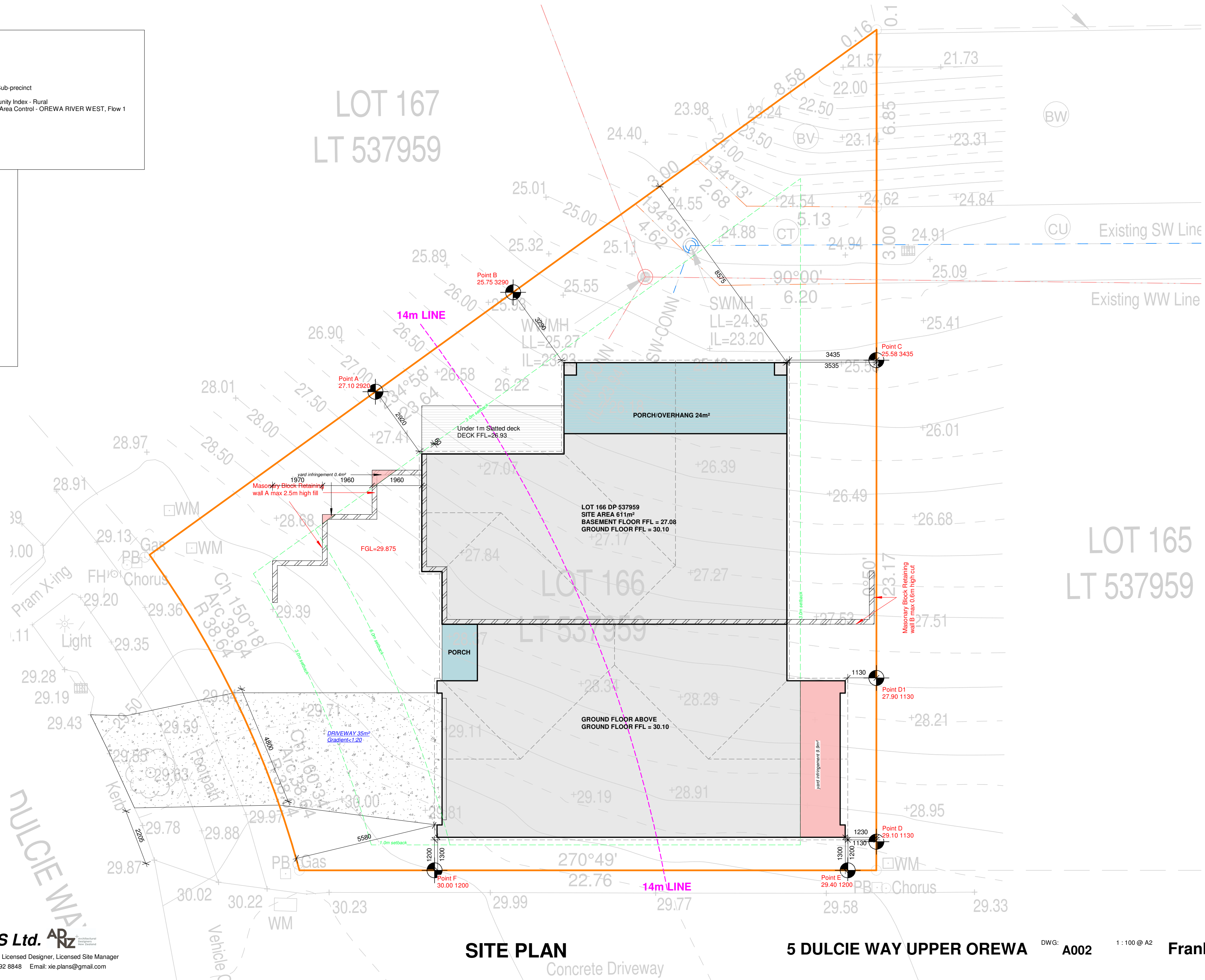




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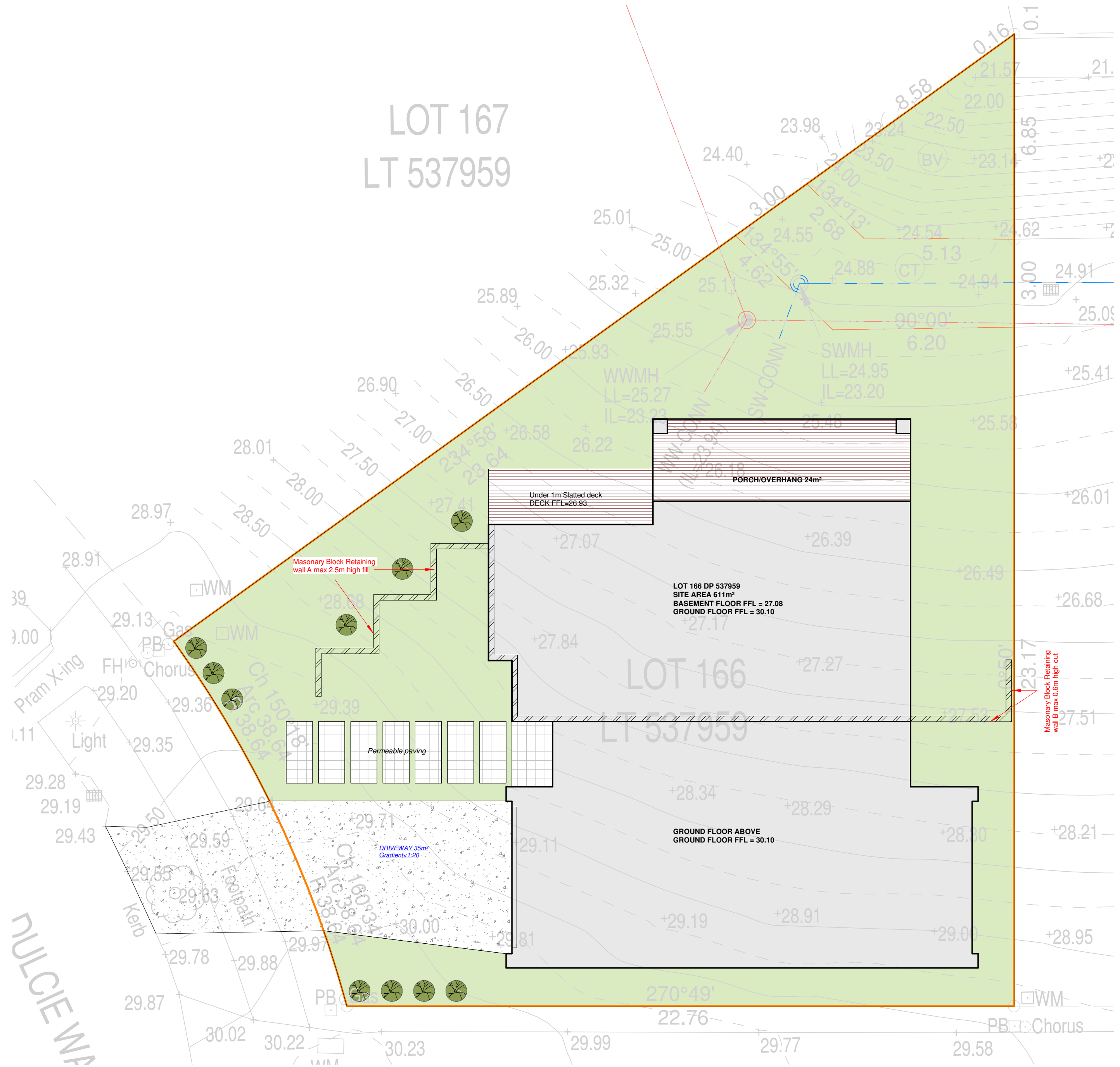
AUP ANALYSIS		
5 DULCIE WAY UPPER OREWA 0992 LOT 166 DP 537959		
ZONING:	Single House Zone	
PRECINCT:	Orewa 2 sub-precinct F, Sub-precinct	
OVER LAYS:	n/a	
CONTROLS:	Macroinvertebrate Community Index - Rural Stormwater Management Area Control - OREWA RIVER WEST, Flow 1 Minor	
ROAD:		
WIND ZONE:	SED	
SEASPRAY ZONE:	YES	
DRIVEWAY GRADIENT:	<1:20	OK
VEHICLE CROSSING:	<3.0m	OK

