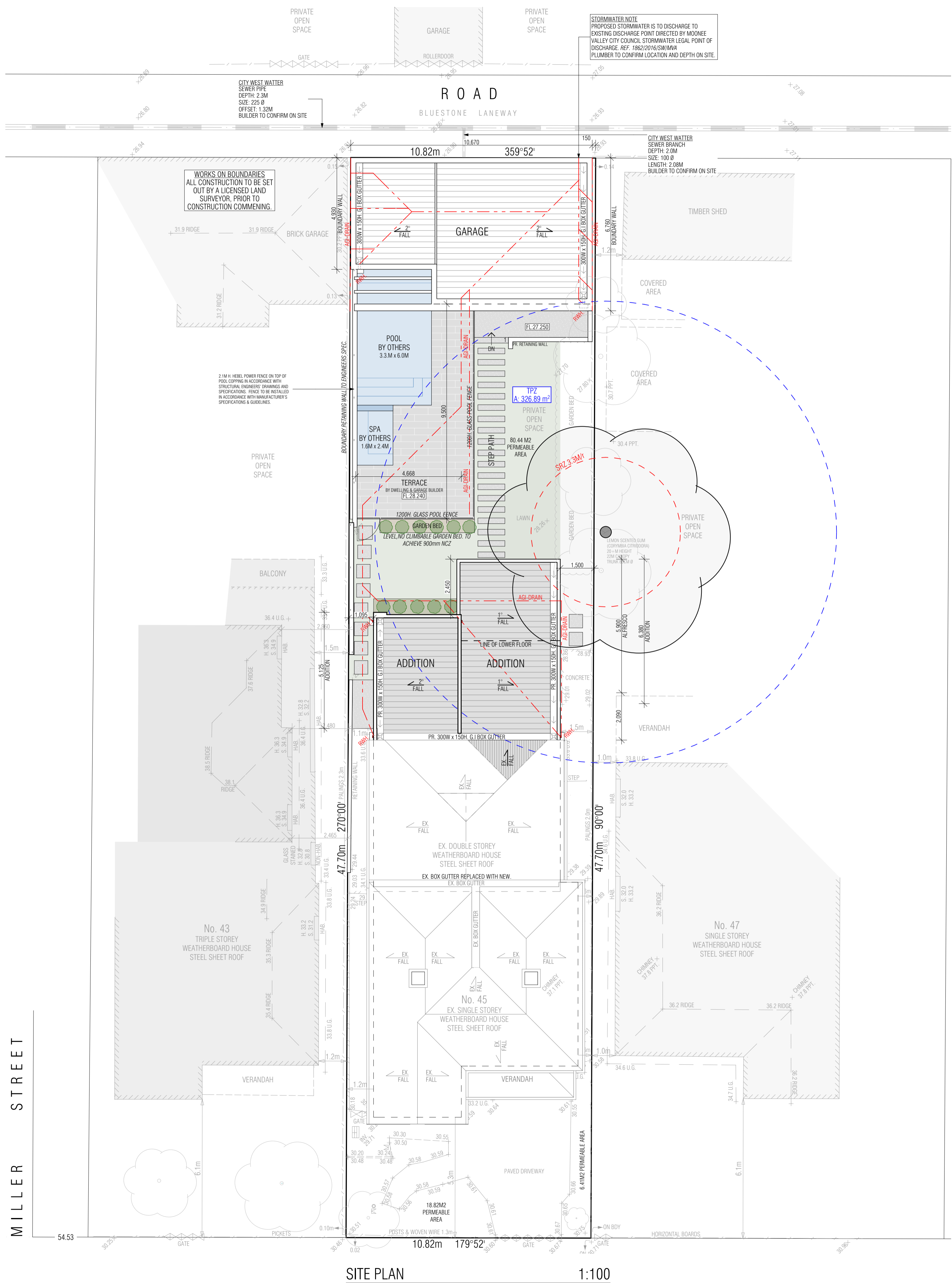




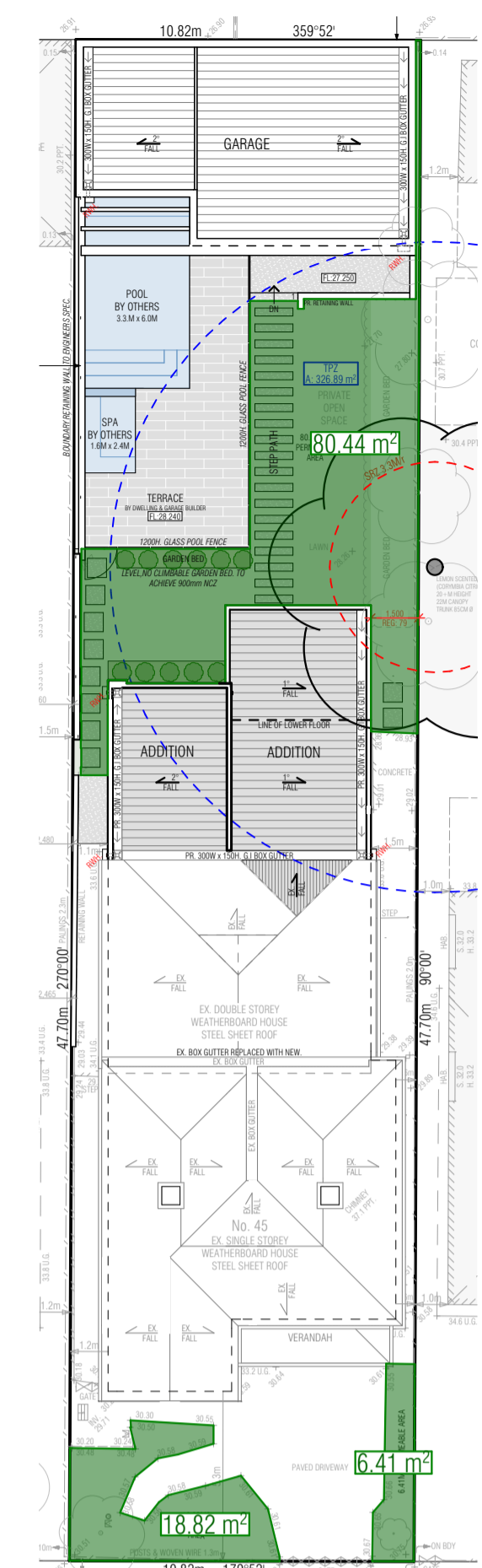
BSP MELBOURNE PTY LTD

AMENDED PERMIT

DATE: 01/09/2021
 PLAN: V20001
 NAME: 130/1291875/1/012
 RELEVANT BUILDING SURVEYOR: Philip Watt
 08-111410



SITE PLAN 1:100



PERMEABILITY PLAN 1:200

LEGEND

- DOWNPIPES
- RAIN WATER HEAD
- DOWN PIPE
- MASONRY CONTROL JOINT
- V. VANITY
- D/V. DOUBLE VANITY
- T. TOILET
- B. BATH
- F.W. FLOOR WASTE
- S.H.R. SHOWER
- S. SINK
- C.T. COOK TOP
- O.V. OVEN
- F. FRIDGE
- D.W. DISH WASHER
- W.M. WASHING MACHINE
- D.R. DRYER
- C/S CHIVITY SLIDING DOOR
- E.M.B. ELECTRICAL METER BOX
- E.S.B. ELECTRICAL SUB-BOARD BOX
- A.C.U. AIR CONDITIONING UNIT
- S.M.A. SMOKE ALARM
- INSULATED FLOOR
- WET AREAS
- GRASS/ LANDSCAPED AREAS

GENERAL NOTES

- PLANS TO BE READ IN ACCORDANCE WITH BCA VOL TWO PART 3
- DRAWINGS SHALL NOT BE SCALED. CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON THE JOB BEFORE COMMENCING ANY WORKS OR MAKING SHOP DRAWINGS.
- ALL MATERIALS AND METHOD OF CONSTRUCTION, TESTING, ETC. SHALL CONFORM TO THE RELEVANT S.A.A. CODES, VICTORIAN BUILDING REGULATIONS 2018 NATIONAL CONSTRUCTION CODE (NCC) AND ANY BY-LAWS OF LOCAL AUTHORITY.
- ALL HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL LIGHT OF NOT LESS THAN 10 PERCENT OF FLOOR AREA AND HAVING VENTILATION AT LEAST 5 PERCENT OF THE FLOOR AREA OPENABLE AS PER BCA VOL TWO PART 3 RESPECTIVELY.
- VENTILATION
 - SUB-FLOOR VENTILATION SHALL BE PROVIDED TO GIVE AN UNOBSTRUCTED AREA OF NOT LESS THAN 600mm²/SQM OF EXTERNAL WALL AS PER BCA CLAUSE 3.1.2 PROVIDE MECHANICAL VENTILATION TO ALL TOILETS ETC. WITHOUT OPENABLE WINDOWS
 - MECHANICAL EXHAUST TO BE 25L/S FOR A BATHROOM OR ANY OTHER SANITARY COMPARTMENT AND DUCTED DIRECTLY TO OUTSIDE
 - MECHANICAL EXHAUST TO BE 40L/S FOR A KITCHEN OR LAUNDRY AREA AND DUCTED DIRECTLY TO OUTSIDE
- GLASS SHALL BE INSTALLED IN BUILDINGS IN ACCORDANCE WITH AS 1288 & AS 2407 WHERE GLAZING IS WITHIN 500MM OF FLOOR LEVEL, GLASS SHALL BE 5mm THICKENED ANNEALED, GLAZED DOORS AND ASSOCIATED SIDE PANELS SHALL BE 5.38mm LAMINATED SAFETY GLASS.
- BRICKWORK TO COMPLY TO AS4773 MASONRY IN SMALL BUILDINGS & AS3700-2018 WHEEPOLES TO BE A MIN. 75MM ABOVE PAVED CONCRETE AREAS & 150MM ABOVE NGL. MORTAR MX 1:1:6.
- STRUCTURAL CONCRETE WORKS TO COMPLY TO AS 3600 (MINIMUM 20mpa).
- TIMBER FRAMING IS TO COMPLY WITH AS 1684.
- WET AREAS: ALL BATHROOMS, SHOWER ROOMS, LAUNDRY AND SANITARY COMPARTMENTS SHALL BE RENDERED DAMP-PROOF AND IMPERVIOUS TO MOISTURE IN ACCORDANCE WITH BCA 3.1 AND TO BE IN ACCORDANCE WITH AS3558.3 PLUMBING AND DRAINAGE. WET AREAS TO BE IMPERVIOUS TO WATER. WALL SURFACES & SUBSTRATES: OF SHOWER ENCLOSURES, OR IF ENCLOSED, WITHIN 1.5M HORIZONTALLY TO A HEIGHT OF 1.8M ABOVE THE FLOOR, & BEHIND ANY BATH, BASKIN, SINK ETC. IF WITHIN 75MM OF A WALL TO A HEIGHT OF 150MM ABOVE FIXTURE.
- FULLY ENCLOSED SANITARY COMPARTMENTS: IF THERE IS NOT A CLEAR SPACE OF AT LEAST 1.2M BETWEEN THE CLOSET PAN WITH IN SANITARY COMPARTMENT & NEAREST PART OF THE DOORWAY THEN THE DOOR MUST:
 - OPEN OUTWARDS OR
 - SLIDE OR
 - BE EASILY REMOVABLE FROM OUTSIDE OF THE SANITY COMPARTMENT.
- STAIRS/LANDINGS: RISERS TO HAVE A MAXIMUM HEIGHT OF 190MM & MINIMUM 115MM. GOINGS TO HAVE A MAXIMUM TREAD WITH A 35MM & MINIMUM 250 / 240MM. THE RATIO OF TWICE THE RISER HEIGHT PLUS TREAD WIDTH IS TO BE BETWEEN 550MM & 700MM. BALUSTRADE HEIGHT TO BE MINIMUM 1M (OR 865MM ABOVE THE LINE OF NOSINGS) TO ALL STAIRS AND LANDINGS. FOR FLOORS MORE THAN 4M ABOVE THE GROUND, ANY HORIZONTAL ELEMENTS WITHIN THE BALUSTRADE OR OTHER BARRIER BETWEEN 150MM & 760MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING. BALUSTRADE & RISER OPENINGS TO BE LESS THAN 120MM. MINIMUM CLEAR HEIGHT OF STAIRS TO BE 2M FOR A MINIMUM CLEAR WIDTH OF 1M. HANDRAILS MUST BE LOCATED ALONG AT LEAST ONE SIDE OF THE STAIRS & FIXED NOT LESS THAN 850MM ABOVE THE NOSINGS OF THE STAIR TREADS & FLOOR SURFACE OF THE LANDING OR THE LIKE.
- WHERE NOTED: PARKING PLABLE ROOF PARKING USED UNDER ROOF AND WALL COVERINGS SHALL COMPLY AND FIXED IN ACCORDANCE WITH AS 1903 AND 1904 WHICH EVER IS APPLICABLE AND BCA CLAUSE 3.7.1.8 AND AS4200.1 & 4201.2 PLABLE BUILDING MEMBRANES & UNDERLAYS.
- SMOKE ALARM DENOTES SELF CONTAINED SMOKE ALARM TO BE HARDWIRED AND INTERCONNECTED IN ACCORDANCE WITH AS3786-2014 CLAUSE VIC E1.7.1 CONNECTED TO MAIN POWER, SIMILAR TO BRK 88 RWACW, WITH BATTERY BACK-UP UNIT TO CONTAIN EMERGENCY LIGHTING.
- OWNERS RESPONSIBILITY ON FOUNDATION MAINTENANCE AS PER CSIRO HOME OWNERS MAINTENANCE GUIDE.
- INSULATIONS: MINIMUM INSULATION VALUES TO WALLS & CEILINGS OF DWELLINGS TO BE IN ACCORDANCE WITH BCA 2019 VIC SPEC. 1.2.3. R1.5 TO WALLS & R2.5 TO CEILINGS AND AS1562 - DESIGN & INSULATION OF SHEET ROOF & WALL CLADDING, OR AS OTHERWISE SPECIFIED BY A LICENSED ENERGY RATER.
- ROOF OR CELLULOSE FIBRE LOOSE-FILL R2.5 MIN.
- INSULATION BY INSUL-LITE
- WALLS TECO DOUBLE SIDED REFLECTIVE - SLAB ON.
- C.J. DENOTES BRICK CONTROL JOINTS - 10mm WIDE VERTICAL JOINT FILLED WITH FLEXIBLE SEALANT OR MASTIC TO EXTERNAL BRICK FACE AT EVERY SMTRS AS PER B.C.A. REQUIREMENT UNLESS OTHERWISE SPECIFIED ON APPROVED SOIL.
- IF THRESHOLD SILL OF A DOORWAY IS GREATER THAN 190mm ABOVE THE FINISH SURFACE OF THE GROUND TO WHICH THE DOORWAY OPENS, A LANDING SHALL BE PROVIDED NO LESS THAN THE WIDTH OF THE DOOR LEAF.
- EAVES TO WITHIN 900mm (BUT NO CLOSER THAN 450MM) OF THE BOUNDARY SHALL BE CONSTRUCTED OF NON COMBUSTIBLE MATERIALS AND EAVES EXPOSED TO WITHIN 450mm OF THE BOUNDARY SHALL BE PROTECTED BY EITHER A WING WALL OR CORBELED BRICKWORK.
- LIGHT & VENTILATION: PROVIDE NATURAL LIGHT (10%) & VENTILATION (5%) DETAILS VIA AN APPROPRIATE SCHEDULE 3.8.4 & 3.8.5.
- GLAZING DETAILS: GLAZING DETAILS REQUIRED I.E. AREA & THICKNESS, ALSO FOR GLAZED DOORS & SIDE PANELS, PROVIDE COPY OF TABLES FROM A.S. 1288
- ALL SITE LEVELS ARE TO BE CHECKED ON SITE AND CLEARLY LOCATED BY A LICENSED LAND SURVEYOR PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS.
- THIS SITE IS TO BE ADEQUATELY FENCED DURING CONSTRUCTION TO PREVENT PUBLIC ACCESS AND NO PART OF THE BUILDING IS TO PROJECT BEYOND THE BOUNDARY / FENCE LINE, INCLUDING MOULDINGS, ARCHITECTURAL FEATURES E.T.C.
- THE GROUND BENEATH THE SUSPENDED FLOOR MUST BE DIVERTED AWAY FROM A SLAB-ON-GROUND, SO THAT THE ADJACENT EXISTING FINISHED SURFACE SURROUNDING THE SLAB MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING AND GRADED TO GIVE A SLOPE OF NOT LESS THAN 50MM

CONSULTANTS:

- ALL DRAWINGS TO BE READ IN CONJUNCTIONS WITH RELEVANT SOIL ENGINEERING REPORT
REF: 20200318 DM LAWRENCE SOIL TESTING PTY. LTD.
- ALL DRAWINGS TO BE READ IN CONJUNCTIONS WITH RELEVANT STRUCTURAL ENGINEERING DRAWINGS
REF: 200702 EDGE CONSULTING ENGINEERS
- ALL LEVELS ARE TO BE CHECKED ON SITE BY THE BUILDER AND ANY DISCREPANCIES TO BE REPORTED IMMEDIATELY PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS.
REF: J11679 FARRIN GROUP
- ALL DRAWINGS TO BE READ IN CONJUNCTIONS WITH RELEVANT ENERGY REPORT
REF: 11799 JB ENERGY RATING
- THESE DRAWINGS REMAIN THE PROPERTY OF HATZIS DESIGN PTY. LTD. (HDZ) AND CANNOT BE ALTERED, REPRODUCED, RETAINED OR DISCLOSED TO THOSE UNAUTHORISED WITHOUT WRITTEN PERMISSION FROM HDZ.
- ALL DIMENSIONS ARE TO BE VERIFIED ON SITE BY ALL CONTRACTORS
- THIRD PARTY CONTRACTORS ARE TO BE BRIEFED ON REQUIREMENTS PRIOR TO MANUFACTURE
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED

REVISIONS

NO.	DATE	AMENDMENTS
NO. 1	15/02/2021	INTERNAL REVIEW AND CLIENT CHANGES
NO. 2	04/03/2021	PP1
NO. 3	06/03/2021	WORKING PLAN
NO. 4	09/03/2021	POOL AMENDMENTS
NO. 5	21/03/2021	CONTRACTOR - WP1
NO. 6	01/04/2021	CONTRACTOR - WP1
NO. 7	01/04/2021	CONTRACTOR - WP1

PROJECT PARTICULARS

ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING.

