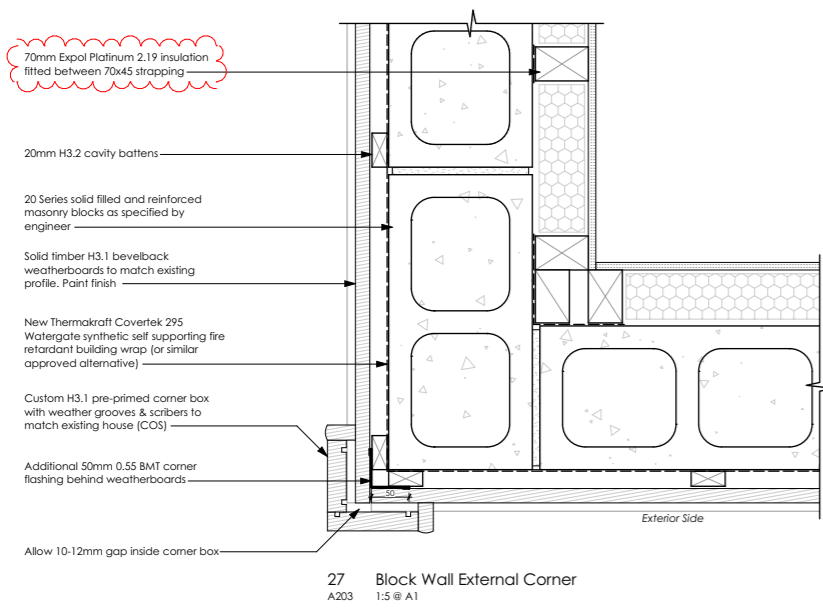
Building Consent

Scale: 1:10 @ A1 Rev. D **A503**

All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.

RECEIVED

21 FEB 2019



Rev.	Description	Date
A	Insulation specified	20/02/19

BESPOKE nz ltd.

Suite 4, 26 Victoria Road, Devonport, Auckland
 P.O. BOX 32-167
 Devonport
 Auckland 0744
 Tel - 09 445 7095

Job Title
 S Jayaraman & J Davidson
Residential Alterations & Additions
 13 Laurie Avenue, Parnell, Auckland 1052

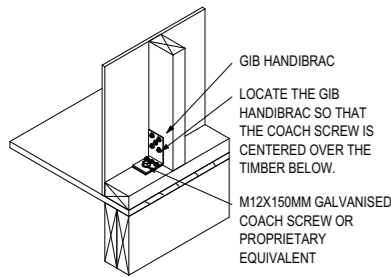
Details

Drawn: DPA Design: Bespoke
 Job No: 1254 Date: 21/02/2019
 Project Status:
Building Consent
 Scale : See Detail Rev. **A A504**

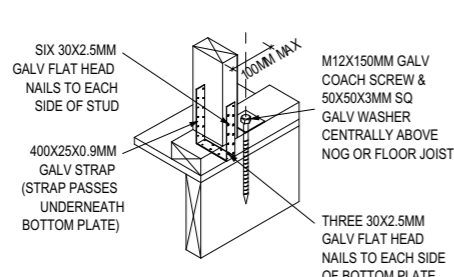
All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.

Auckland Council
 Te Kaitiaki Take Kōwhiri o Aotearoa

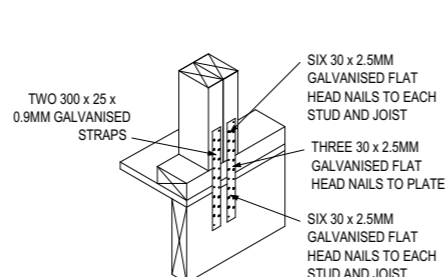
01 MAY 2019
 BCO10282383
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BUILDING CONSENT PLANS