AUP & PRECINCT STANDARDS ANALYSIS		
MAX HEIGHT:	9m	RC
HEIGHT BDY:	3m+45°	RC
FRONT YARD:	3.0m	OK
SIDE YARD:	1.0m/3.0m	RC
REAR YARD:	3.0m	RC
COMBIND YARD:	9.0m	RC
SITE AREA:	611m²(35%=213)	
BUILDING COVER:	227m²	
PORCH:	27m²	
TOTAL BUILDING COVER:	254m²	
COVERAGE:	41.6%	RC
DRIVEWAY:	35m²	
IMPERMEABLE AREA:	289m²	
COVERAGE:	47.3%	OK
LANDSCAPING:	320m²	
COVERAGE:	52.3%	OK
BUILDING FRONTAGES:	%	OK
DAYLIGHT:		OK
OUTDOOR LIVING:	20m²	OK

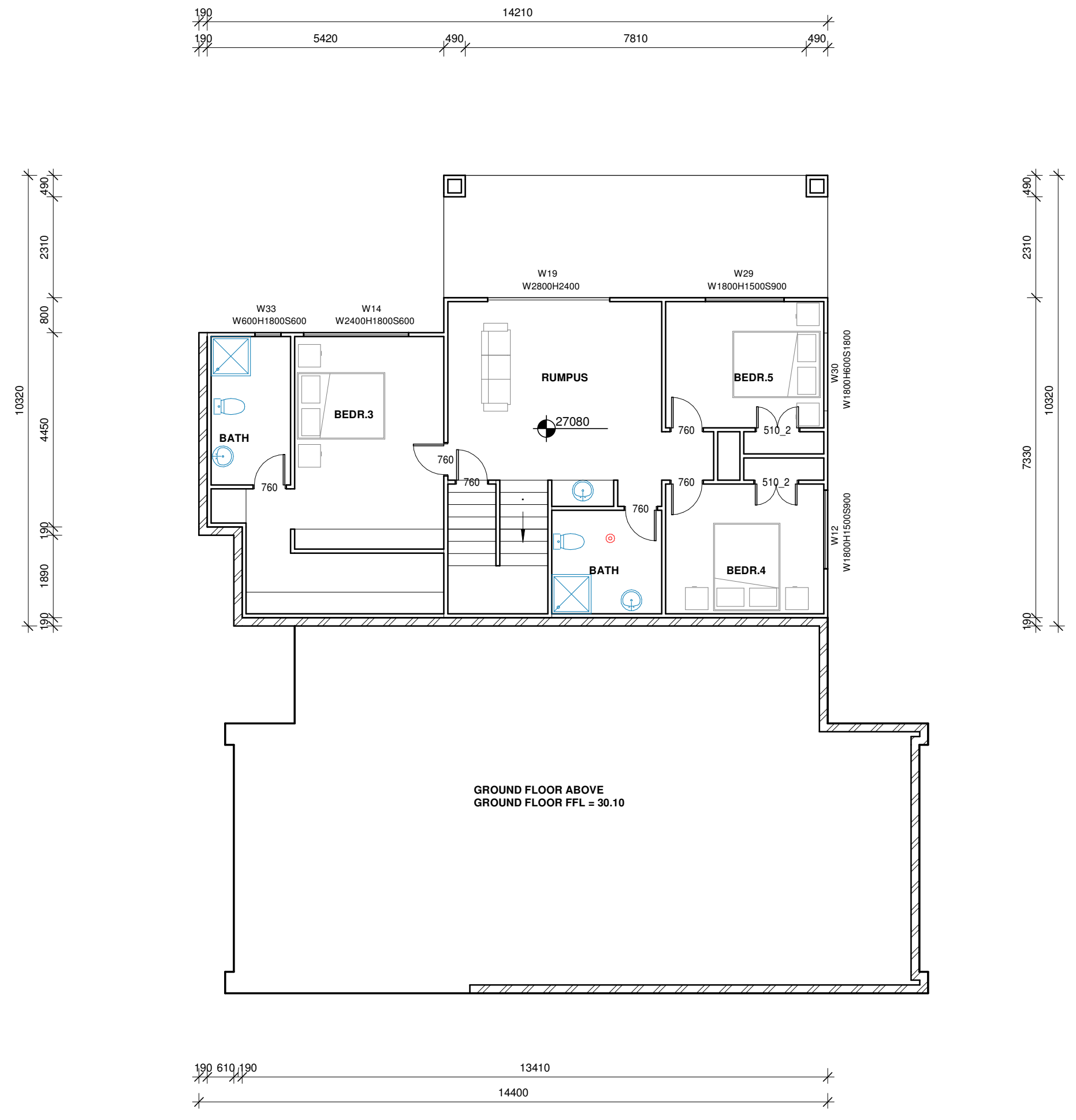


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LOT 167
LT 537959



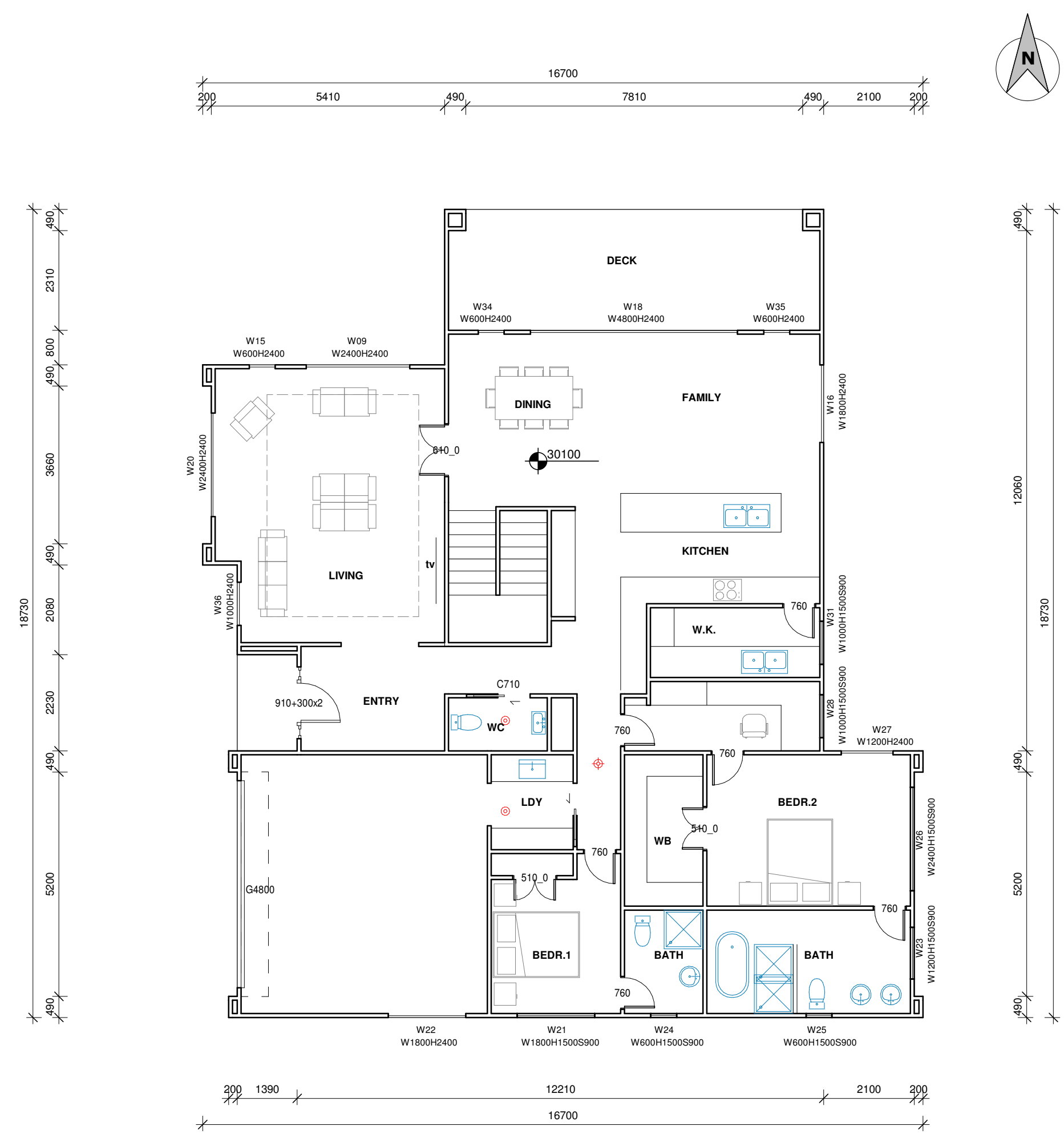
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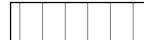