45 DAISY STREET, ESSENDON, VIC 3040

ADRIAN & TANIA NATHANIELSZ

15/12/2021

775-06-20 - 45 DAISY STREET ESSENDON, VIC 3040 (BY WINDOW PLAN)

A1 PAPER

DIAL BEFORE YOU DIG
www.1100.com.au

HDZ
hatszisdigitaland
commercial design

PROJECT RECEPTION

ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING.

45 DAISY STREET, ESSENDON, VIC 3040

ADRIAN & TANIA NATHANIELSZ

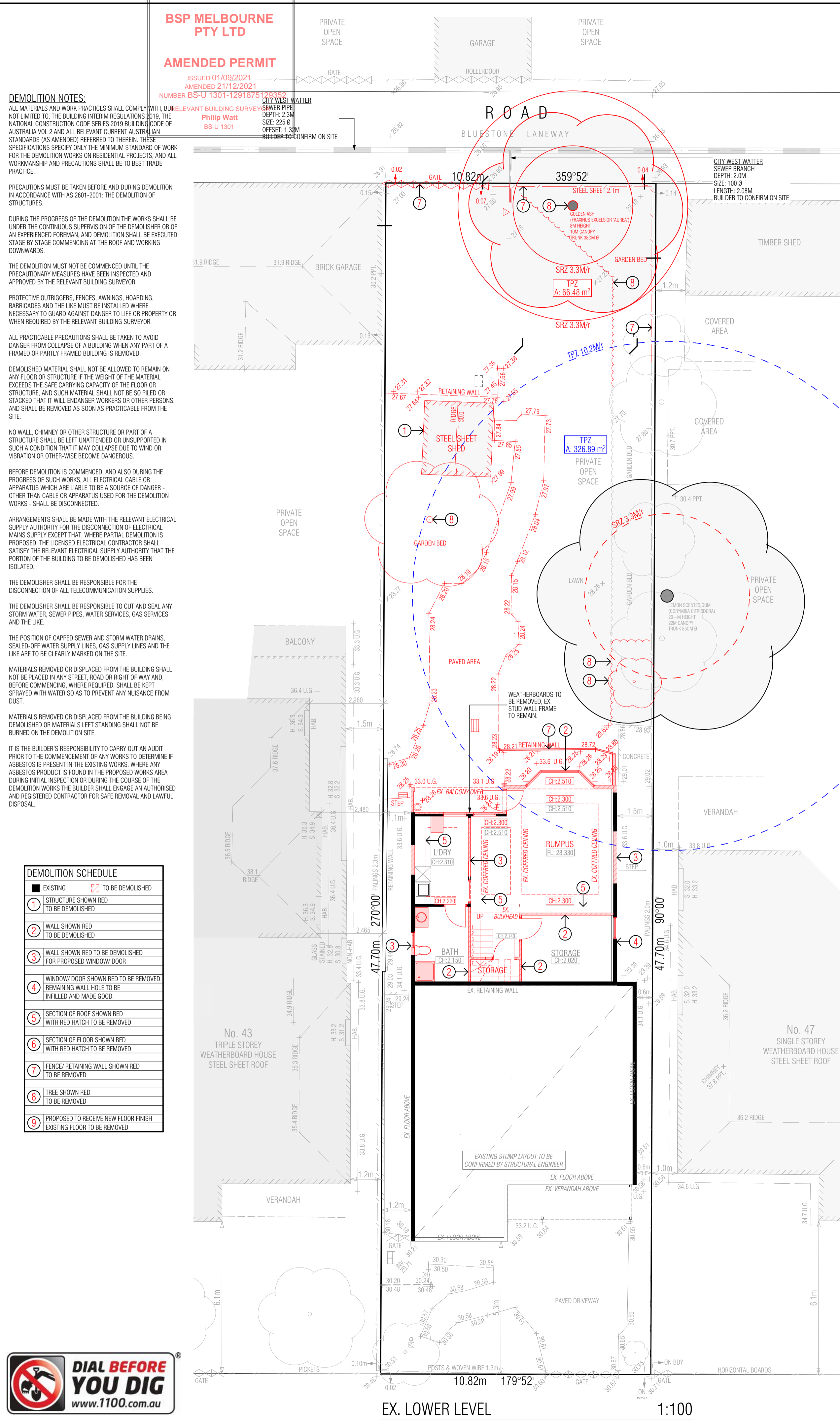
15/12/2021

775-06-20 - 45 DAISY STREET ESSENDON, VIC 3040 (BY WINDOW PLAN)

A1 PAPER

bdqv
Building Designers Association Victoria

REGISTERED Building Practitioner



LEGEND

- DOWN PIPES
- CONCERNING LEGAL POINT OF DISCHARGE OF AS PER CAL DESIGN
- RAIN WATER HEAD
- DOWN PIPE
- MASONRY CONTROL JOINT REF TO 200 REPORT 4 ENGINEERS DRAWINGS & SPECIFICATIONS
- V. VANITY
- D.V. DOUBLET VANITY
- T. TOILET
- B. BATH
- F.W. FLOOR WASTE
- SHR. SHOWER
- S. SINK
- CV. COOK TOP
- OV. OVEN
- DF. DISH WASHER
- WM. WASHING MACHINE
- DR. DRYER
- C/S. CAVITY SLIDING DOOR
- ELECTRICAL METER BOX
- ELECTRICAL SUB-BOARD BOX
- AIR CONDITIONING UNIT
- SMOKE ALARM HARD WIRE & INTERCONNECTED AS PER NCC REQUIREMENTS
- EXHAUST FAN - DUCTED TO OUTER AIR
- CARPET
- TILES
- TIMBER FLOORS
- WET AREAS
- GRASS/ LANDSCAPED AREAS

WALL LEGEND

- | WALL | THK. | DESCRIPTION |
|------|------|---|
| — | 140 | 50MM UNITEX CLADDING DIRECT FIX TO 90MM STUD WALL |
| — | 90 | 90MM STUDWALL + 10MM PLASTER |
| — | 230 | 230 DOUBLE BRICK |
| — | | EXISTING WALL |
| — | 140 | 140 BLOCK WORK (S.A.S. PER ENGINEERS) |

AREA MEASUREMENTS

	M2	SQS
EXISTING		
EX. LOWER FLOOR	65.7	7.1
EX. UPPER FLOOR	144.5	15.6

PROPOSED ADDITIONS	DOES NOT INCLUDE INTERNAL WORKS
PR. LOWER FLOOR ADDITION	30.2 3.3
PR. UPPER FLOOR ADDITION	20.1 2.2
PR. ALFRESCO	26.3 2.8
PR. GARAGE	64.2 6.9
PR. POOL ZONE	57.2 6.2

PROPOSED TOTALS	DOES NOT INCLUDE INTERNAL WORKS
PR. LOWER FLOOR	95.9 10.3
PR. UPPER FLOOR	164.6 17.7
PR. ALFRESCO	26.3 2.8
PR. GARAGE	64.2 6.9
TOTAL	351 37.8
TOTAL LIVING	261 28.0

SITE AREA	516	
SITE COVERAGE	262	51%
PERMEABILITY	107	21%
GARDEN AREA	211	41%

EXTERNAL FINISHED SURFACES: SURFACE WATER MUST BE DIVERTED AWAY FROM THE BUILDING SO EXTERNAL FINISHED SURFACES SURROUNDING THE BUILDING ARE DRAINED TO DIRECT SURFACE WATER AWAY FROM THE DWELLING AND GRADED TO SLOPE OF NOT LESS THAN 1:100 FROM THE FIRST 1000MM FROM THE BUILDING. IN ACCORDANCE WITH CLAUSE 3.1.2.3 OF THE NCC.

CABINETRY: ALL INTERNAL CABINETRY TO MANUFACTURERS SPECIFICATIONS AS DIRECTED BY OWNER

ALL WINDOWS AND DOORS AT CORNER JUNCTIONS ARE TO HAVE A MINIMUM CLEARANCE OF MIN. 90MM TO ALLOW FOR ARCHITRAVES

ALL INTERNAL DOOR SWEPTS TO BE AS NOTED ON PLANS. OTHERWISE THEY ARE TO BE 820mm x 2100, OR AS DETERMINED BY OWNER.

STAIRCASES: RISERS TO HAVE A MAXIMUM HEIGHT OF 190MM & MINIMUM 115MM GOINGS TO HAVE A MAXIMUM TREAD WITH A 355MM & MINIMUM 250/240MM BALUSTRADE HEIGHT TO BE MINIMUM 1M (OR 850MM ABOVE THE LINE OF NOSINGS). BALUSTRADE & RISER OPENINGS TO BE LESS THAN 125MM. PROVIDE A SLIP-RESISTANT FINISH ON A SUITABLE NON-SKID STRIP NEAR THE EDGE OF THE STAIR TREADS IN ACCORDANCE WITH CLAUSE 3.9.1.3 (G) OF THE NCC 2019.

WET AREAS: WET AREAS TO BE TANKED & WATERPROOFED BY A LICENSED PROFESSIONAL & FLOOR SURFACES TO BE GRADED AS SHOWN.

BALCONIES: PROVIDE WATERPROOFING MEMBRANE TO BALCONY AREA. FINISHED FLOOR TO BE SLOPING AWAY FROM BUILDING. WATERPROOFING TO COMPLY WITH NCC VOL. 2 PART 3.8.1 AND AS3740.

VENTILATION: VENTILATION TO OUTER AIR FOR ENS, BATH, LDRY AND P/R IN ACCORDANCE WITH NCC.

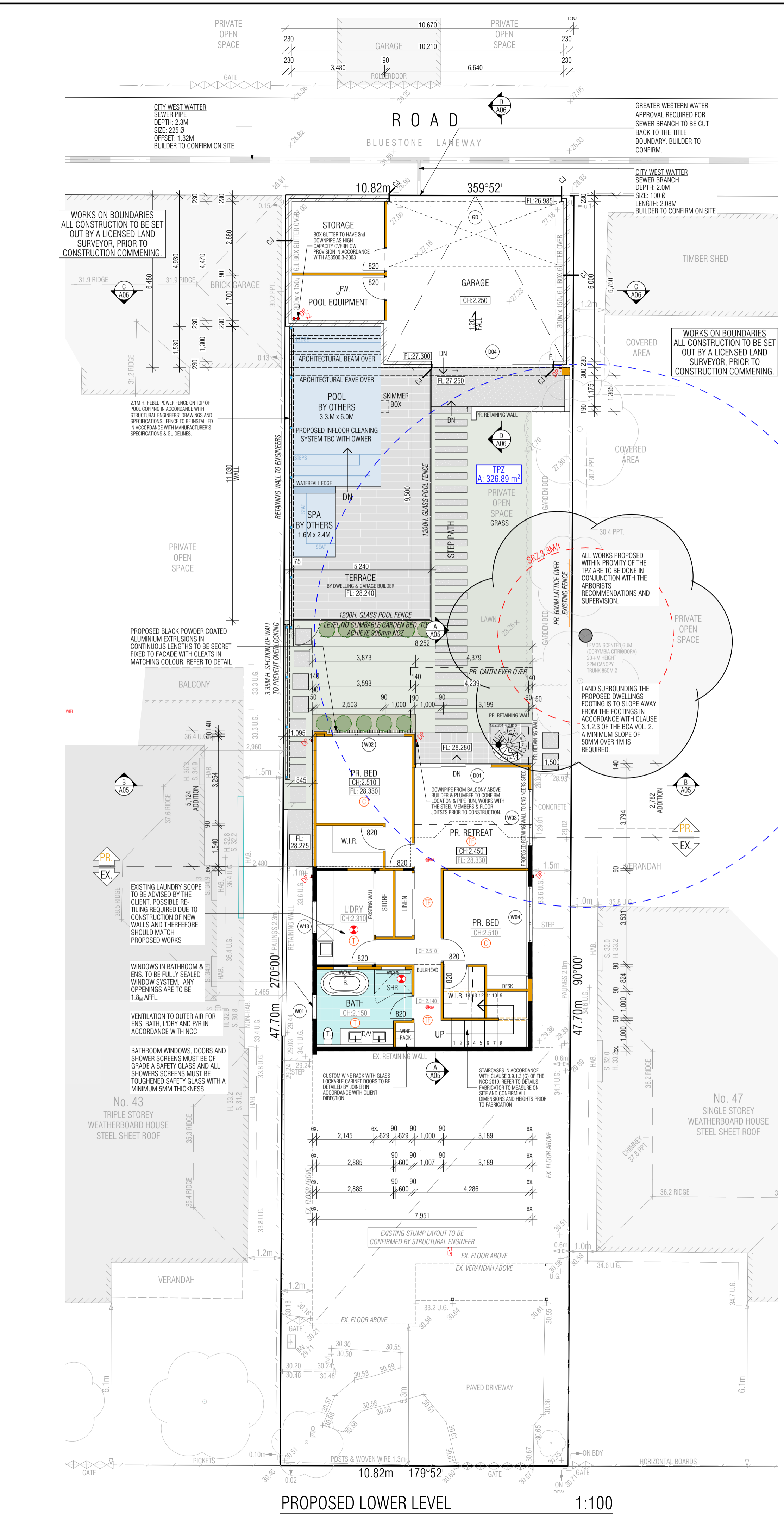
BATHROOM WINDOWS: BATHROOM WINDOWS INCL. ENSUITE WINDOW AND SHOWER SCREENS MUST BE OF GRADE A SAFETY GLASS AND ALL SHOWER SCREENS MUST BE TOUGHENED SAFETY GLASS WITH A MINIMUM 5MM THICKNESS.

HABITABLE ROOM WINDOWS: ALL HABITABLE ROOM WINDOWS GREATER THAN 2M TO HAVE A 125MM RESTRICTING DEVICE. ANY OTHER WINDOW UNDER THE NEW BCA PROVISIONS GREATER THAN 4M REQUIRES THESE WINDOWS TO ALSO BE RESTRICTED TO 125MM. NOTE, WINDOWS 1.7M FROM FFL ARE NOT REQUIRED TO BE RESTRICTED.

WORKS ON BOUNDARIES
ALL CONSTRUCTION TO BE SET OUT BY A LICENSED LAND SURVEYOR, PRIOR TO CONSTRUCTION COMMENCING.

THESE DRAWINGS REMAIN THE PROPERTY OF HATZIS DESIGN PTY. LTD (HDZ) AND CANNOT BE ALTERED, REPRODUCED, RETAINED OR DISCLOSED TO THOSE UNAUTHORISED WITHOUT WRITTEN PERMISSION FROM HDZ.