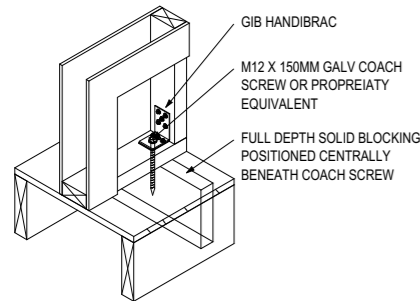
TIMBER FLOOR- EXTERNAL WALL - HANDIBRAC



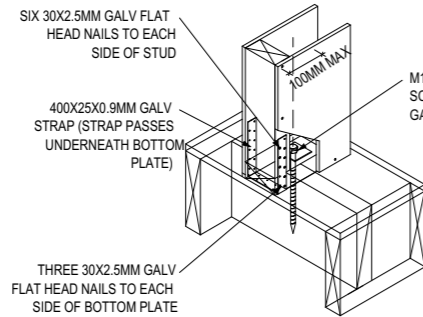
TIMBER FLOOR- EXTERNAL WALL OPTION



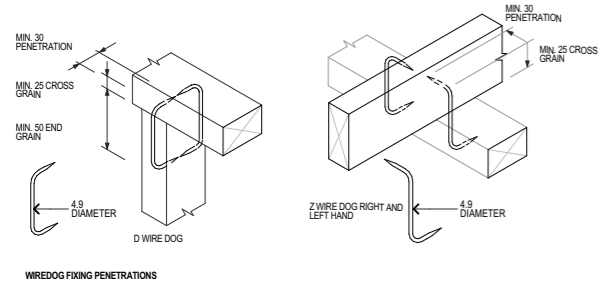
TIMBER FLOOR- EXTERNAL WALL OPTION



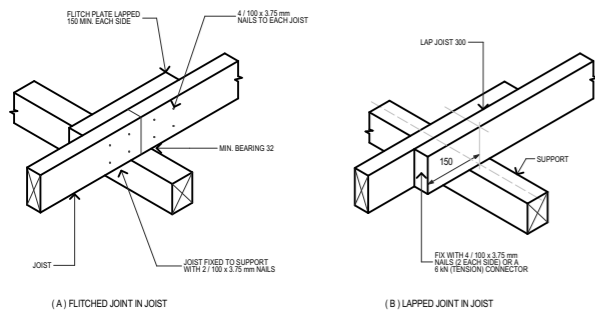
TIMBER FLOOR INTERNAL WALL - HANDIBRAC



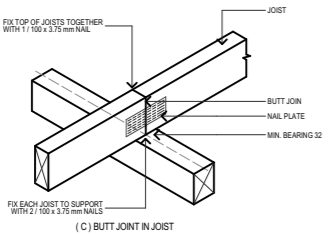
TIMBER FLOOR INTERNAL WALL OPTION



WIREDOG FIXING PENETRATIONS

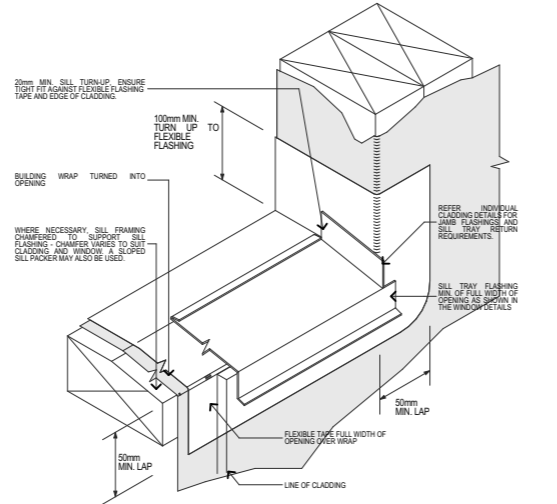


(A) FLITCHED JOINT IN JOIST (B) LAPPED JOINT IN JOIST



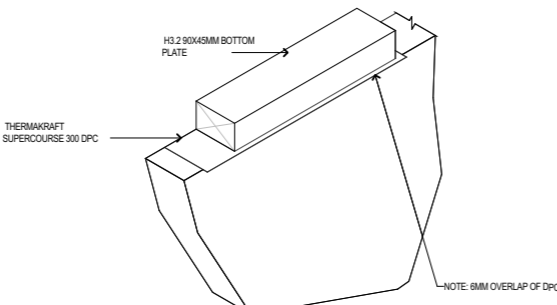
(C) BUTT JOINT IN JOIST

NOTE:
(1) JOINT MUST BE MADE OVER A SUPPORT
LAPPED OR BUTTED JOINTS IN FLOOR JOISTS
JOINTS IN FLOOR JOISTS MAY BE OMITTED

