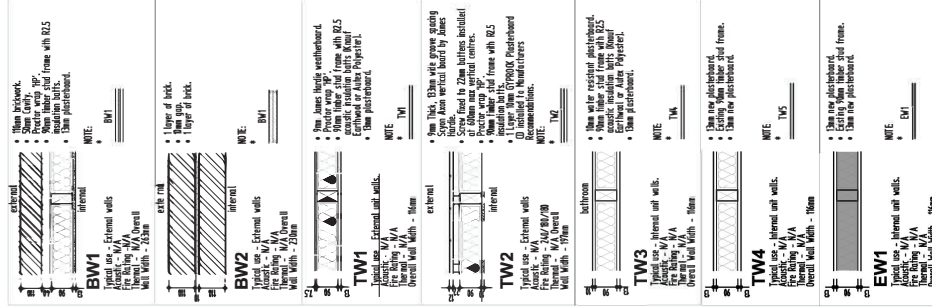


ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS AND ENGINEERS DRAWINGS & DETAILS  
 DO NOT SCALE DRAWINGS. USE FIGURED DIMENSION. IF IN DOUBT ASK, DO NOT GUESS.

Contractors must verify all dimensions on site before commencing any work or preparing shop drawings.  
 Any discrepancies must be reported to the Architect for clarification and approval in writing.

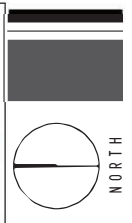
**WALL TYPES**



Certificate no. 0001527587  
 Assessor Name: John Fisher  
 Accreditation no. VIC/BD/AV/10/2003  
 Certificate date: 30 May 2017

**NATIONWIDE HOUSE**  
 6.0  
 124 sqm  
 www.nationwide.gov.au

3144  
 www.rates.gov.au



DATE	MAR20 2017
SCALE	1/80 AT A3
DWG No.	014
SHEET No.	A103
REVISION	B

NOTE: NEW FINISHED FLOOR LEVEL TO MATCH EXISTING FLOOR LEVEL.  
 FOR ALL INTERIOR DESIGN AND DETAILS, REFER TO JOINERY DRAWINGS.

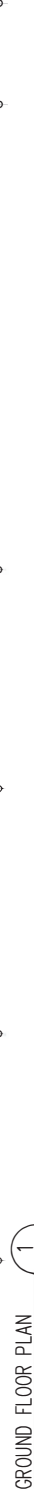
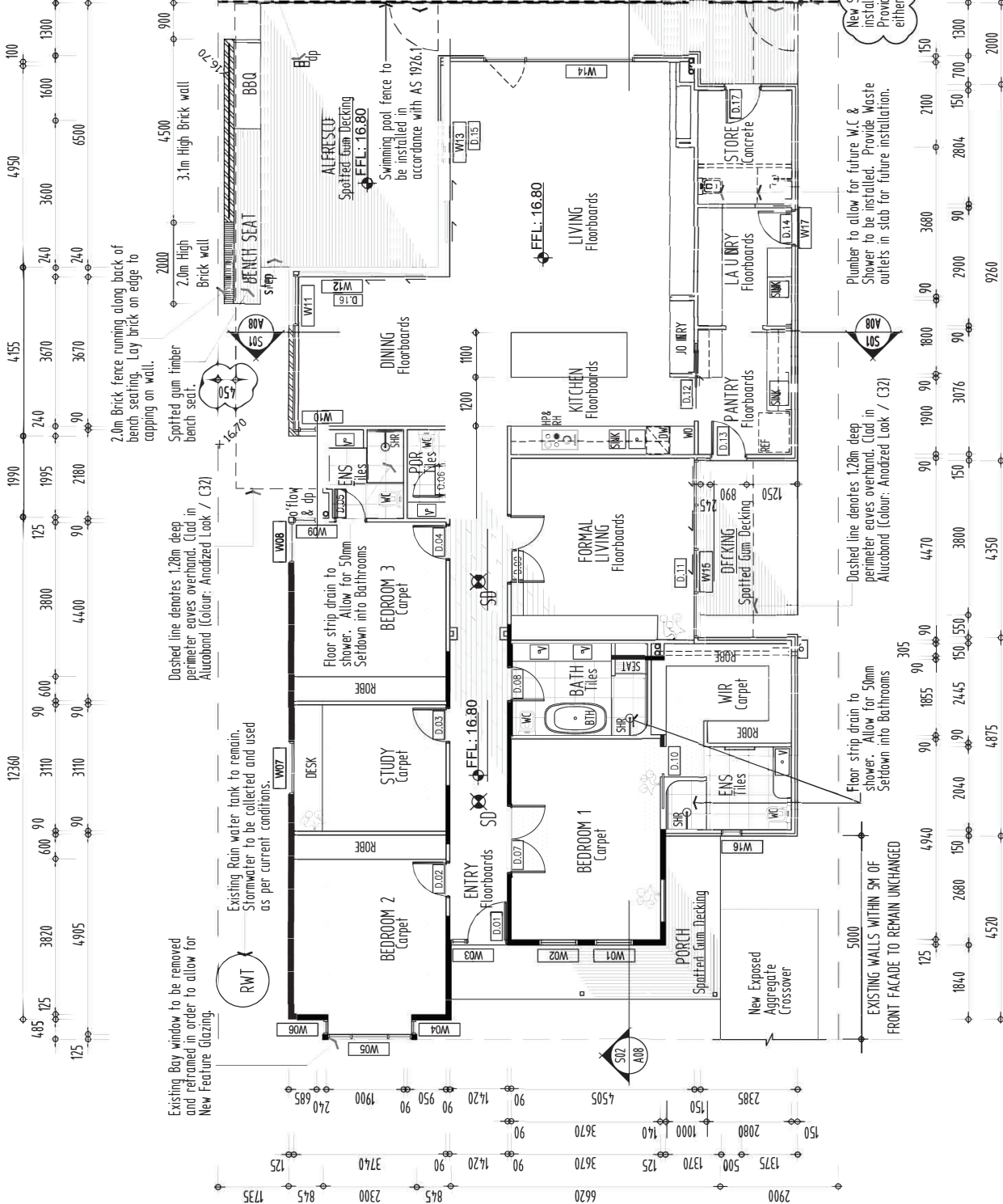
Provide coverplate or flashing around columns in order to conceal downpipe. Colour to match window frames.

New Swimming pool fence to be installed in accordance with AS-1926.1. Provide a 90mm Non climbable zone to either side of the Pool fence.

Plumber to allow for future W.C & Shower to be installed. Provide Waste outlets in slab for future installation.

Dashed line denotes 120mm deep perimeter eaves overhand. Clad in Alucobond (Colour: Anodized Look / C32)

Floor strip drain to Shower. Allow for 50mm Setdown into Bathrooms



GROUND FLOOR PLAN  
 SCALE: 1/80

PROJECT: PROPOSED EXTENSION  
 CRE: ESSY STREET, MALVERN

REV	DATE	DETAILS
A	31/03/17	CONSULTANT ISSUE
B	16/02/17	BUILDING PERMIT ISSUE
C	16/02/17	POOL FENCING NOTES & ENERGY STAMP PROVIDED

TITLE
GROUND FLOOR PLAN

156 Gullburn Street  
 South Melbourne 3205  
 E: evan@kamvisis.com