ALL DIMENSIONS ARE TO BE VERIFIED ON SITE BY ALL CONTRACTORS
THIRD PARTY CONTRACTORS ARE TO BE BRIEFED ON REQUIREMENTS PRIOR TO MANUFACTURE
ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED



GENERAL NOTES

1. PLANS TO BE READ IN ACCORDANCE WITH BCA VOL. 2 PART 3
2. DRAWINGS SHALL NOT BE SCALED. CONTRACTORS SHALL VERIFY ALL DIMENSIONS ON THE JOB BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS.
3. ALL MATERIALS AND METHOD OF CONSTRUCTION, TESTING, ETC. SHALL CONFORM TO THE RELEVANT S.A. CODES, VICTORIAN BUILDING REGULATIONS 2018 NATIONAL CONSTRUCTION CODE (NCC) AND ANY BY-LAWS OF LOCAL AUTHORITY.
4. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL LIGHT OF NOT LESS THAN 10 PERCENT OF FLOOR AREA AND HAVING VENTILATION AT LEAST 5 PERCENT OF THE FLOOR AREA OPENABLE AS PER BCA VOL. 2 PART 3 RESPECTIVELY.
5. VENTILATION: SUB-FLOOR VENTILATION SHALL BE PROVIDED TO GIVE AN UNOBSTRUCTED AREA OF NOT LESS THAN 6000mm² OF FLOOR AREA AND HAVING VENTILATION AT LEAST 5 PERCENT OF THE FLOOR AREA OPENABLE AS PER BCA VOL. 2 PART 3 RESPECTIVELY.
6. MECHANICAL EXHAUST TO BE 25% FOR A BATHROOM OR ANY OTHER SANITARY COMPARTMENT AND DUCTED DIRECTLY TO OUTSIDE.
7. MECHANICAL EXHAUST TO BE 40% FOR A KITCHEN OR LAUNDRY AREA AND DUCTED DIRECTLY TO OUTSIDE.
8. GLASS SHALL BE INSTALLED IN BUILDINGS IN ACCORDANCE WITH AS 1288 & AS 2407 WHERE GLAZING IS WITHIN 500mm OF FLOOR LEVEL. GLASS SHALL BE 5mm THICKNESS ANNEALED, GLAZED DOORS AND ASSOCIATED SIDE PANELS SHALL BE 5.38mm LAMINATED SAFETY GLASS.
9. BRICKWORK TO COMPLY TO AS4773 MASONRY IN SMALL BUILDINGS & AS3701 2018. WHEEHPHILES TO BE A MIN. 75MM ABOVE PAVED CONCRETE AREAS & 150MM ABOVE NGL. MORTAR MIX 1:1:6.
10. STRUCTURAL CONCRETE WORKS TO COMPLY TO AS 3600 (MINIMUM 20mpa).
11. TIMBER FINISHING IS TO COMPLY WITH AS 1684.
12. WET AREAS: ALL BATHROOMS, SHOWER ROOMS, LAUNDRY AND SANITARY COMPARTMENTS SHALL BE RENDERED DAMP-PROOF AND IMPERVIOUS TO MOISTURE IN ACCORDANCE WITH BCA 3.1.1 AND TO BE IN ACCORDANCE WITH AS3500.3 PLUMBING AND DRAINAGE.
13. WET AREAS TO BE IMPERVIOUS TO WATER. WALL SURFACES & SUBSTRATES OF SHOWER ENCLOSURES, OR IF UNCLOSED, WITHIN 1.5M HORIZONTALLY TO A HEIGHT OF 1.8M ABOVE THE FLOOR, & BEHIND ANY BATH, BASIN, SINK ETC. IF WITHIN 75MM OF A WALL TO A HEIGHT OF 150MM ABOVE FIXTURE.
14. FULLY ENCLOSED SANITARY COMPARTMENTS: IF THERE IS NOT A CLEAR SPACE OF AT LEAST 1.2M BETWEEN THE CLOSET PAN WITH IN SANITARY COMPARTMENT & NEAREST PART OF THE DOORWAY THEN THE DOOR MUST - OPEN OUTWARDS OR - SLIDE OR - BE REMOVABLE FROM OUTSIDE OF THE SANITARY COMPARTMENT.
15. STAIRS/LANDINGS: RISERS TO HAVE A MAXIMUM HEIGHT OF 190MM & MINIMUM 115MM. GOINGS TO HAVE A MAXIMUM TREAD WITH A 355MM & MINIMUM 250/240MM. THE RATIO OF TWICE THE RISER HEIGHT PLUS TREAD WIDTH IS TO BE BETWEEN 550MM & 700MM. BALUSTRADE HEIGHT TO BE MINIMUM 1M (OR 850MM ABOVE THE LINE OF NOSINGS) TO ALL STAIRS AND LANDINGS. FOR FLOORS MORE THAN 4M ABOVE THE GROUND, ANY HORIZONTAL ELEMENTS WITHIN THE BALUSTRADE OR OTHER BARRIER BETWEEN 150MM & 760MM ABOVE THE FLOOR MUST NOT FACILITATE CLIMBING. BALUSTRADE & RISER OPENINGS TO BE LESS THAN 125MM. PROVIDE A SLIP-RESISTANT FINISH ON A SUITABLE NON-SKID STRIP NEAR THE EDGE OF THE STAIR TREADS IN ACCORDANCE WITH CLAUSE 3.9.1.3 (G) OF THE NCC 2019.
16. HANDRAILS MUST BE LOCATED ALONG AT LEAST ONE SIDE OF THE STAIRS & FIXED NOT LESS THAN 850MM ABOVE THE FINISH OF THE STAIR TREADS & FLOOR SURFACE OF THE LANDING OR THE LIKE.
17. WHERE NOTED SARKING PLIABLE ROOF SARKING UNDER LINER ROOF AND WALL COVERINGS SHALL COMPLY AND BE FIXED IN ACCORDANCE WITH AS 1903 AND 1904. WHEREVER IS APPLICABLE AND BCA CLAUSE 3.7.1.8 AND AS4200.1 & 4200.2 PLIABLE BUILDING MEMBRANES & UNDERLAYS.
18. DENOTES SELF CONTAINED SMOKE ALARM TO BE HARDWIRED AND INTERCONNECTED IN ACCORDANCE WITH AS3786-2014 CLAUSE VC1.7.1 CONNECTED TO MAIN POWER. SIMILAR TO BRK 88 RACW. WITH BATTERY BACK-UP UNIT TO CONTAIN EMERGENCY LIGHTING.
19. OWNERS RESPONSIBILITY ON FOUNDATION MAINTENANCE AS PER CSIRO HOME OWNERS MANUAL GUIDE.
20. INSULATIONS: MINIMUM INSULATION VALUES TO WALLS & CEILINGS OF DWELLINGS TO BE IN ACCORDANCE WITH BCA 2019 VIC SPEC. 1.2.3. R1.5 TO WALLS & R2.5 TO CEILINGS AND R3.0 TO FLOORS. DESIGN & INSULATION OF SHEET ROOF & WALL CLADDING OR AS OTHERWISE SPECIFIED BY A LICENSED ENERGY RATER. ROOF OR CELLULOSE FIBRE LOOSE-FILL R2.5 MIN. CEILING INSULATION: INSULATE ALL CEILING AREAS WITH A MINIMUM R VALUE OF 1.0. WALLS: TEO DOUBLE SIDED REFLECTIVE - SLAB ON.
21. C.J. DENOTES BRICK CONTROL JOINTS - 10mm WIDE VERTICAL Joints FILLED WITH FLEXIBLE SEALANT OR MASTIC TO EXTERNAL BRICK FACE AT EVERY SMRITS AS PER B.C.A. REQUIREMENT UNLESS OTHERWISE SPECIFIED ON APPROVED SOIL.
22. IF THRESHOLD SLOPE OF A DOORWAY IS GREATER THAN 190mm ABOVE THE FINISH SURFACE OF THE GROUND TO WHICH THE DOORWAY OPENS, A LANDING SHALL BE PROVIDED NOT LESS THAN THE WIDTH OF THE DOOR LEAF.
23. EAVES WITHIN 900mm (BUT NOT CLOSER THAN 450MM) OF THE BOUNDARY SHALL BE CONSTRUCTED OF NON COMBUSTIBLE MATERIALS AND EAVES EXPOSED TO WITHIN 450mm OF THE BOUNDARY SHALL BE PROTECTED BY EITHER A WING WALL OR CORBELED BRICKWORK.
24. LIGHT & VENTILATION: PROVIDE NATURAL LIGHT (10%) & VENTILATION (5%) DETAILS VIA AN APPROPRIATE SCHEDULE 3.8.4 & 3.8.5
25. GLAZING DETAILS: GLAZING DETAILS REQUIRED IN AREA A THICKNESS. ALSO FOR GLAZED DOORS & SIDE PANELS. PROVIDE COPY OF TABLES FROM A.S. 1288
26. ALL SITE LEVELS ARE TO BE CHECKED ON SITE AND CLEARLY LOCATED BY A LICENSED LAND SURVEYOR PRIOR TO COMMENCING OF ANY BUILDING WORKS.
27. SITE IS TO BE ADEQUATELY FENCED DURING CONSTRUCTION TO PREVENT PUBLIC ACCESS AND NO PART OF THE BUILDING IS TO PROJECT BEYOND THE BOUNDARY FENCE LINE. I.E. INCLUDING MOLDS, ARCHITECTURAL FEATURES E.T.C.
28. THE GROUND BENEATH THE SUSPENDED FLOOR MUST BE DIVERTED AWAY FROM A SLAB-ON-GROUND, SO THAT THE ADJACENT EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING AND GRADED TO GIVE A SLOPE OF NOT LESS THAN 1:100.

REVISIONS

NO.	DATE	AMENDMENTS
NO. 1	15/12/2021	INITIAL REVIEW & CLIENT CHANGES
NO. 2	16/02/2022	FINAL REVIEW & CLIENT CHANGES
NO. 3	16/02/2022	FINAL REVIEW & CLIENT CHANGES
NO. 4	16/02/2022	FINAL REVIEW & CLIENT CHANGES
NO. 5	16/02/2022	FINAL REVIEW & CLIENT CHANGES
NO. 6	16/02/2022	FINAL REVIEW & CLIENT CHANGES
NO. 7	16/02/2022	FINAL REVIEW & CLIENT CHANGES
NO. 8	16/02/2022	FINAL REVIEW & CLIENT CHANGES
NO. 9	16/02/2022	FINAL REVIEW & CLIENT CHANGES
NO. 10	16/02/2022	FINAL REVIEW & CLIENT CHANGES

PROJECT PARTICULARS

ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING.