FLOOR AREA 103/352m²
BASEMENT PLAN

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FLOOR AREA 229+24/352m²
GROUND FLOOR PLAN



CLADDING LEGEND

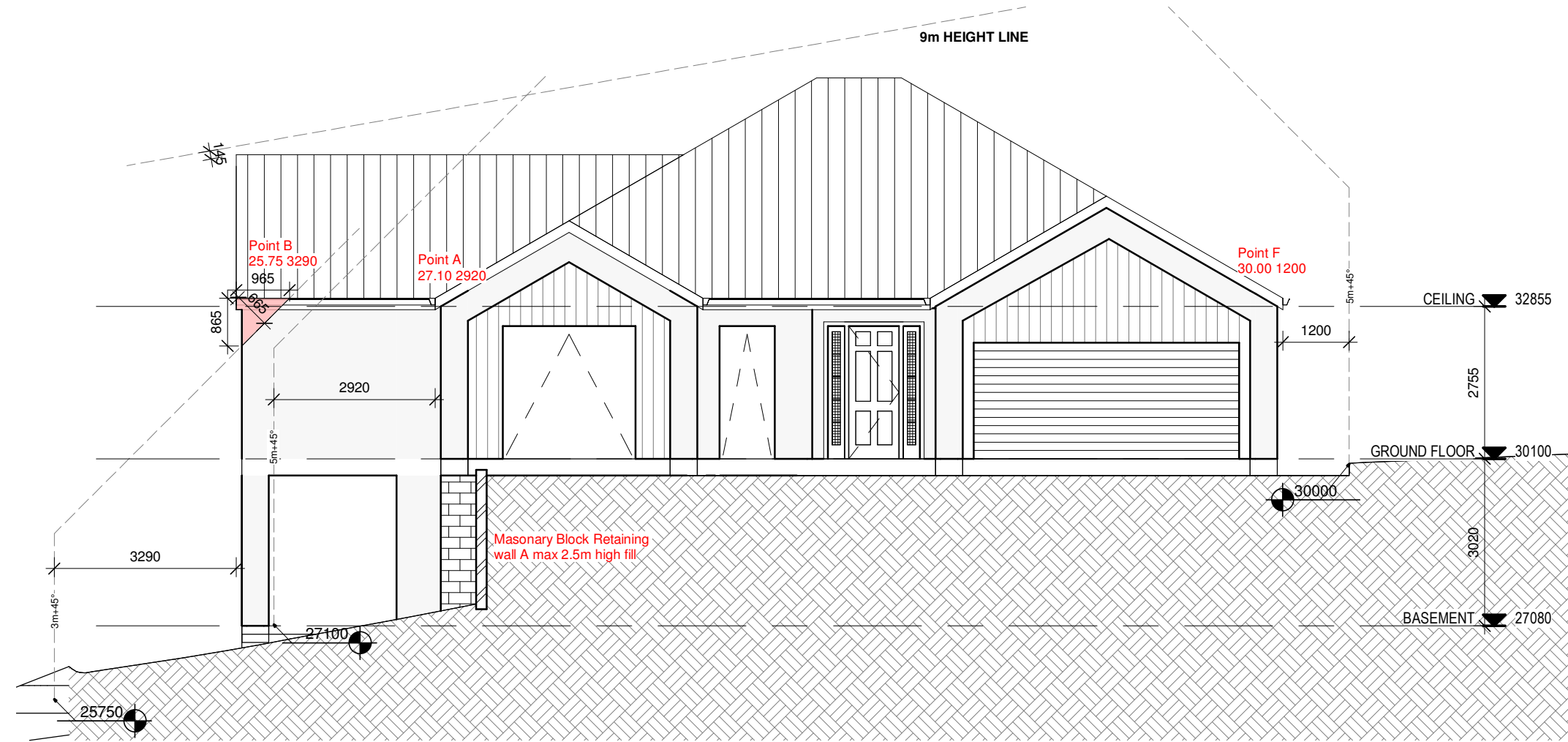
-  LONG RUN TRIMLINE
-  VERTICLE PINE WEATHERBOARD