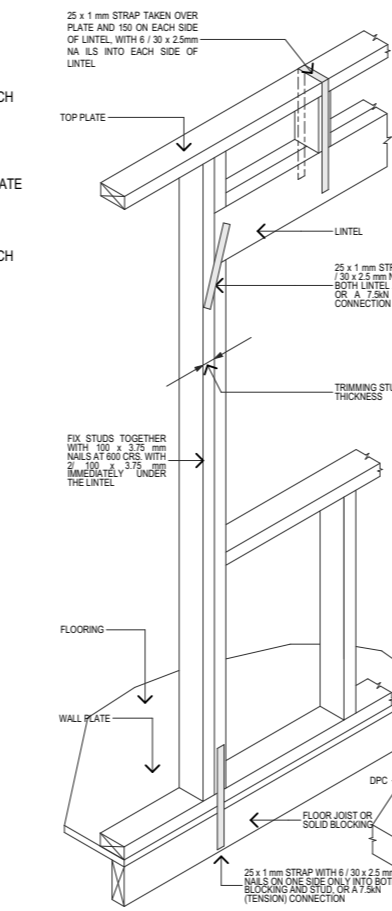


NOTE:
(1) DETAILED CLADDING OMITTED FOR CLARITY. REFER TO SPECIFIC CLADDINGS.
(2) SILL FLASHINGS SHALL EXTEND BACK PAST THE CONDENSATION CHANNEL OF THE WINDOW.
(3) HEAD TO BE TREATED SIMILARLY WITH CONTINUOUS BUILDING WRAP AND FLEXIBLE TAPE AT CORNERS.
(4) OPENINGS IN CAVITY WALLS SHALL BE TREATED SIMILARLY, EXCEPT THE SILL FLASHINGS SHALL BE OMITTED.

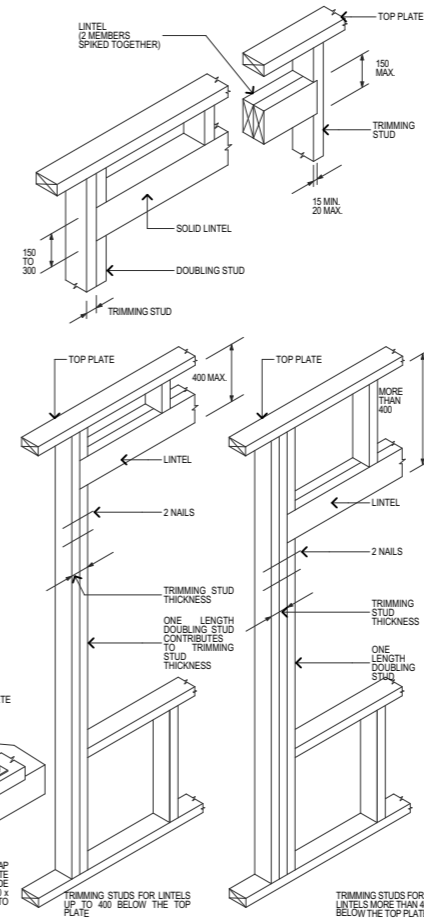
TYPICAL WINDOW OPENING DETAIL SCALE 1:5



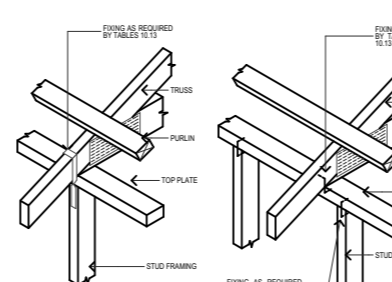
PROTECTION OF SUB-FLOOR TIMBER TO CONCRETE FOUNDATION DETAIL SCALE 1:5



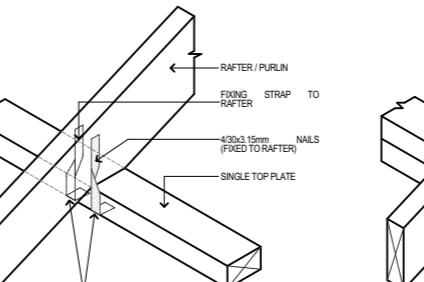
FIXING OF LINTELS TO PREVENT UPLIFT SUPPORTING RAFTERS & TRUSSES OF ROOFS REFER TO TABLE 8.14 NZS 3604:2011 SCALE 1:5