45 DAISY STREET, ESSENDON, VIC 3040

ADRIAN & TANIA NATHANIELSZ

15/12/2021

775-06-20 - 45 DAISY STREET ESSENDON, VIC 3040

A1 PAPER

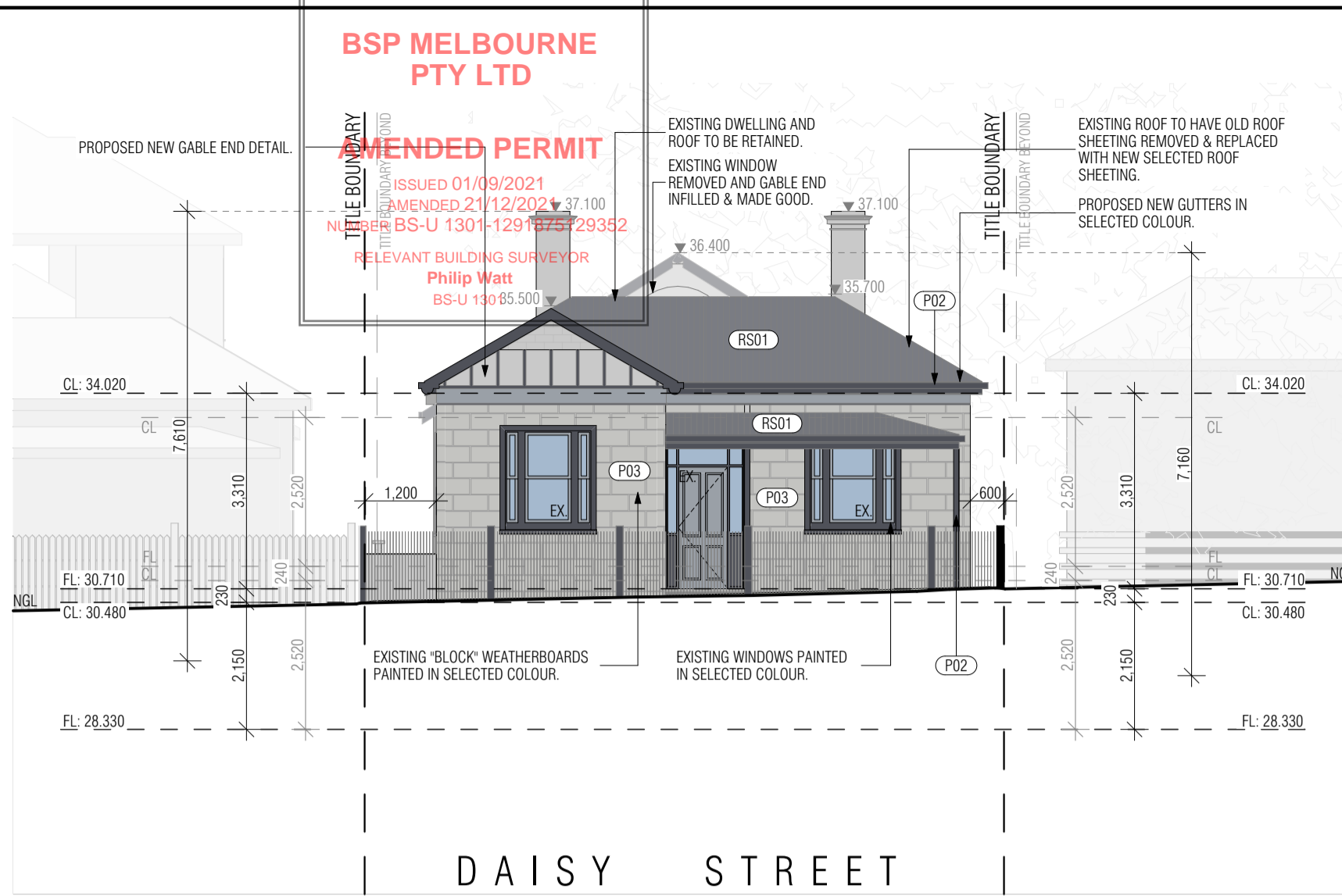
LR/DH

775-06-20

A02 OF 9 J

REGISTERED BUILDING DESIGNER

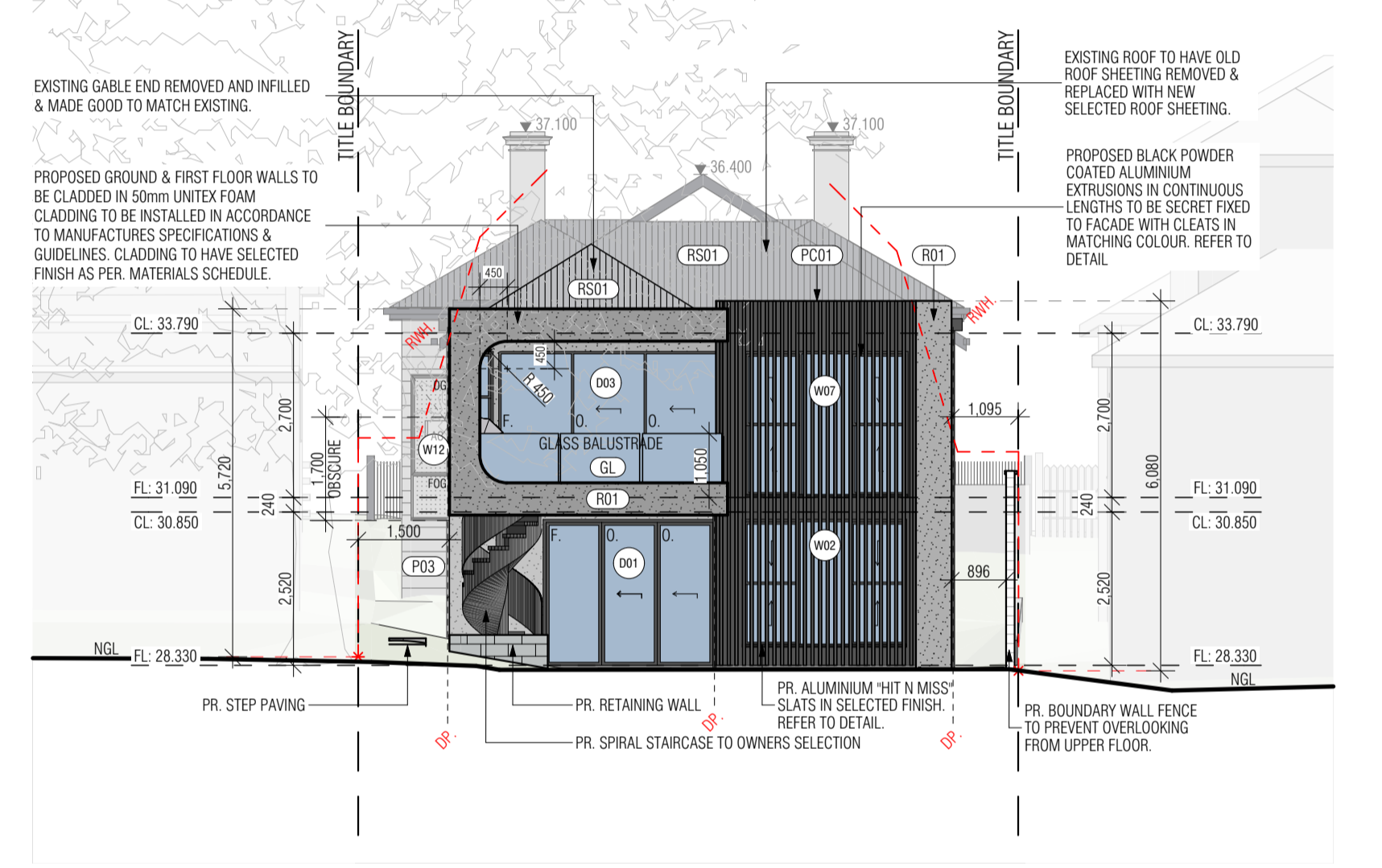




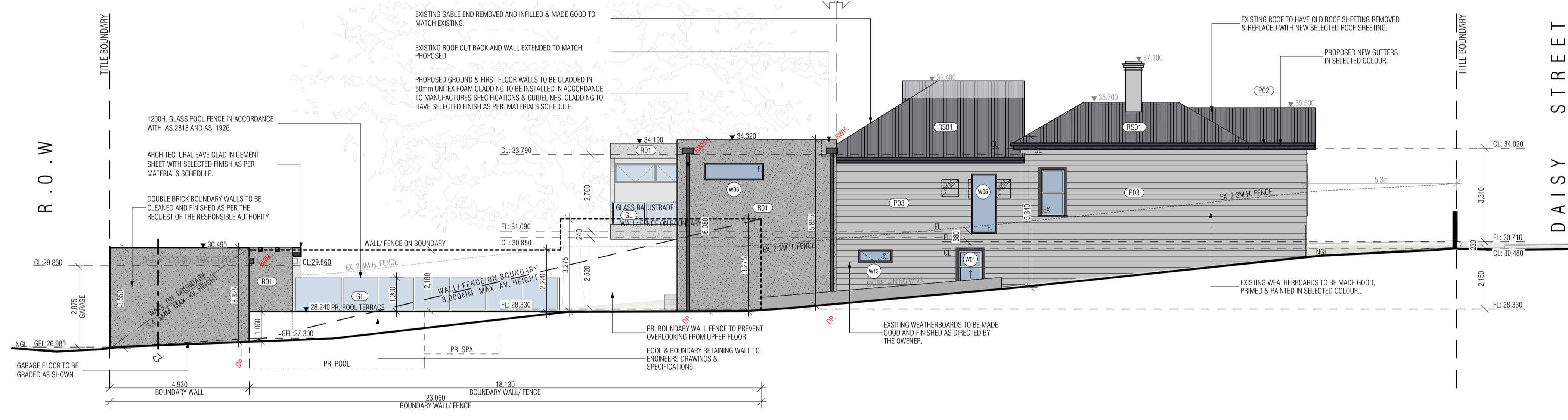
EAST ELEVATION 1:100



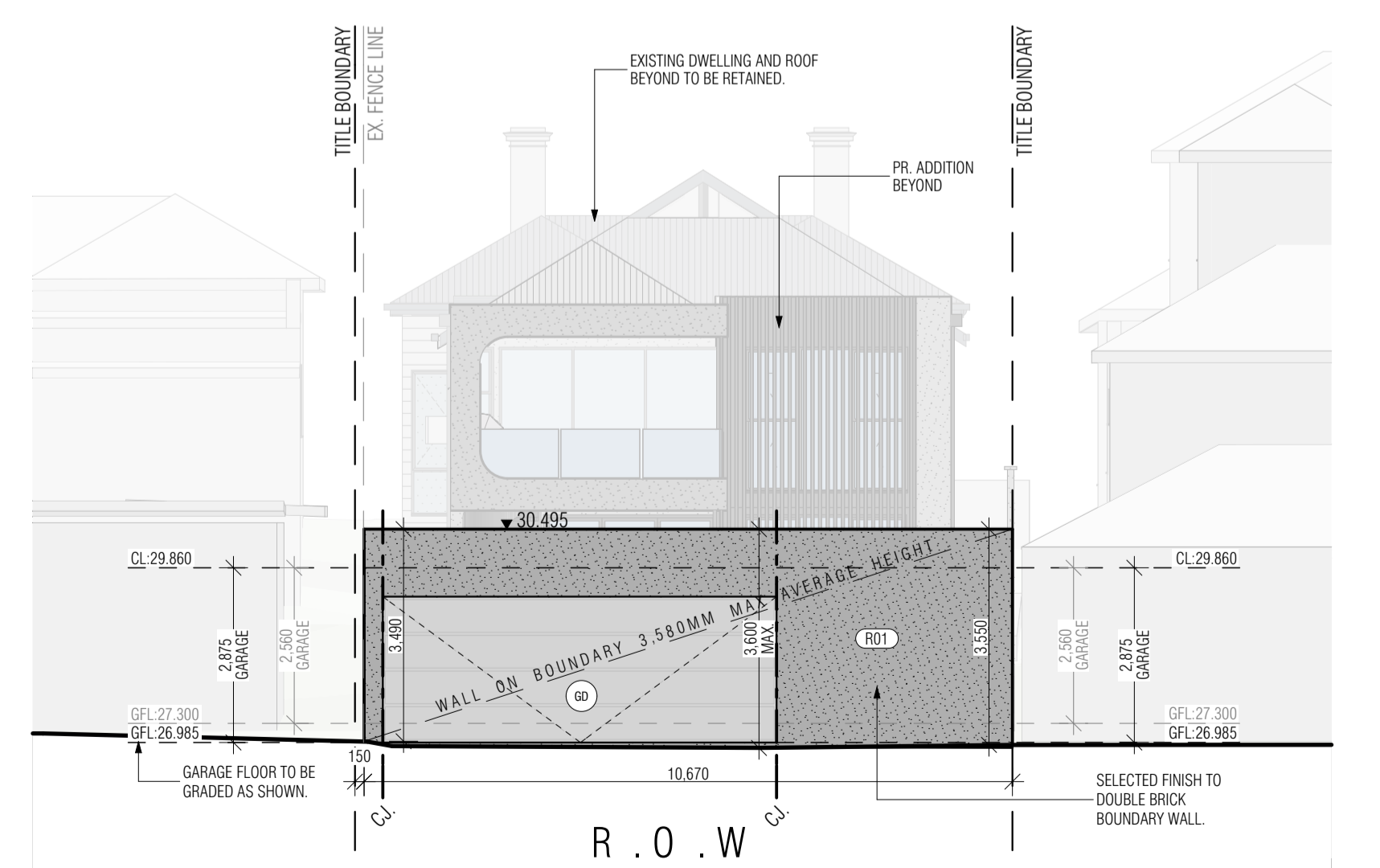
NORTH ELEVATION 1:100



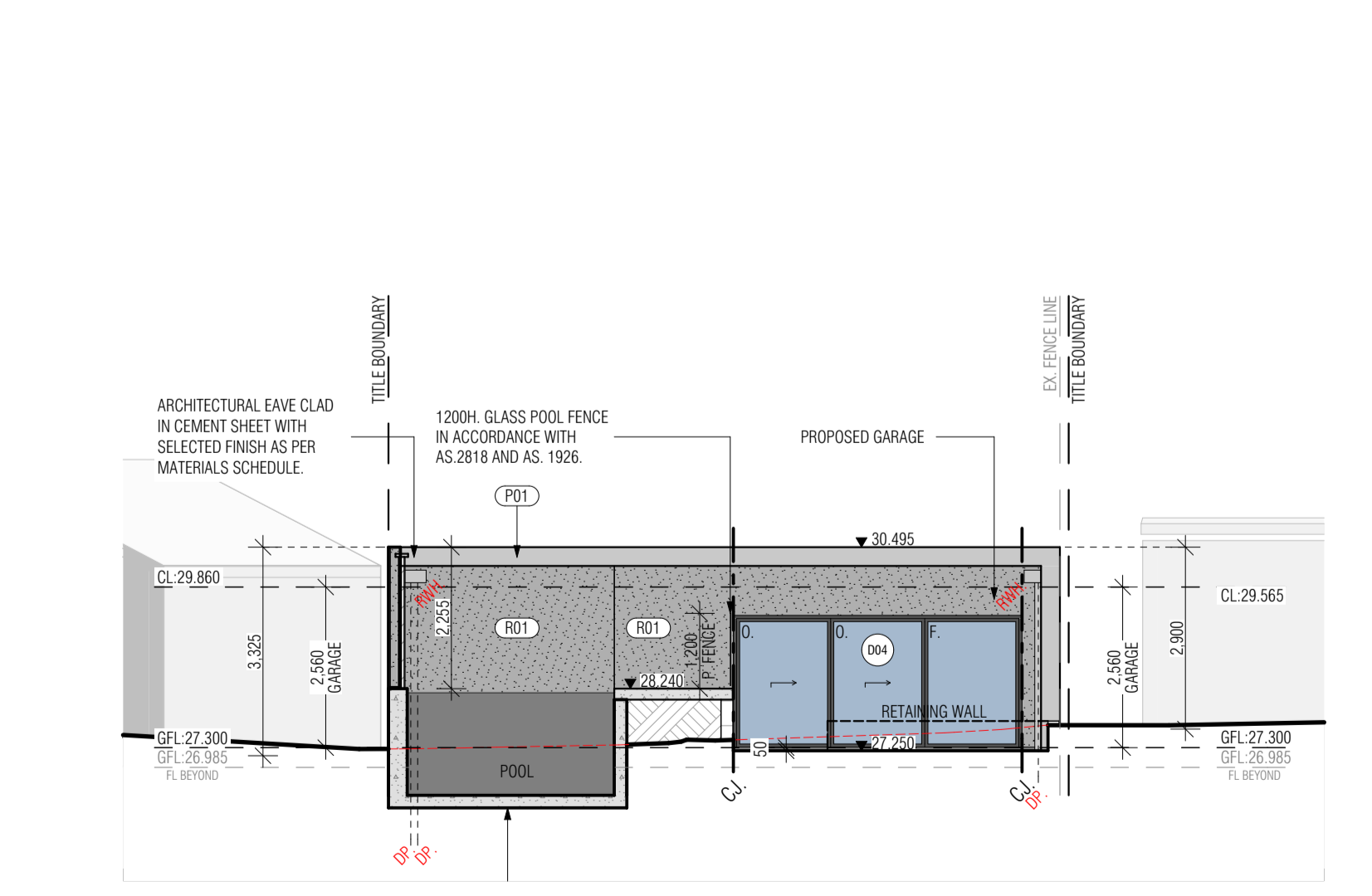
WEST INTERNAL ELEVATION 1:100



SOUTH ELEVATION 1:100



WEST ELEVATION 1:100



EAST INTERNAL ELEVATION 1:100

MATERIALS SCHEDULE

ALL MATERIALS TO BE CONFIRMED BY OWNER.

	R01 CONCRETE RENDER		PC01 POWDERCOTED ALUMINIUM BLACK
	P01 PAINT DULUX LEXICON HALF		BL01 BLOCKWORK AUSTRAL SPILT FACE PORCELAIN
	P02 PAINT DULUX COLORBOND MONUMENT		GL GLASS
	P03 PAINT DULUX NATURAL WHITE		ALUMINIUM WINDOW FRAMES POWDERCOTED: BLACK
	RS01 ROOF SHEETING COLORBOND: MONUMENT		

REVISIONS

NO	DATE	AMENDMENTS
W05-1	15/12/2021	INTERNAL REVIEW & CLIENT CHANGES
W05-2	16/02/2021	RFI
W05-3	04/03/2021	LOADING PLAN
W05-4	05/03/2021	POOL AMENDMENTS
W05-5	21/02/2021	CURTAIN WINDOW - W12
W05-7	15/12/2021	CURTAIN WINDOW - W12 - FINISH



ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING.

45 DAISY STREET, ESSENDON, VIC 3040

ADRIAN & TANIA NATHANIELSZ

15/12/2021

775-06-20 - 45 DAISY STREET ESSENDON, VIC 3040

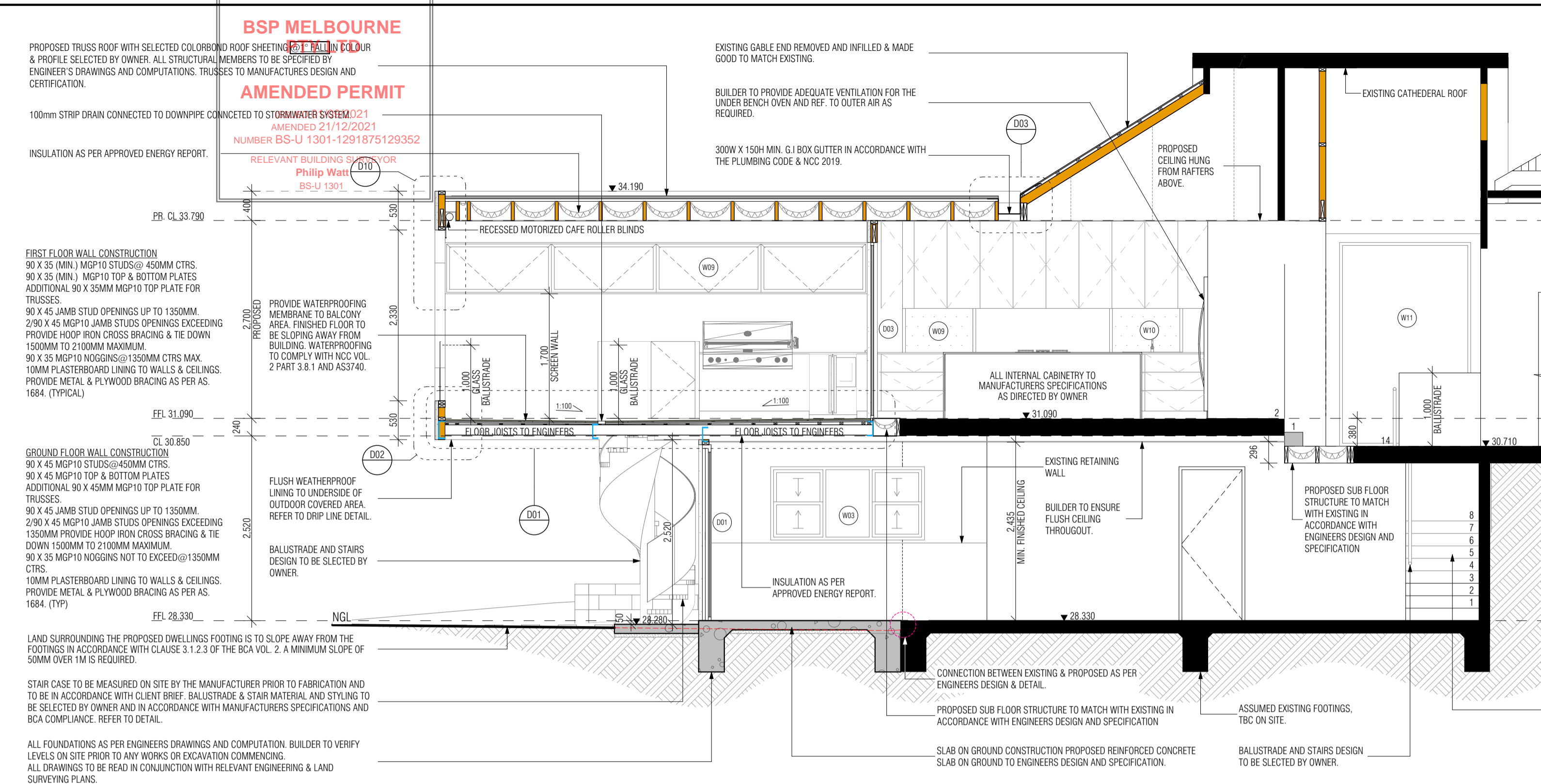
A1 PAPER

LR / DH

775-06-20 A04 OF 9 J



REGISTERED Building Practitioner



SECTION A 1:50

CORROSION PROTECTION OF BUILT-IN STEEL MEMBERS: HIGH PROTECTIVE COATING
 *DEGREASE AND POWER TOOL CLEAN VERY THOROUGHLY AND APPLY 75 um EPOXY ZINC OR EPOXY ZINC PHOSPHATE PRIMER.
 *BLAST TO GRADE 2.5/75um ZINC SILICATE TYPE 3/4 OR 6.
 *HOT DIP GALVANISING-300 g/m²
 *HOT DIP GALVANISING-100 g/m² / 100 um EPOXY PHOSPHATE PRIMER.

NOTE:
 BOX GUTTERS TO HAVE CONTINUOUS FLASHING AND TO BE INSTALLED WITH SUMP OVERFLOW. BOX GUTTER TO BE INSTALLED BY REGISTERED PLUMBER AND IN ACCORDANCE WITH THE PLUMBING CODE 2019.

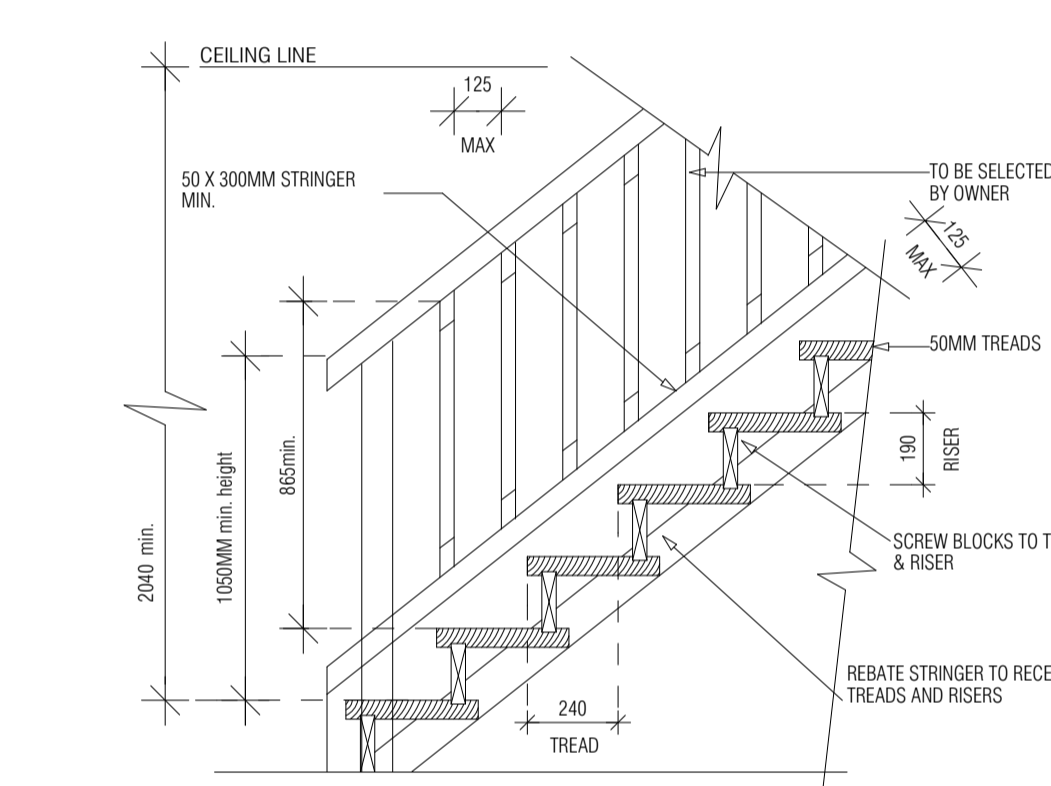
NOTE:
 SURFACE WATER MUST BE DIVERTED AWAY FROM THE BUILDING SO EXTERNAL FINISHED SURFACES SURROUNDING THE BUILDING ARE DRAINED TO DIRECT SURFACE WATER AWAY FROM THE DWELLING AND GRADED TO SLOPE OF NOT LESS THAN 50MM OVER THE FIRST 1000MM FROM THE BUILDING (MEASURED FROM THE TOP OF THE SLAB).