-  PLASTER OVER BRICK

SLAB FINISH LEVEL

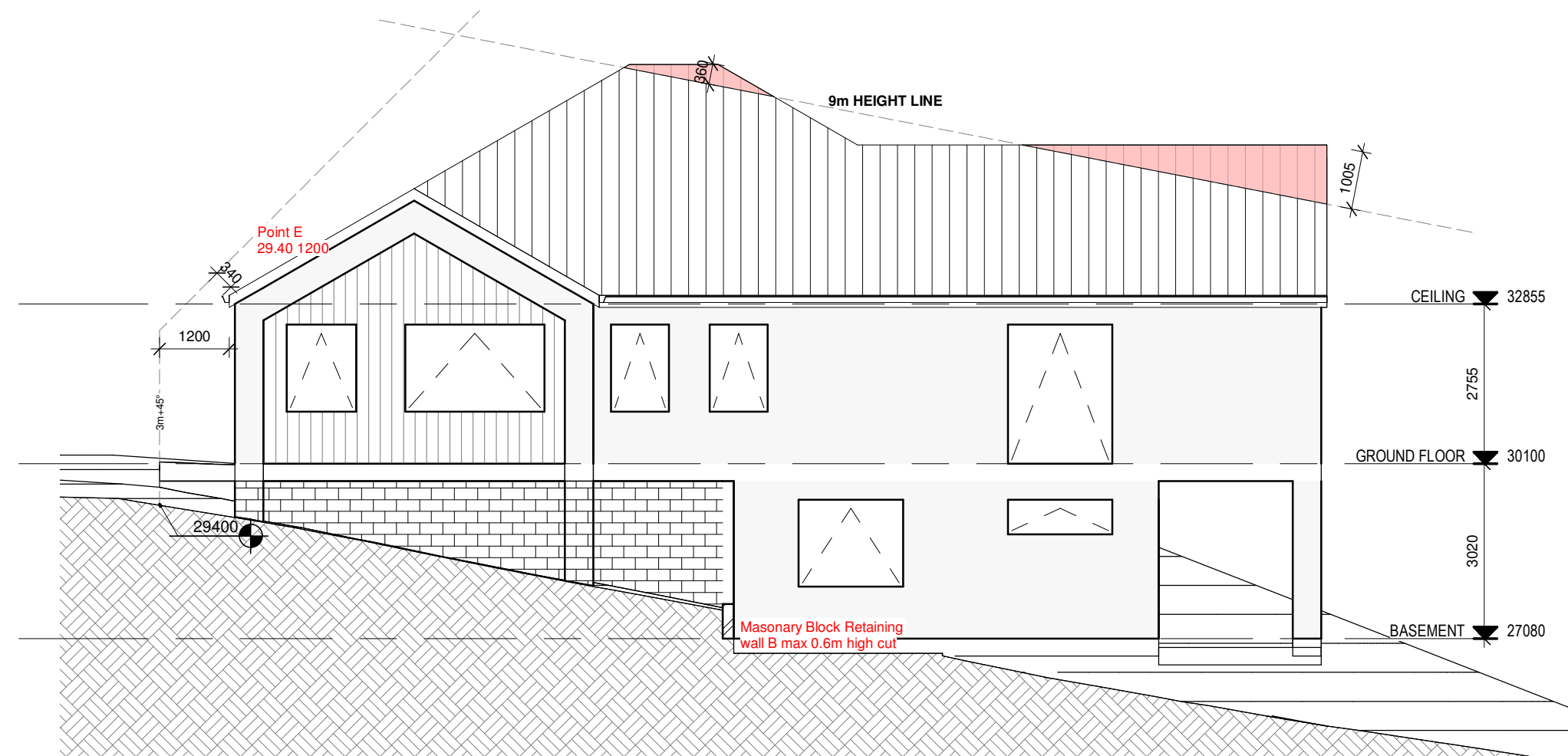
MINIMUM HEIGHT OF FINISHED CONCRETE SLAB-ON-GROUND FLOORS ABOVE ADJOINING FINISHED GROUND LEVEL TO BE:

150mm TO PERMANENT PAVING;
225mm TO UNPROTECTED GROUND.