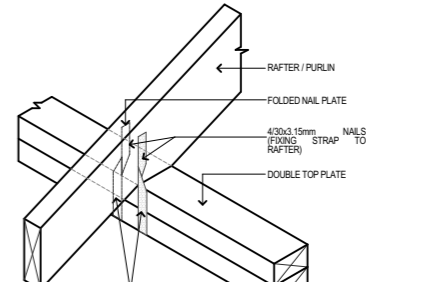
TRIMMING STUDS & LINTELS REFER TO TABLE 8.14 NZS 3604:2011 SCALE 1:5



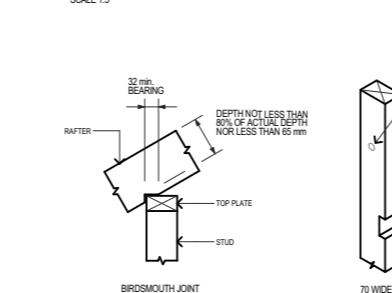
TRUSS TO TOP PLATE CONNECTIONS SCALE 1:5



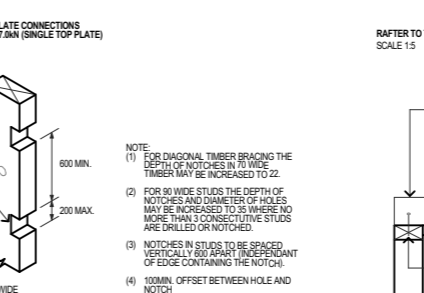
RAFTER TO TOP PLATE CONNECTIONS FIXING CAPACITY 7.0kN (SINGLE TOP PLATE) SCALE 1:5



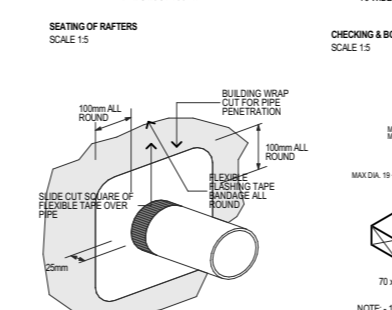
RAFTER TO TOP PLATE CONNECTIONS, FIXING CAPACITY 7.0kN (DOUBLE TOP PLATES) SCALE 1:5



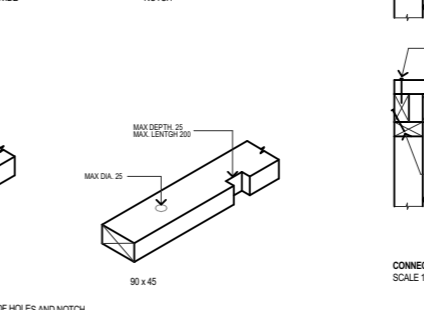
SEATING OF RAFTERS SCALE 1:5



CHECKING & BORING STUDS SCALE 1:5

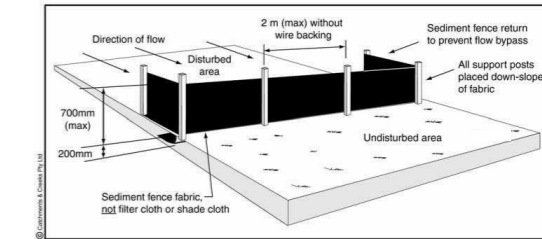


PIPE PENETRATION DETAIL SCALE: NTS



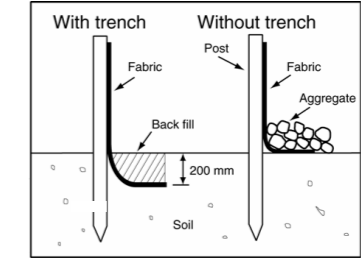
CHECKING & BORING TOP PLATES SCALE 1:5

A silt fence is a simple and effective way to keep sediment on the site. It must be installed and maintained correctly to work properly.