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT ENGINEERING & LAND SURVEYING PLANS.

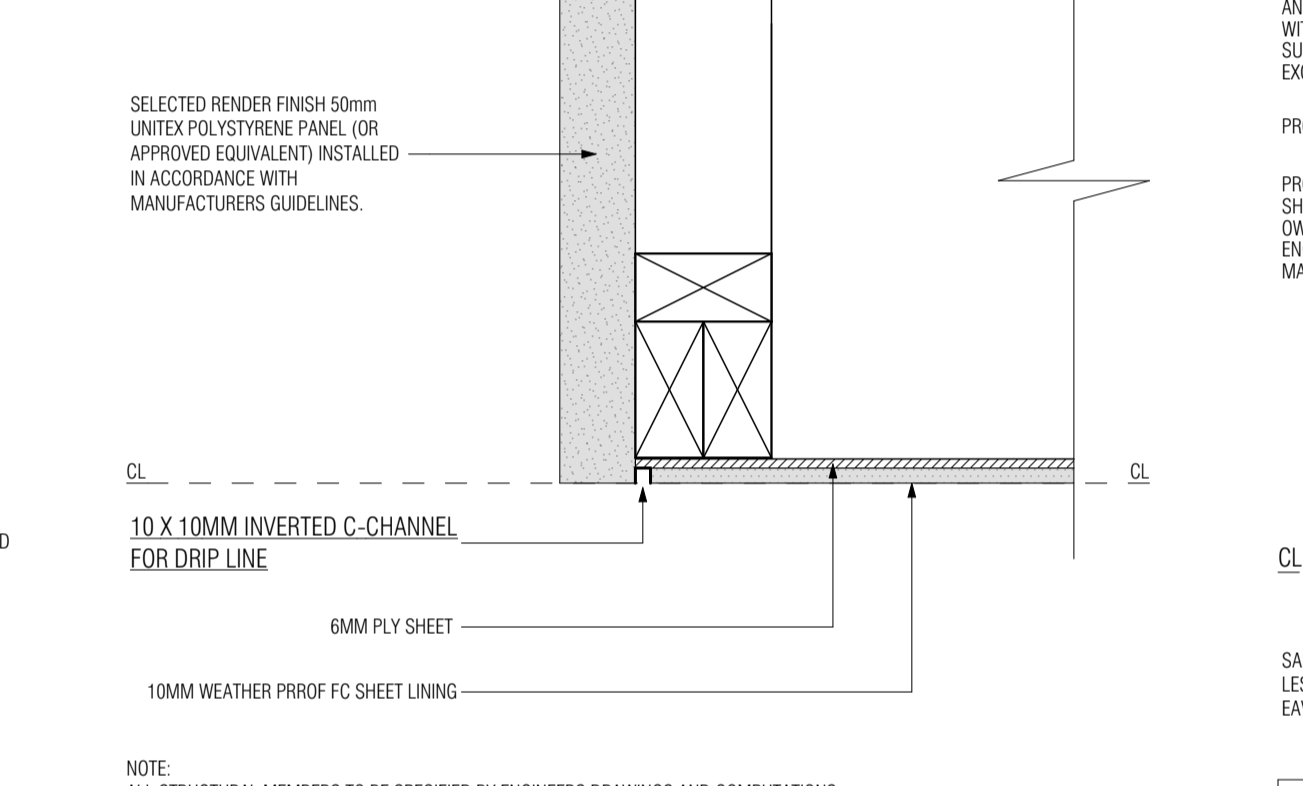
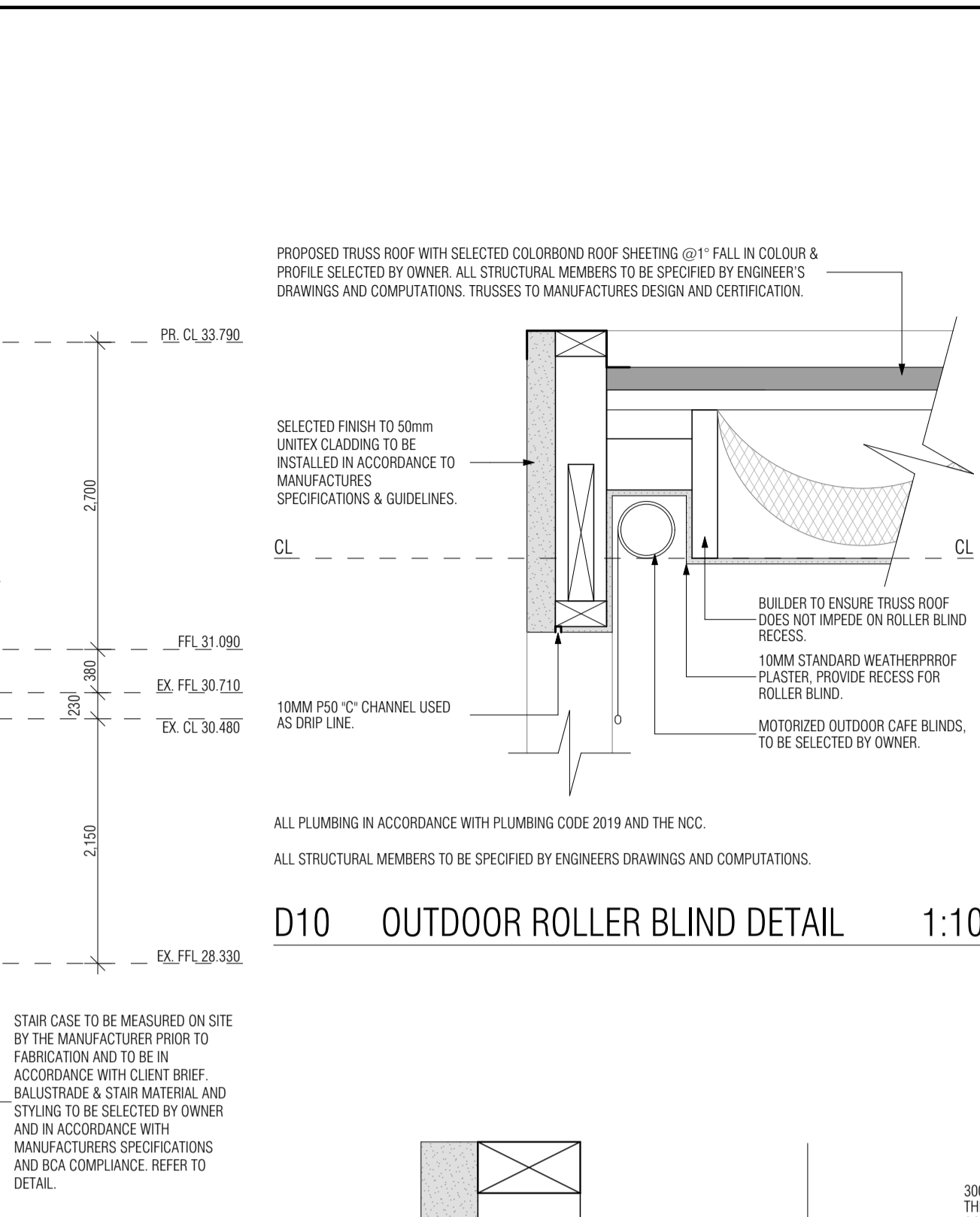
IMPORTANT NOTE:
 NO PART(S) OF THE PROPOSED STRUCTURE ARE TO PROJECT OVER THE TITLE BOUNDARY.

ALL ROOF AND FLOOR TRUSSES TO MANUFACTURERS DESIGN AND SPECIFICATION. REFER TO ENGINEERS DESIGN FOR ALL STRUCTURAL FIXING POINT AND COMPUTATIONS

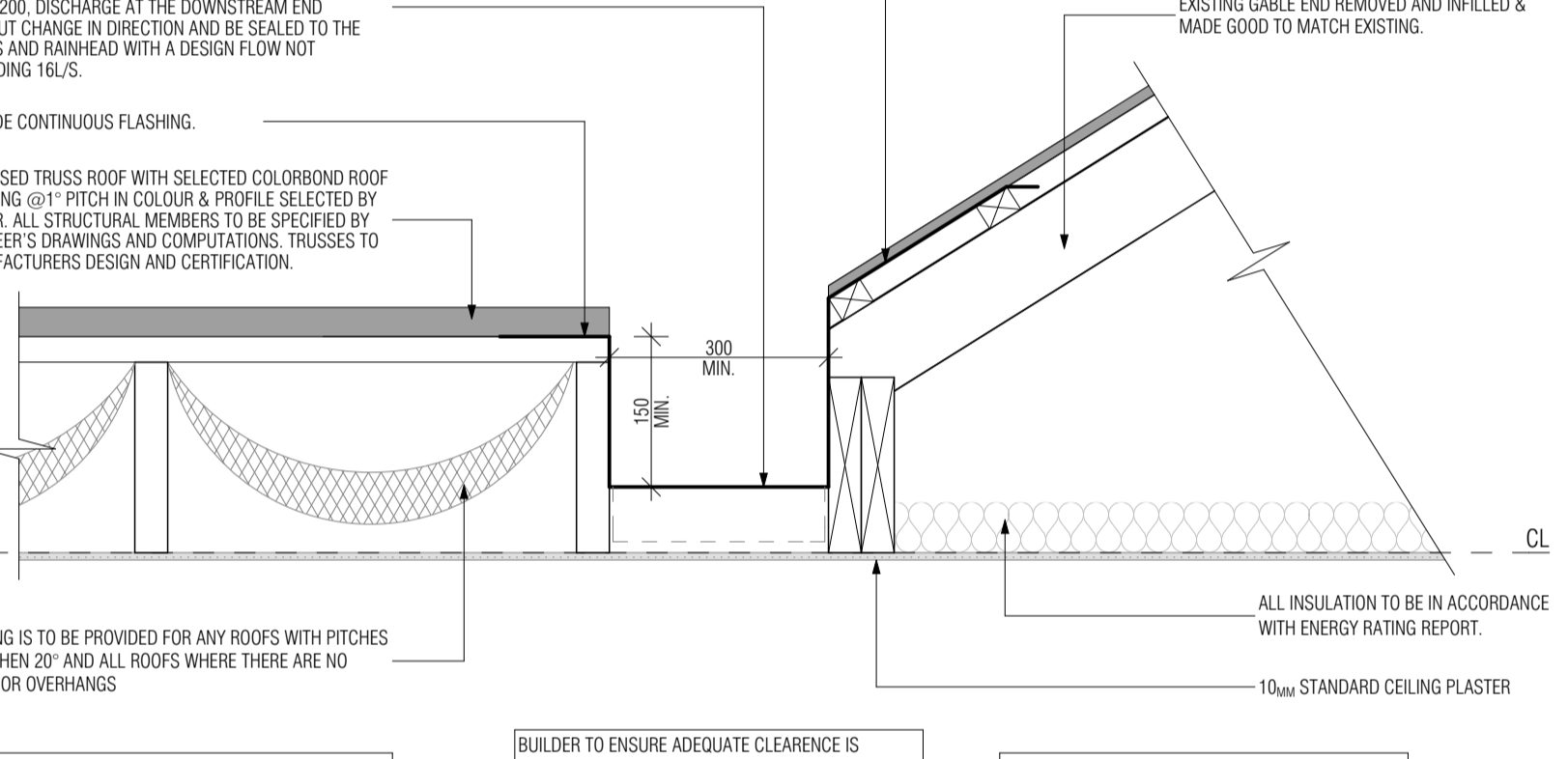
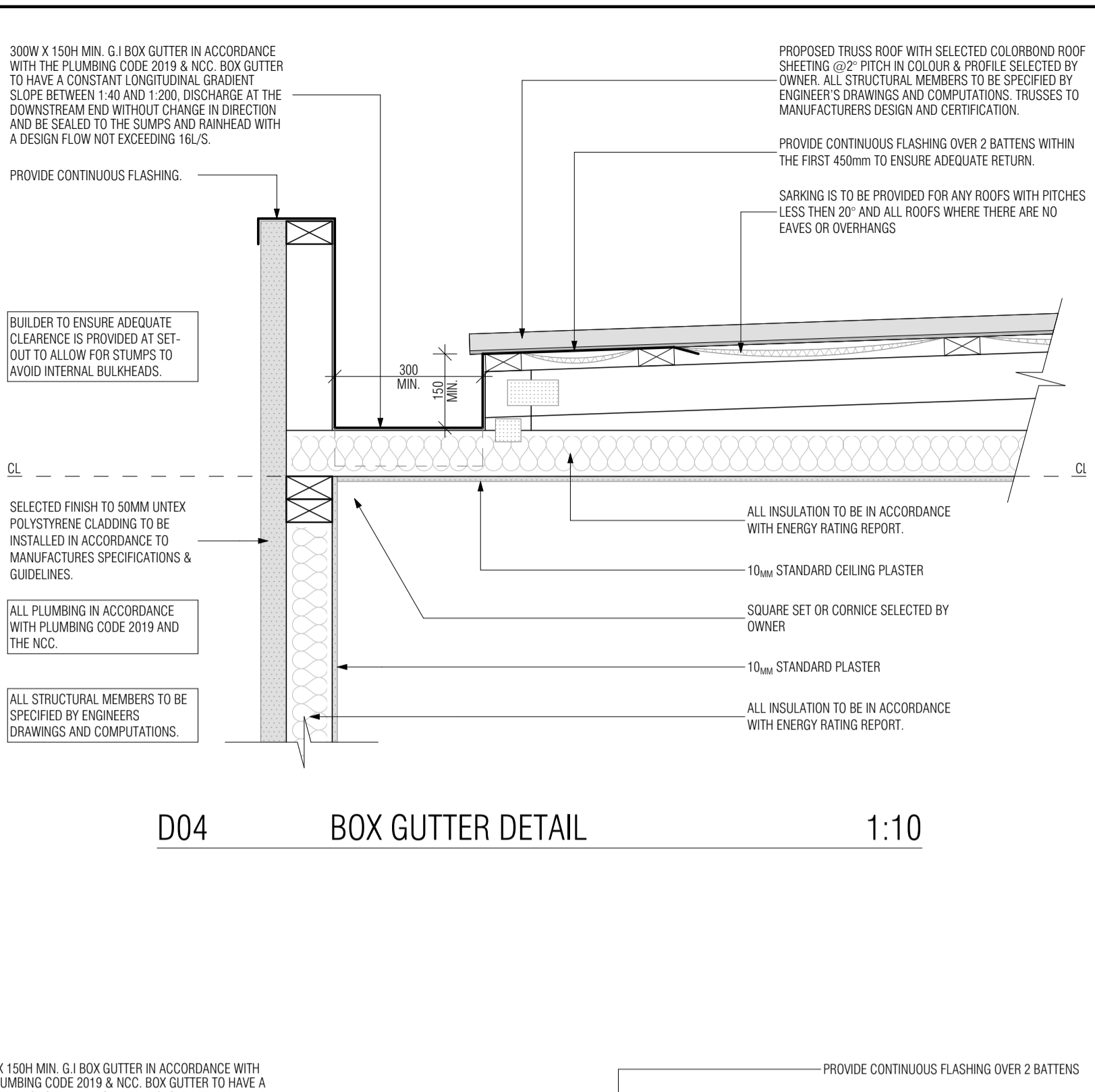
NOTE:
 WATERPROOFING TO BATHROOM TO BE IN ACCORDANCE WITH NCC AND PERFORMED BY A REGISTERED PRACTITIONER