ROOF PITCH = 30°



WEST ELEVATION



EAST ELEVATION

EAST & WEST ELEVATIONS




5 DULCIE WAY UPPER OREWA

DWG: **A020**

1:100 @ A2

Frank Xie

CLADDING LEGEND

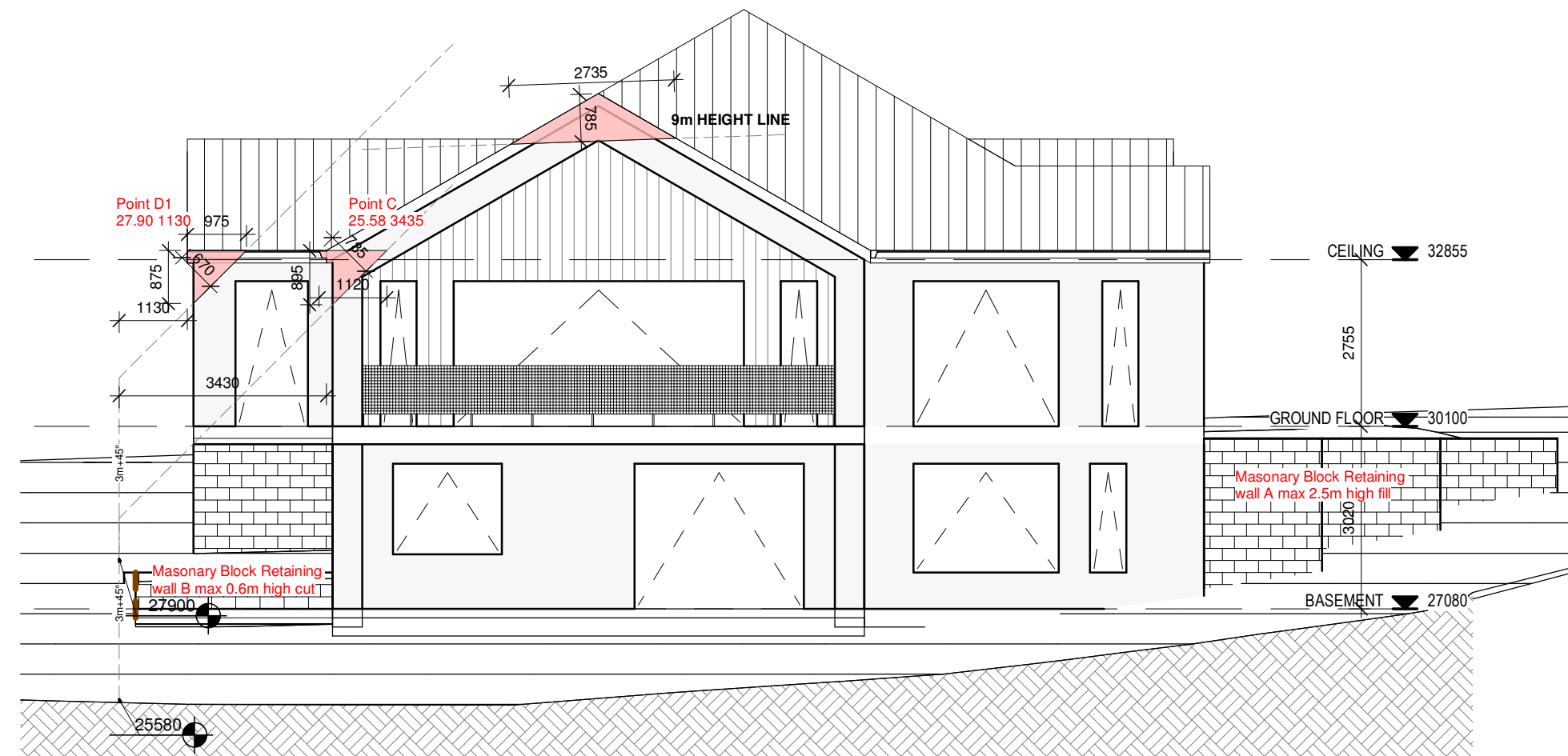
-  LONG RUN TRIMLINE
-  VERTICAL PINE WEATHERBOARD
-  PLASTER OVER BRICK

SLAB FINISH LEVEL

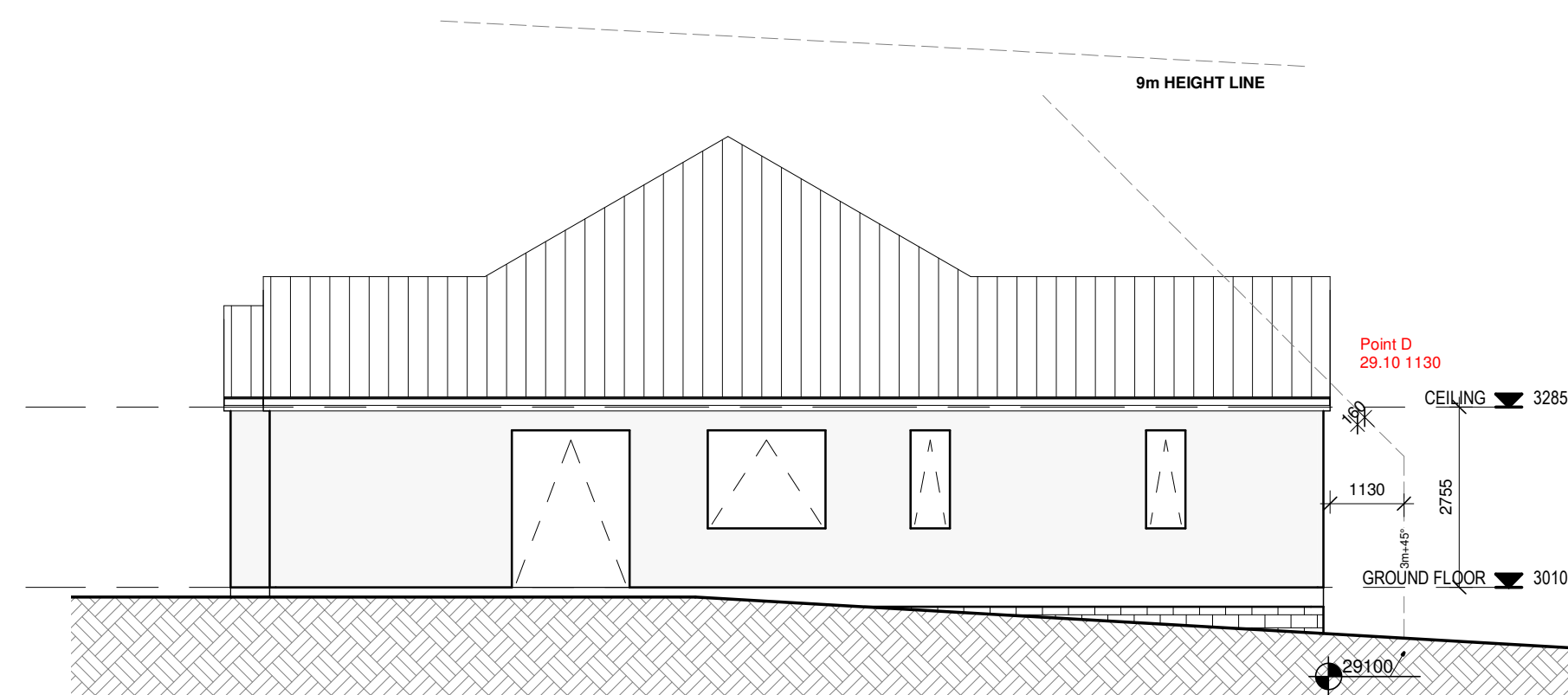
MINIMUM HEIGHT OF FINISHED CONCRETE SLAB-ON-GROUND FLOORS ABOVE ADJOINING FINISHED GROUND LEVEL TO BE:

150mm TO PERMANENT PAVING;
225mm TO UNPROTECTED GROUND.

ROOF PITCH = 30°



NORTH ELEVATION



SOUTH ELEVATION

NORTH & SOUTH ELEVATIONS

5 DULCIE WAY UPPER OREWA

DWG: A021

1:100 @ A2

Frank Xie