- Installation:
1. Locate the fence across the contour of the site with returns at the end to prevent the fence being outflanked by water
 2. Dig a trench 200mm deep by 200mm wide
 3. Hammer in stakes or wattaraths on the downhill side of the trench to a depth of at least 400mm
 4. The stakes should be no further than 2m apart unless wire is put between them as an aid to strength
 5. Attach the woven geotextile cloth to the uphill side of the stakes. At least 400mm should be below ground level forming an L shape - 200mm across and 200mm up.
 6. Backfill over the cloth to ground level and compact.

Inspect, monitor and maintain the fence before and after every rain event - sediment needs to be removed at about 30% capacity.



On surface fences: Around trees or in other areas where you can't dig easily (driveways/rock) a silt fence can be constructed on the surface.

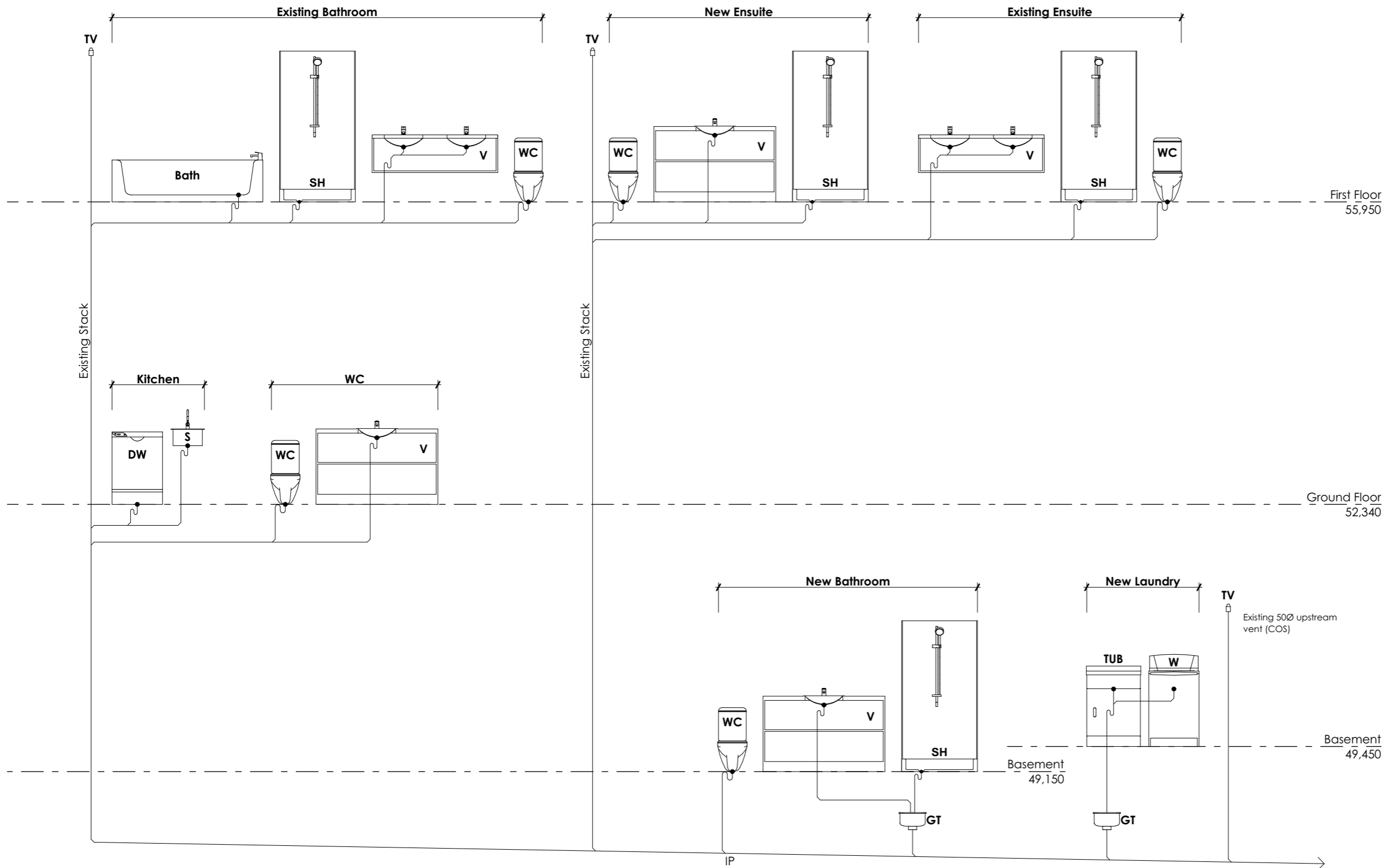
1. Lay 200mm of fabric on the ground.
2. Cover with a 100mm layer (at minimum) of 20-40mm aggregate.