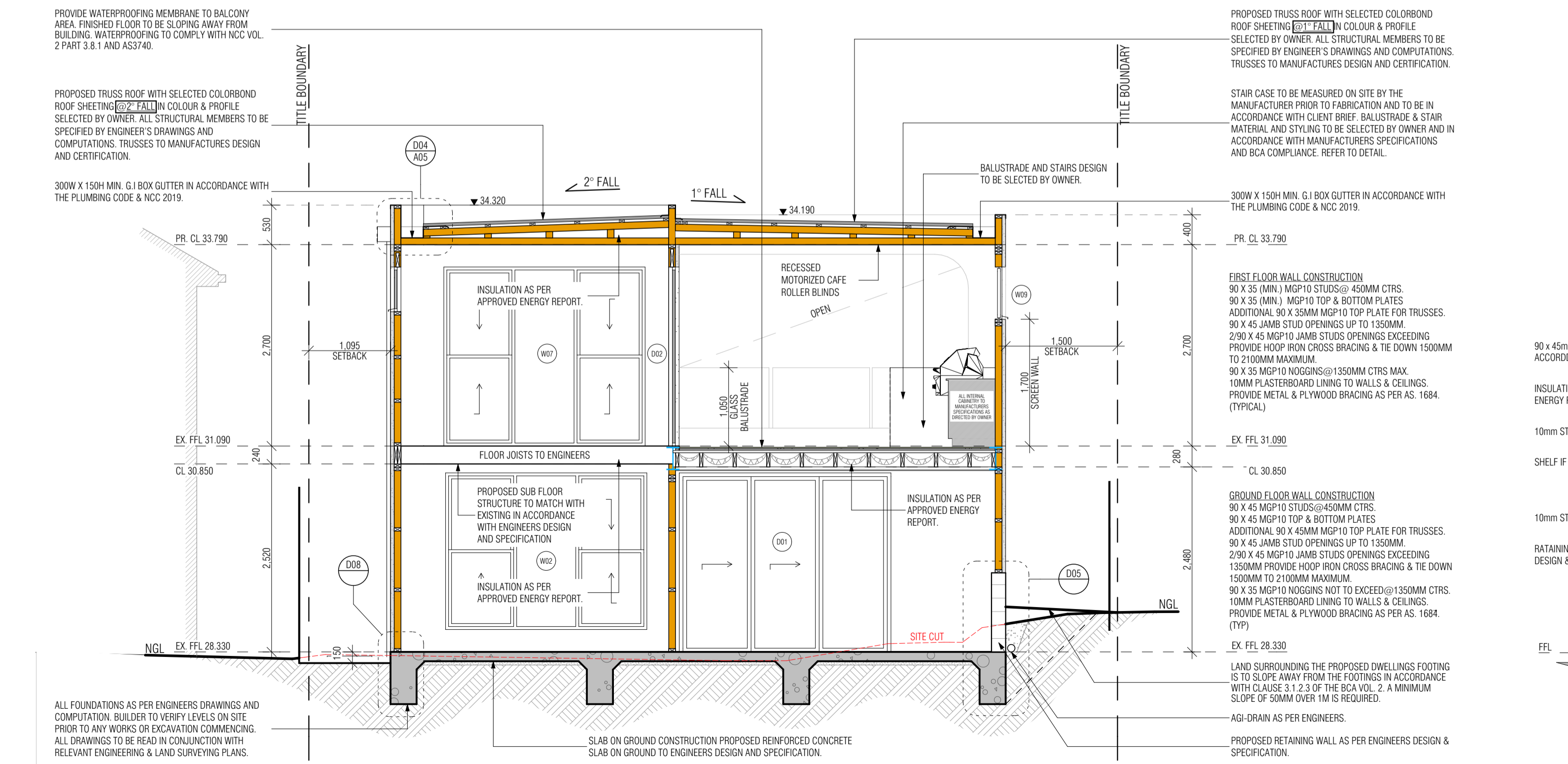
TYP. STAIR DETAIL 1:10



D02 DRIP LINE DETAIL 1:5



D03 BOX GUTTER FOR EX. ROOF DETAIL 1:10



SECTION B 1:50

ALL FOUNDATIONS AS PER ENGINEERS DRAWINGS AND COMPUTATION. BUILDER TO VERIFY LEVELS ON SITE PRIOR TO ANY WORKS OR EXCAVATION COMMENCING. ALL DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT ENGINEERING & LAND SURVEYING PLANS.

PROPOSED TRUSS ROOF WITH SELECTED COLORBOND ROOF SHEETING @ 2° FALL IN COLOUR & PROFILE SELECTED BY OWNER. ALL STRUCTURAL MEMBERS TO BE SPECIFIED BY ENGINEER'S DRAWINGS AND COMPUTATIONS. TRUSSES TO MANUFACTURERS DESIGN AND CERTIFICATION.

STAIR CASE TO BE MEASURED ON SITE BY THE MANUFACTURER PRIOR TO FABRICATION AND TO BE IN ACCORDANCE WITH CLIENT BRIEF. BALUSTRADE & STAIR MATERIAL AND STYLING TO BE SELECTED BY OWNER AND IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND BCA COMPLIANCE. REFER TO DETAIL.

300W X 150H MIN. G.I. BOX GUTTER IN ACCORDANCE WITH THE PLUMBING CODE & NCC 2019.

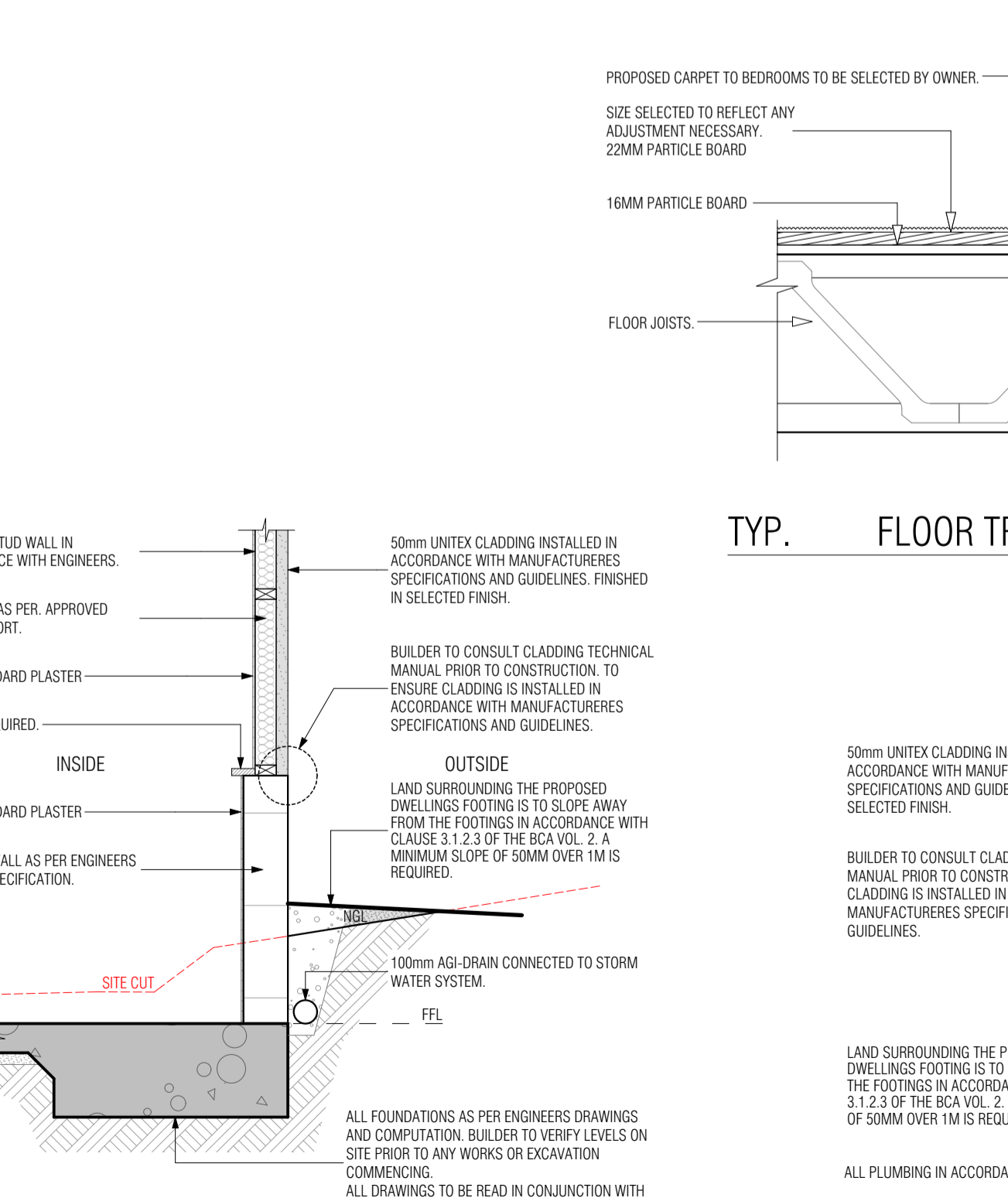
FIRST FLOOR WALL CONSTRUCTION
 90 X 35 (MIN.) MGP10 STUDS@450MM CTRS.
 90 X 35 (MIN.) MGP10 TOP & BOTTOM PLATES
 ADDITIONAL 90 X 35MM MGP10 TOP PLATE FOR TRUSSES.
 90 X 45 JAMB STUD OPENINGS UP TO 1350MM
 2/90 X 45 MGP10 JAMB STUDS OPENINGS EXCEEDING 1350MM PROVIDE HOOP IRON CROSS BRACING & TIE DOWN 1500MM TO 2100MM MAXIMUM.
 90 X 35 MGP10 NOGGINS@1350MM CTRS MAX.
 10MM PLASTERBOARD LINING TO WALLS & CEILING.
 PROVIDE METAL & PLYWOOD BRACING AS PER AS. 1684. (TYPICAL)

GROUND FLOOR WALL CONSTRUCTION
 90 X 45 MGP10 STUDS@450MM CTRS.
 90 X 35 (MIN.) MGP10 TOP & BOTTOM PLATES
 ADDITIONAL 90 X 35MM MGP10 TOP PLATE FOR TRUSSES.
 90 X 45 JAMB STUD OPENINGS UP TO 1350MM
 2/90 X 45 MGP10 JAMB STUDS OPENINGS EXCEEDING 1350MM PROVIDE HOOP IRON CROSS BRACING & TIE DOWN 1500MM TO 2100MM MAXIMUM.
 90 X 35 MGP10 NOGGINS@1350MM CTRS MAX.
 10MM PLASTERBOARD LINING TO WALLS & CEILING.
 PROVIDE METAL & PLYWOOD BRACING AS PER AS. 1684. (TYP)

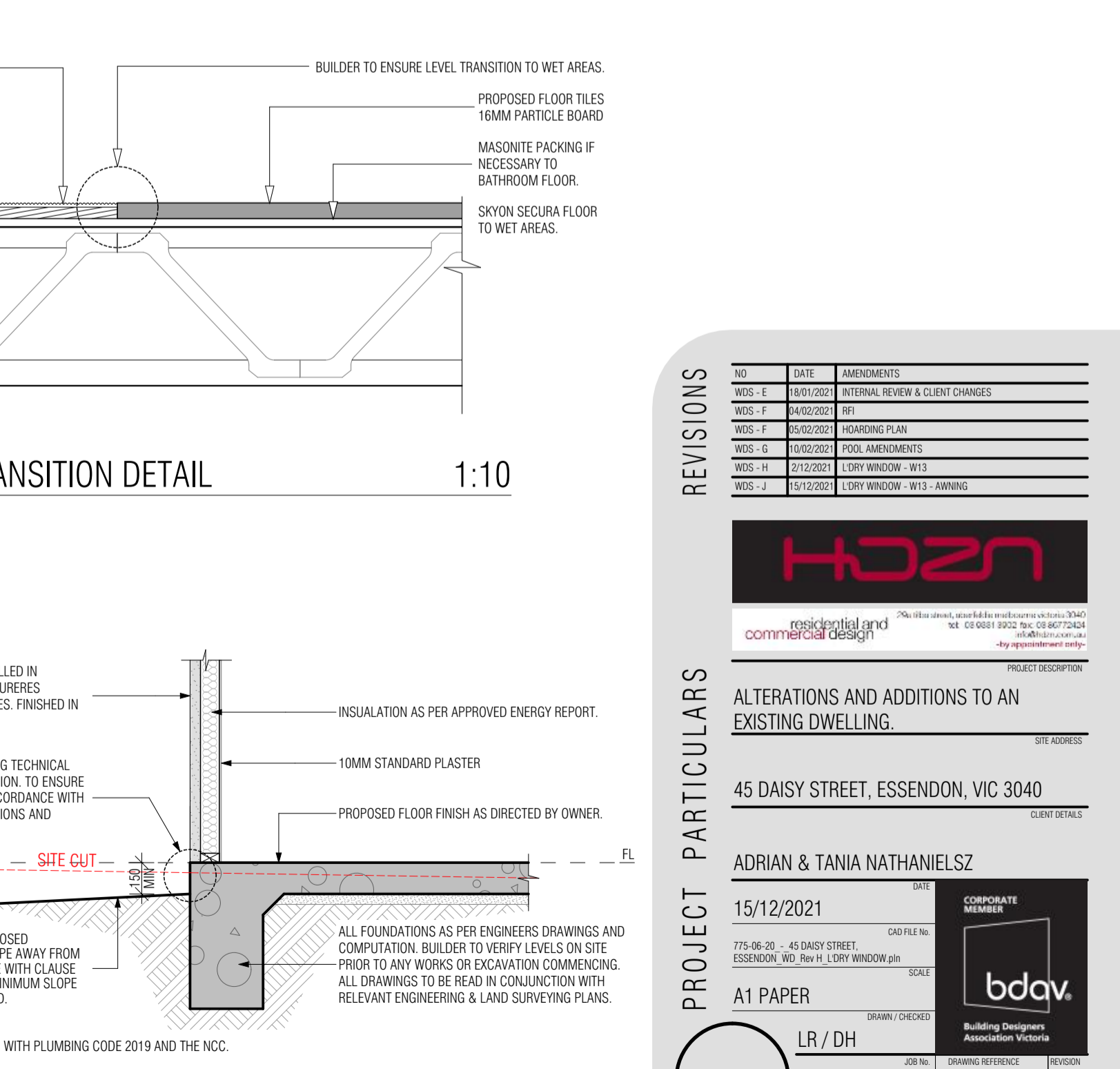
LAND SURROUNDING THE PROPOSED DWELLINGS FOOTING IS TO SLOPE AWAY FROM THE FOOTINGS IN ACCORDANCE WITH CLAUSE 3.1.2.3 OF THE BCA VOL. 2. A MINIMUM SLOPE OF 50MM OVER 1M IS REQUIRED.

AGI-DRAIN AS PER ENGINEERS.

PROPOSED RETAINING WALL AS PER ENGINEERS DESIGN & SPECIFICATION.



D05 RETAINING WALL FOOTING DETAIL 1:25

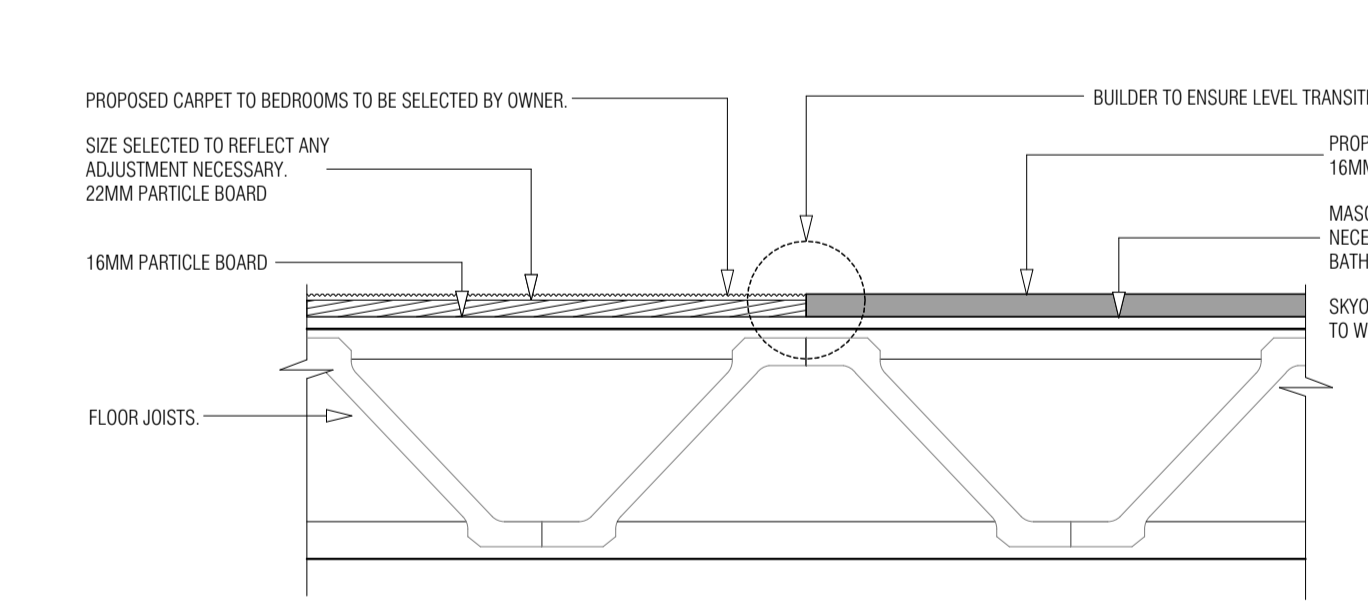


D08 FOOTING DETAIL 1:25

NOTE:
 ALL STRUCTURAL MEMBERS TO BE SPECIFIED BY ENGINEERS DRAWINGS AND COMPUTATIONS.
 ALL PLUMBING IN ACCORDANCE WITH PLUMBING CODE AND THE NCC 2019.

ALL PLUMBING IN ACCORDANCE WITH PLUMBING CODE 2019 AND THE NCC.
 BUILDER TO ENSURE ADEQUATE CLEARANCE IS PROVIDED AT SET-OUT TO ALLOW FOR STUMPS TO AVOID INTERNAL BULKHEADS.
 ALL STRUCTURAL MEMBERS TO BE SPECIFIED BY ENGINEERS DRAWINGS AND COMPUTATIONS.

TYP. FLOOR TRANSITION DETAIL 1:10



NO	DATE	AMENDMENTS
W05 - I	15/12/2021	INTERNAL REVIEW & CLIENT CHANGES
W05 - F	16/02/2021	RFI
W05 - T	08/02/2021	TRACING PLAN
W05 - G	19/02/2021	POOL AMENDMENTS
W05 - H	21/02/2021	COPY WINDOW - W12
W05 - J	15/02/2021	COPY WINDOW - W12 - FINISH



PROJECT PARTICULARS

ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING.