Auckland Council
Te Kaunhera o Tāmaki Makaurau

01 MAY 2019
BCO10282383

APPROVED
BUILDING CONSENT PLANS

Rev.	Description	Date
BESPOKE nz ltd.		
Suite 4, 26 Victoria Road, Devonport, Auckland		
P.O. BOX 32-167 Devonport Auckland 0744 Tel - 09 445 7095		
Job Title		
S Jayaraman & J Davidson		
Residential Alterations & Additions		
13 Laurie Avenue, Parnell, Auckland 1052		
Details		
Drawn: DPA	Design: Bespoke	
Job No: 1254	Date: 23/01/2019	
Project Status:		
Building Consent		
Scale : NTS	Rev. -	A506
All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.		



Legend

- GT** Gully Trap
- TV** Terminal Vent
- IP** Inspection Point
- IB** Inspection Bend
- AAV** Air Admittance Valve
- FWG** Floor Waste Gully

All plumbing works to comply with NZBC G13.
 Sizes shown are minimums and can be substituted for greater pipes/falls for typical/best practice as recommended by plumber.
 Plumber to confirm any substitutions with owner before installation.

Read in conjunction with Plumbing Plan Provided.

Rev.	Description	Date
BESPOKE nz ltd.		
Suite 4, 26 Victoria Road, Devonport, Auckland		
P.O. BOX 32-167 Devonport Auckland 0744 Tel - 09 445 7095		
Job Title		
S Jayaraman & J Davidson		
Residential Alterations & Additions		
13 Laurie Avenue, Parnell, Auckland 1052		
Plumbing Schematic		
Drawn: DPA	Design: Bespoke	
Job No: 1254	Date: 23/01/2019	
Project Status:		
Building Consent		
Scale : NTS	Rev. - A601	
All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.		

Pipe Sizes and Falls		
Fixture	Pipe Size	Falls (Min.)
Bath	50Ø	1:40
Dishwasher	40Ø	1:40
Sink	50Ø	1:40
Shower	40Ø	1:40
Tub	50Ø	1:40
Vanity/Basin	40Ø	1:40
Toilet Pan	100Ø	1:60
Terminal Vent	80Ø	-



Window Schedule										
Element ID	SKY-01	SKY-02	SKY-03	SKY-04	W001	W002	W101	W102	W103	W104
W x H Size	---	---	---	---	450x1,650	1,280x1,650	1,280x1,650	1,600x2,400	1,600x2,400	1,950x1,600
Head height	---	---	---	---	2,650	2,650	2,600	3,385	3,385	2,700
2D View										
Room	Stairs	Loggia	Loggia	Loggia	Bathroom	Home Office	Family	Day Room	Day Room	Pantry
Specification Codes	Velux Fixed Alu'	Velux 5°	Velux 5°	Velux 5°	LV,			Steel to match W103	Steel - FRR -/60/30	Modify existing sill height

Window Schedule									
Element ID	W201	W202	W203	W204	W205	W206	W207	W208	W209
W x H Size	480x2,400	2,760x2,290	480x2,400	1,720x2,150	480x2,150	480x1,000	1,600x1,200	1,600x1,200	1,280x1,650
Head height	2,410	2,400	2,410	2,160	2,160	2,000	2,125	2,125	2,600
2D View									
Room	Meeting	Meeting	Meeting	Work Room	Work Room	Ensuite	Bedroom 2	Bedroom 2	Meeting
Specification Codes	LV,		LV,	Fixed Pane	LV,	LV,	Steel to match W208	Steel - FRR -/60/30	ST,

Specification codes

- OB = Obscure glazing
- ST = Window stays
- FRR = fire rating -/60/30
- SG = Safety Glazing
- LV = Operable Louvres

General Notes

All glazing to conform to human impact safety requirements of NZS 4223 to both sides of affected areas.