45 DAISY STREET, ESSENDON, VIC 3040

ADRIAN & TANIA NATHANIELSZ

15/12/2021

775-06-20 - 45 DAISY STREET ESSENDON, VIC 3040

A1 PAPER

LR / DH

775-06-20 A05 OF 9 J

REGISTERED Building Practitioner

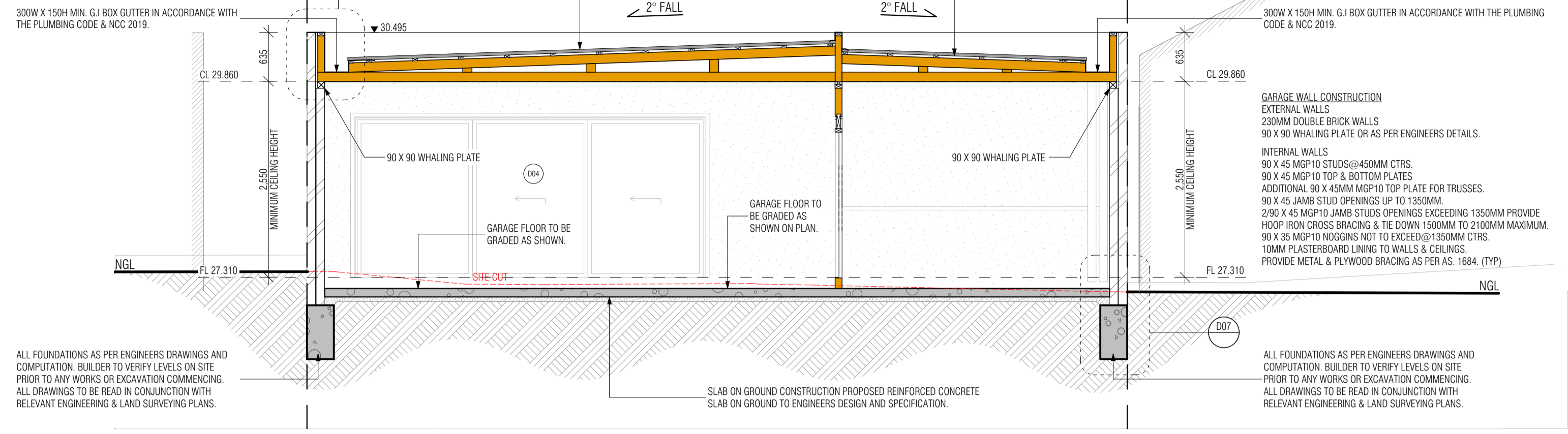
BSP MELBOURNE PT LTD
AMENDED PERMIT
 ISSUE DATE: 09/09/2021
 AMENDED: 21/12/2021
 NUMBER: BS-U 1301-1291875129352
 RELEVANT BUILDING SURVEYOR
 Phillip Wynn
 BS-U 9106

ALL ROOF AND FLOOR TRUSSES TO MANUFACTURERS DESIGN AND SPECIFICATION. REFER TO ENGINEERS DESIGN FOR ALL STRUCTURAL FIXING POINT AND COMPUTATIONS

NOTE:
 BOX GUTTERS TO HAVE CONTINUOUS FLASHING AND TO BE INSTALLED WITH SUMP OVERFLOW.
 BOX GUTTER TO BE INSTALLED BY REGISTERED PLUMBER AND IN ACCORDANCE WITH THE PLUMBING CODE 2019.

PROPOSED TRUSS ROOF WITH SELECTED COLORBOND ROOF SHEETING @2° FALL IN COLOUR & PROFILE SELECTED BY OWNER. ALL STRUCTURAL MEMBERS TO BE SPECIFIED BY ENGINEER'S DRAWINGS AND COMPUTATIONS. TRUSSES TO MANUFACTURERS DESIGN AND CERTIFICATION.

PROPOSED TRUSS ROOF WITH SELECTED COLORBOND ROOF SHEETING @ 2° FALL IN COLOUR & PROFILE SELECTED BY OWNER. ALL STRUCTURAL MEMBERS TO BE SPECIFIED BY ENGINEER'S DRAWINGS AND COMPUTATIONS. TRUSSES TO MANUFACTURERS DESIGN AND CERTIFICATION.

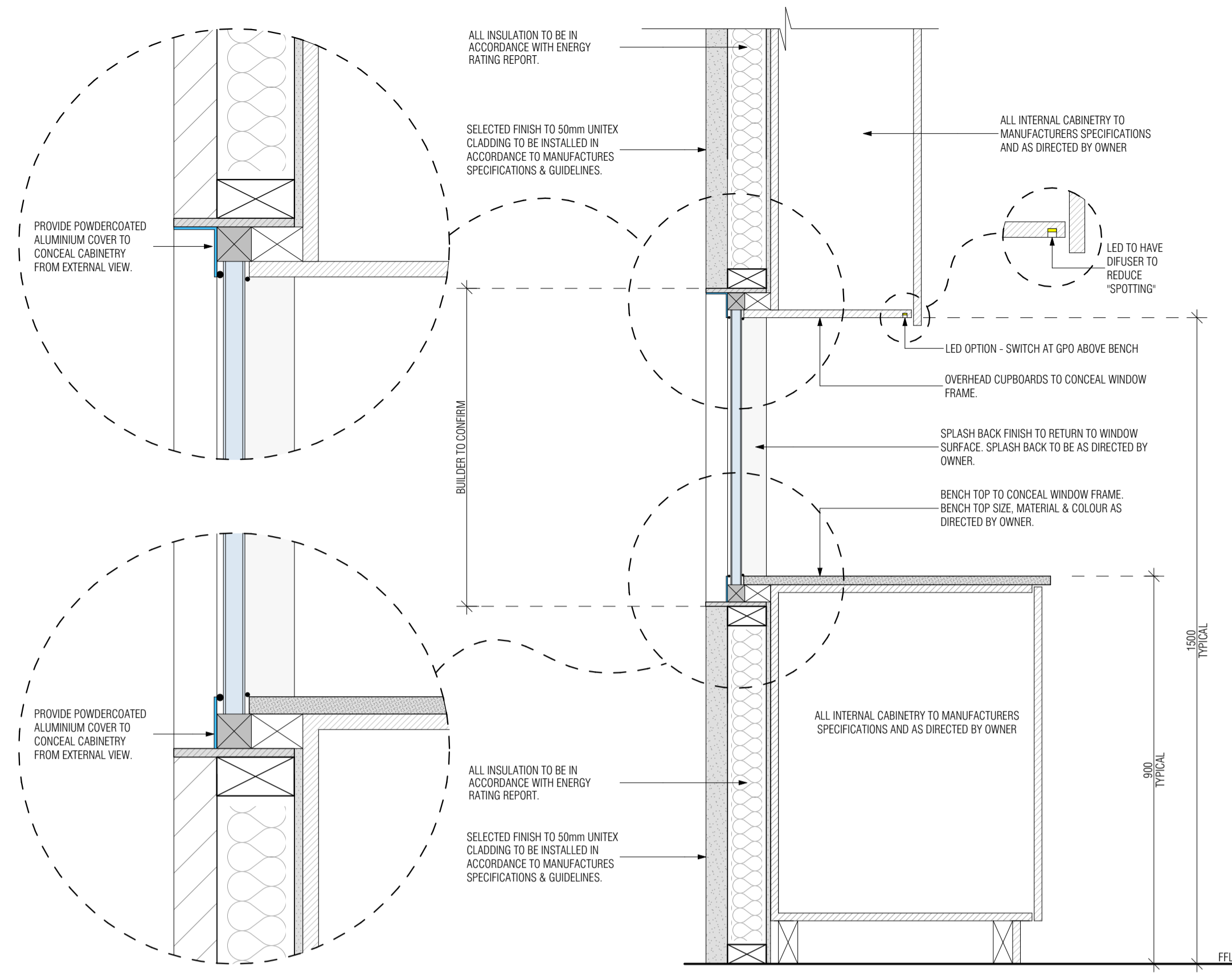


SECTION C 1:50

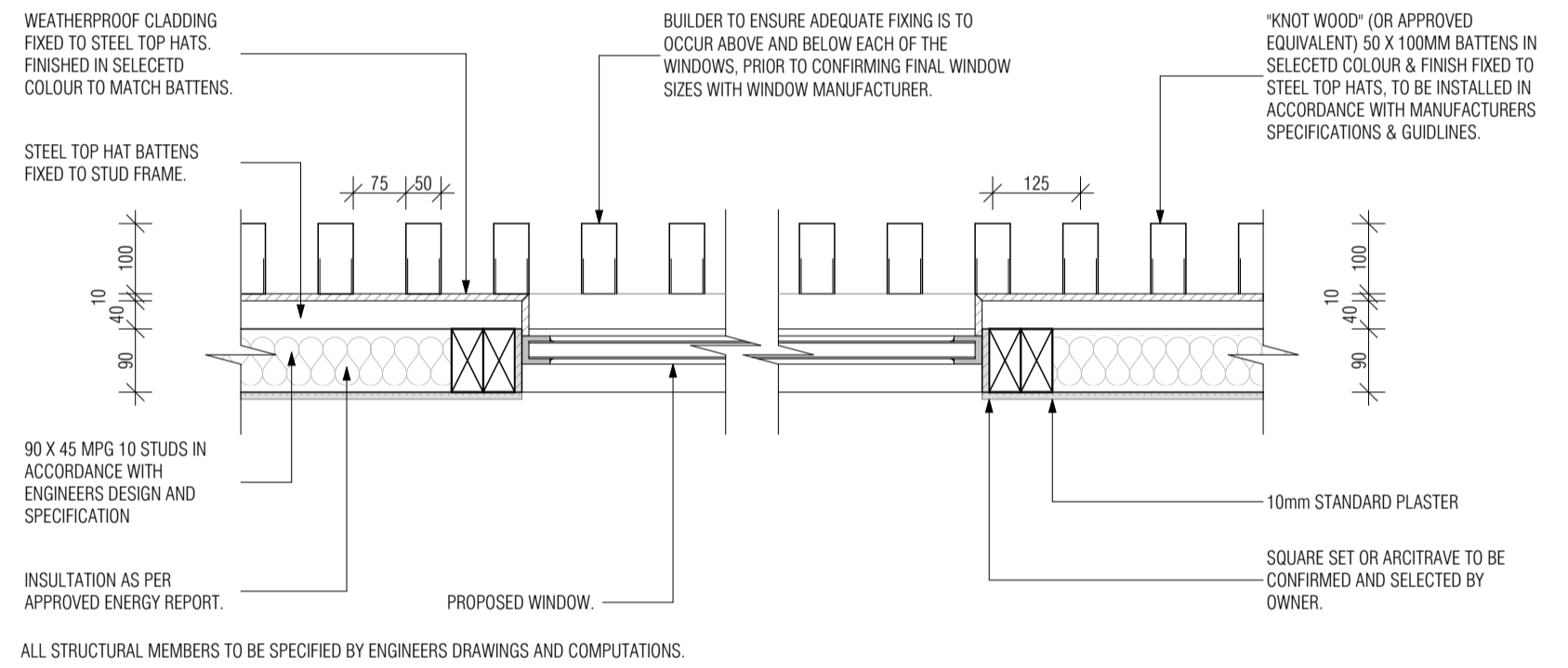
CORROSION PROTECTION OF BUILT-IN STEEL MEMBERS: HIGH PROTECTIVE COATING
 *DEGREASE AND POWER TOOL CLEAN VERY THOROUGHLY AND APPLY 75 µm EPOXY ZINC OR EPOXY ZINC PHOSPHATE PRIMER.
 *BLAST TO GRADE 2.5/75µm ZINC SILICATE TYPE 3/4 OR 6.
 *HOT DIP GALVANISING-300 g/m²
 *HOT DIP GALVANISING-100 g/m² / 100 µm EPOXY PHOSPHATE PRIMER.

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT ENGINEERING & LAND SURVEYING PLANS.
IMPORTANT NOTE:
 NO PART(S) OF THE PROPOSED STRUCTURE ARE TO PROJECT OVER THE TITLE BOUNDARY.

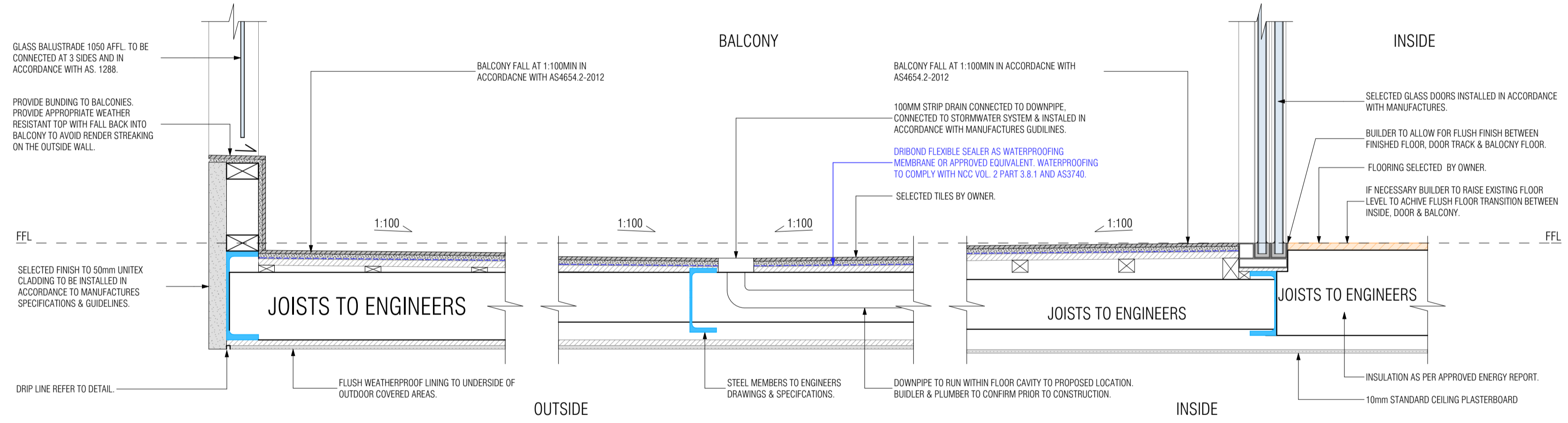
NOTE:
 SURFACE WATER MUST BE DIVERTED AWAY FROM THE BUILDING SO EXTERNAL FINISHED SURFACES SURROUNDING THE BUILDING ARE DRAINED TO DIRECT SURFACE WATER AWAY FROM THE DWELLING AND GRADED TO SLOPE OF NOT LESS THAN 50MM OVER THE FIRST 1000MM FROM THE BUILDING (MEASURED FROM THE TOP OF THE SLAB).