Joinery manufacturer to verify all actual opening dimensions prior to fabrication.

New timber joinery: Double glazed exterior H3.1 timber frames with cedar sashes pre-piped in factory. Undercoat complete frame prior to placement into wall & before placing glazing. Avoid long term on-site storage to reduce frame distortions. All doors & casement windows shall have no less than 3 stainless steel fixed butt hinges. Allow for architraves to jambs & head with internal timber sill. All timber windows to have bungalow style trims & facings to match the existing [original] profiles (check on site).

Rev.	Description	Date
D	BC Amendment	19/06/19



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Devonport, Auckland 0744
www.dpaarchitects.co.nz
ph: +649 445 8544

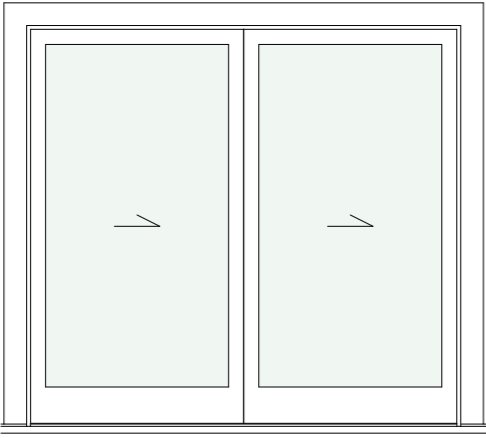
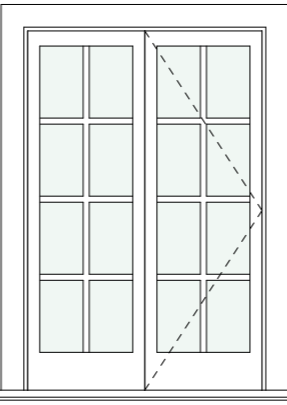
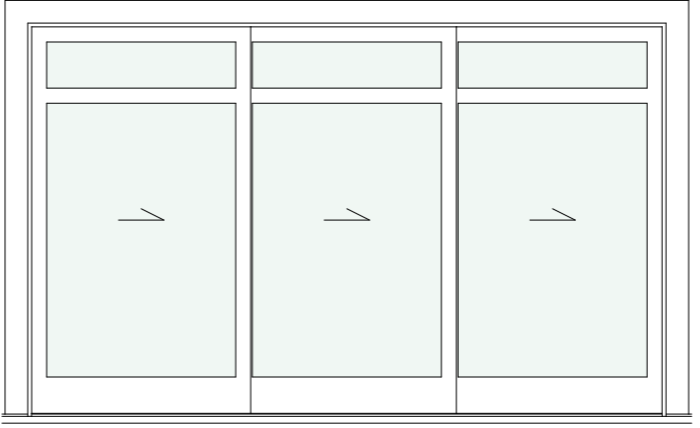
Job Title
S Jayaraman & J Davidson
Residential Alterations & Additions
13 Laurie Avenue, Parnell, Auckland 1052

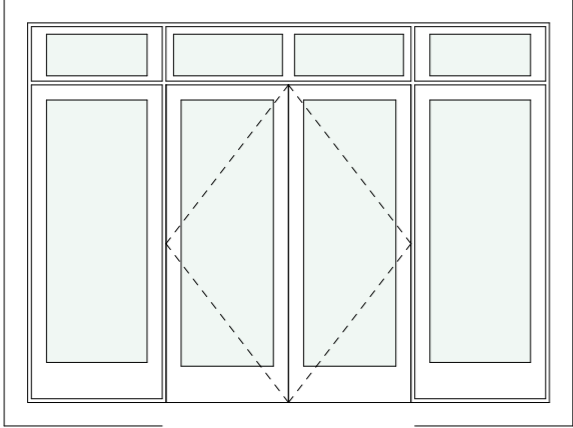
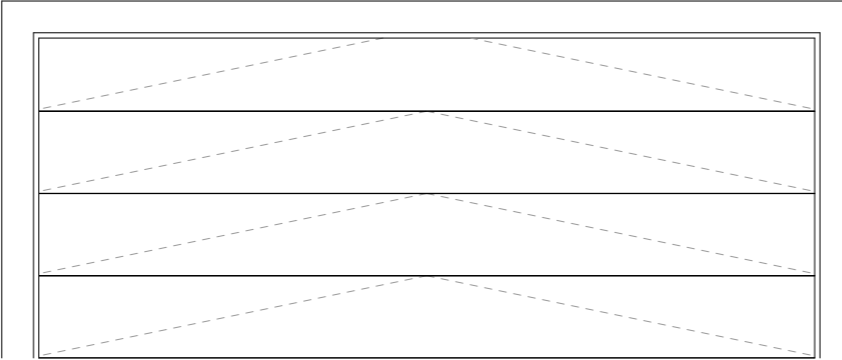
Window Schedule

Drawn: CW	Checked: DPA
Job No: 1254	Date: 24/06/2019
Project Status: Building Consent	
Scale: NTS	Rev. D A602

All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.



Door Schedule			
Element ID	D002	D004	D102
W x H Size	2,870x2,650	1,600x2,400	4,220x2,600
Head height	2,650	2,410	2,600
2D View			
	Room	Home Office	Garage
Notes	Over-wall Slider	Steel Joinery	Over-wall Slider

Door Schedule	
Element ID	D104
W x H Size	3,450x2,510
Head height	2,510
2D View	
	
Room	Living Room
Notes	Garage

Specification codes

- OB = Obscure glazing
- ST = Window stays
- FRR = fire rating -/60/30
- SG = Safety Glazing
- LV = Operable Louvres

General Notes

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New timber joinery: Double glazed exterior H3.1 timber frames with cedar sashes pre-piped in factory. Undercoat complete frame prior to placement into wall & before placing glazing. Avoid long term on-site storage to reduce frame distortions. All doors & casement windows shall have no less than 3 stainless steel fixed butt hinges. Allow for architraves to jamb & head with internal timber sill. All timber windows to have bungalow style trims & facings to match the existing [original] profiles (check on site).

Rev.	Description	Date
D	BC Amendment	19/06/19



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Job Title

S Jayaraman & J Davidson

Residential Alterations & Additions

13 Laurie Avenue, Parnell, Auckland 1052

Exterior Door Schedule

Drawn: CW Checked: DPA

Job No: 1254 Date: 24/06/2019

Project Status:
Building Consent

Scale : NTS Rev. D **A603**

All dimensions to be checked on site before commencing works or producing shop drawings. Do not scale measure from drawings.



Door Schedule											
Element ID	ID001	ID002	ID003	ID004	ID005	ID006	ID007	ID008	ID101	ID102	ID103
W x H Size	860x2,025	810x2,025	860x2,025	860x2,200	1,380x2,510	760x2,025	810x2,025	860x2,510	860x2,200	860x2,025	1,470x2,345
Head height	2,025	2,025	2,025	2,200	2,510	2,325	2,025	2,510	2,200	2,025	2,345
2D View											
Room		Storage		Lift					Lift		Living Room (reused)
Notes											

General Notes

Joinery manufacturer to verify all actual opening dimensions prior to fabrication.

Door Schedule											
Element ID	ID201	ID202	ID203	ID204	ID205	ID206	ID207	ID208	ID209	ID210	
W x H Size	860x2,025	1,190x2,025	860x2,025	860x2,025	2,070x2,025	2,070x2,025	860x2,025	860x2,200	1,270x2,025	910x2,025	
Head height	2,025	2,025	2,025	2,025	2,025	2,025	2,025	2,200	2,025	2,025	
2D View											
Room	Meeting	Storage					Bed 3	Lift			
Notes											

Rev.	Description	Date
D	BC Amendment	19/06/19



Job Title
S Jayaraman & J Davidson
Residential Alterations & Additions
13 Laurie Avenue, Parnell, Auckland 1052

Interior Door Schedule

Drawn: CW	Checked: DPA
Job No: 1254	Date: 24/06/2019
Project Status: Building Consent	
Scale: NTS	Rev. D A604

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