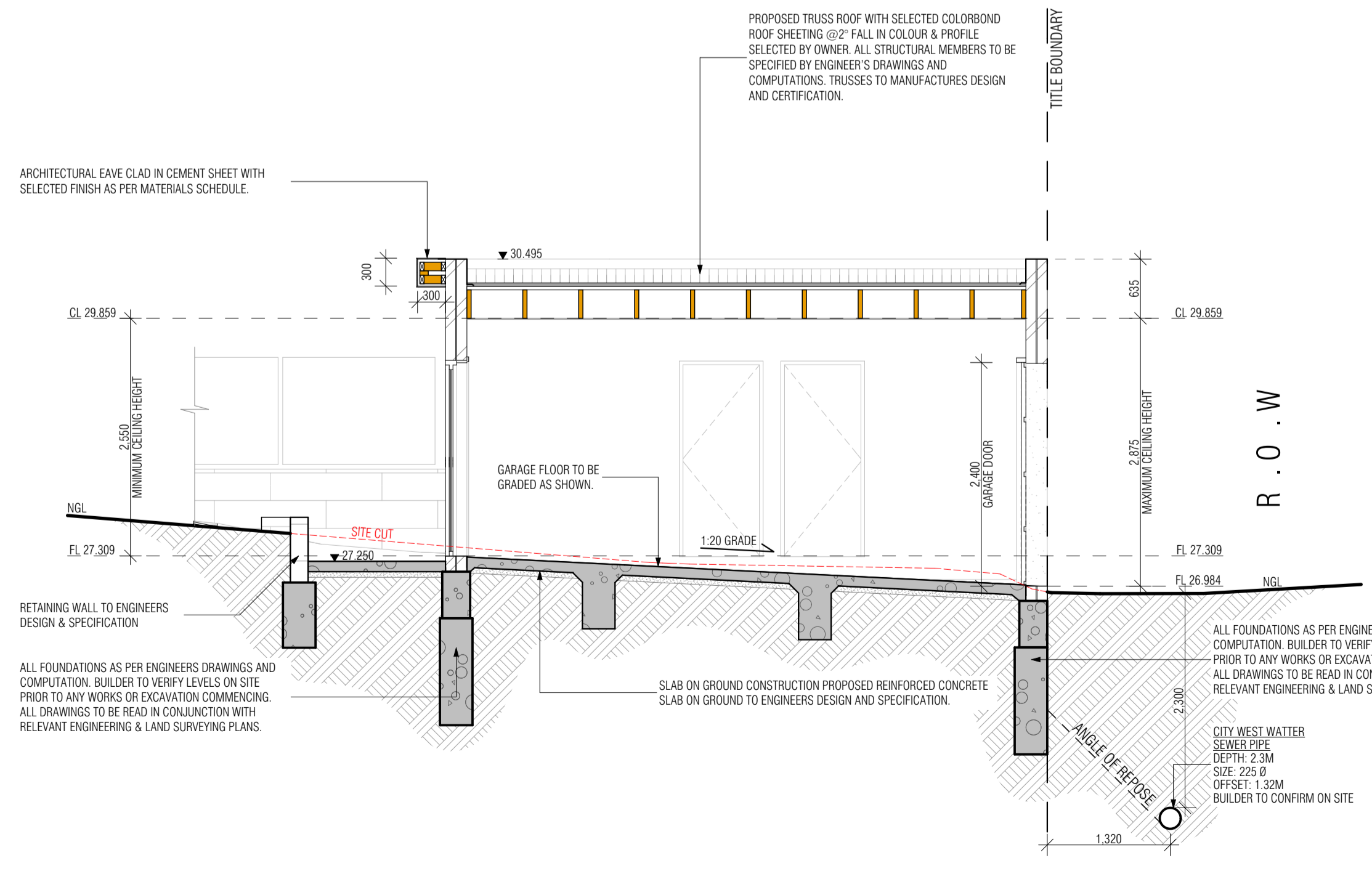
D09 KITCHEN WINDOW DETAIL (OPTION) 1:10



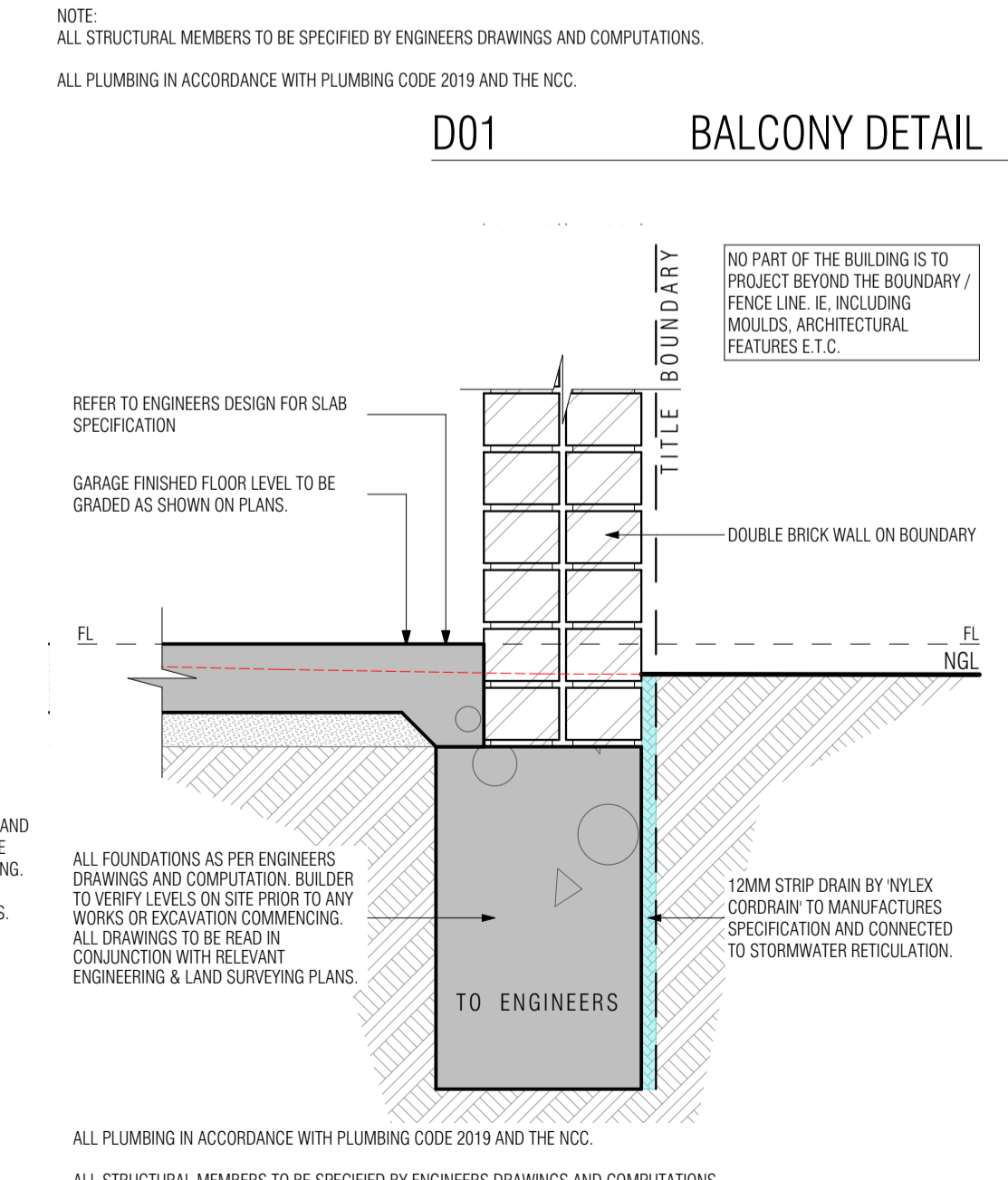
ARCHITECTURAL BATTEN DETAIL 1:10



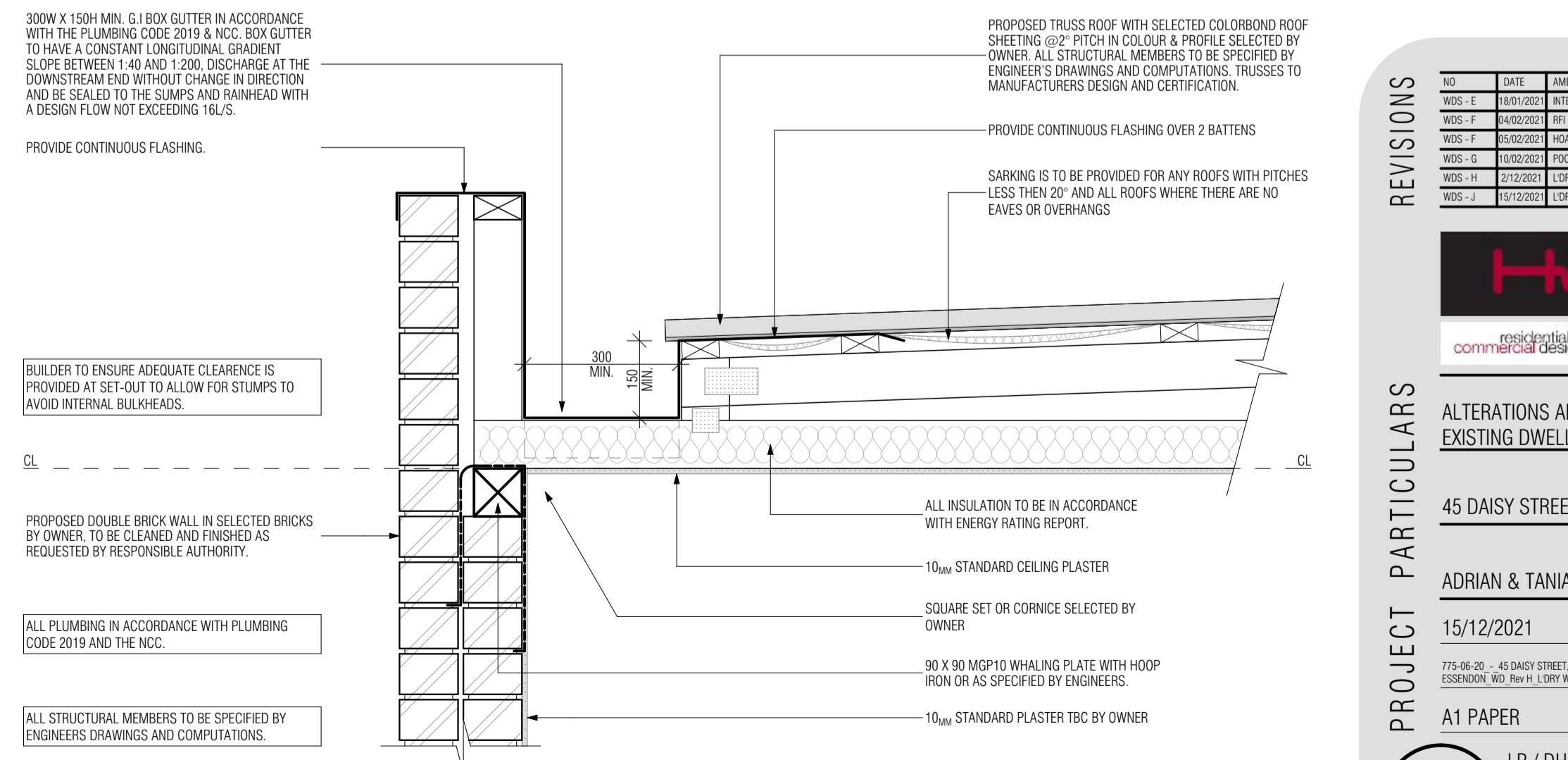
D01 BALCONY DETAIL 1:10



SECTION D 1:50



D07 GARAGE FOOTING ON B'DRY DETAIL 1:10



D06 GARAGE BOX GUTTER DETAIL 1:10

NO	DATE	AMENDMENTS
NO. 1	15/12/2021	INITIAL REVIEW AND CLIENT CHANGES
NO. 2	14/02/2021	RFI
NO. 3	08/02/2021	TRUCKING PLAN
NO. 4	08/02/2021	POOL AMENDMENTS
NO. 5	21/12/2021	CONTRACT WINDOW - W/F
NO. 6	15/12/2021	CONTRACT WINDOW - W/F - FINISH



PROJECT PARTICULARS

ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING.

45 DAISY STREET, ESSENDON, VIC 3040

ADRIAN & TANIA NATHANIELSZ

15/12/2021

775-06-20 - 45 DAISY STREET ESSENDON, VIC 3040 (CONTRACT WINDOW PLAN)

A1 PAPER

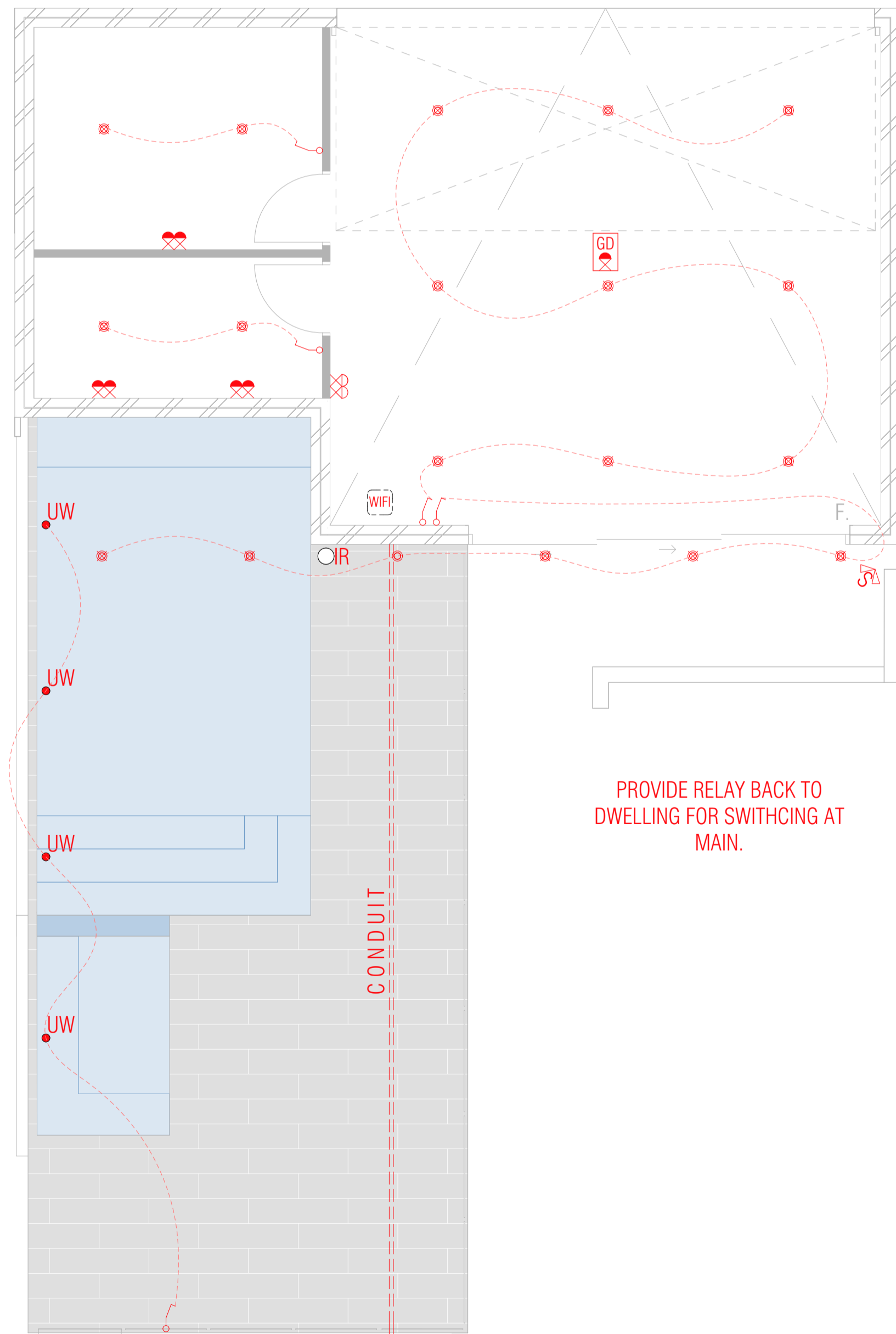
LR / DH

775-06-20 A06 OF 9 J

REGISTERED Building Designer

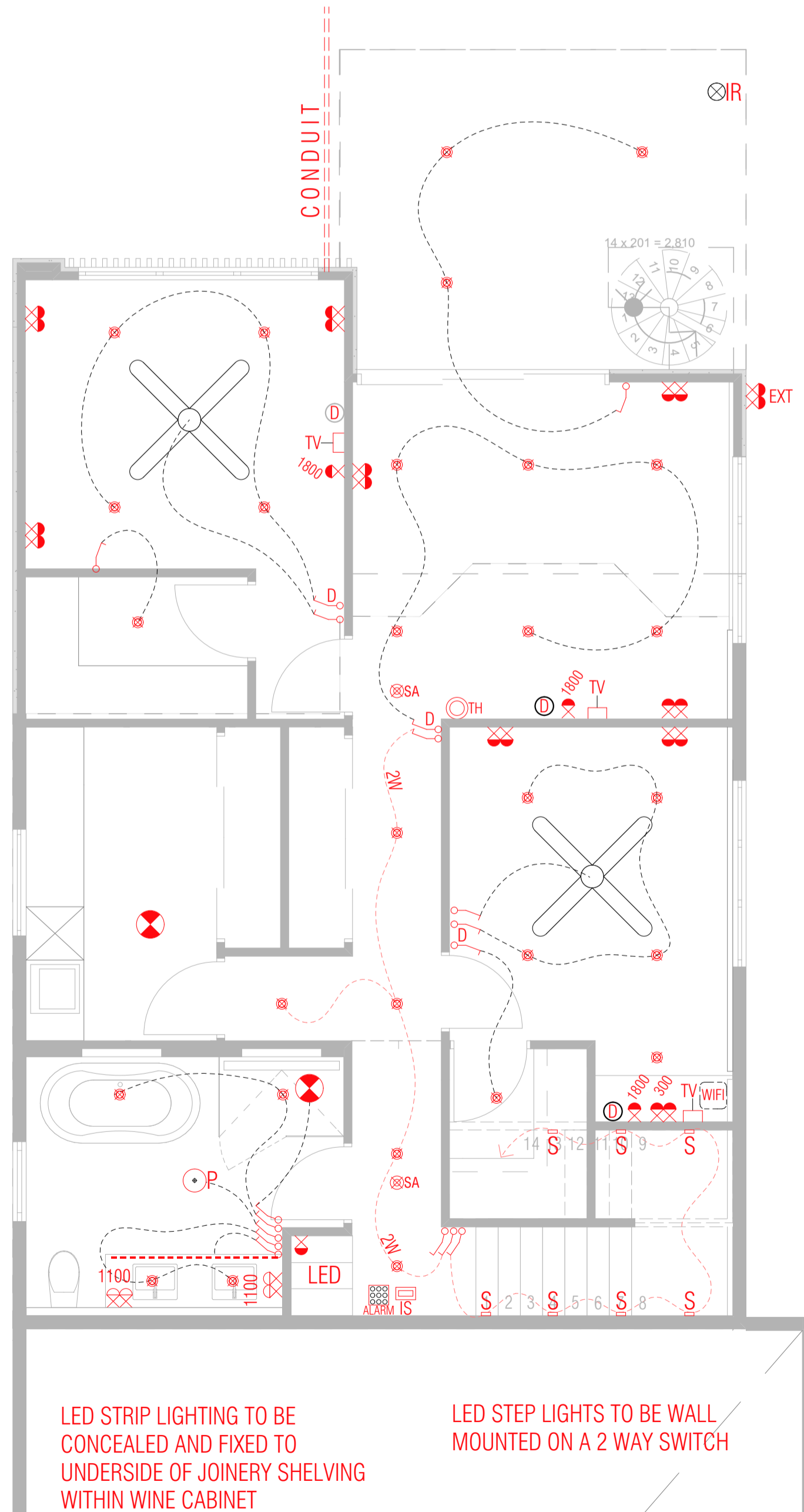
ARTIFICIAL LIGHTING

	WATTS	M2	W/M2
GARAGE	143	55.8	2.57
LOWER FLOOR	344	87.8	3.92
UPPER FLOOR	587	155.5	3.77
ALFRESCO	66	24.5	2.69
LOWER TERRACE	33	16.2	2.03



LOWER FLOOR ELECTRICAL PLAN 1:50

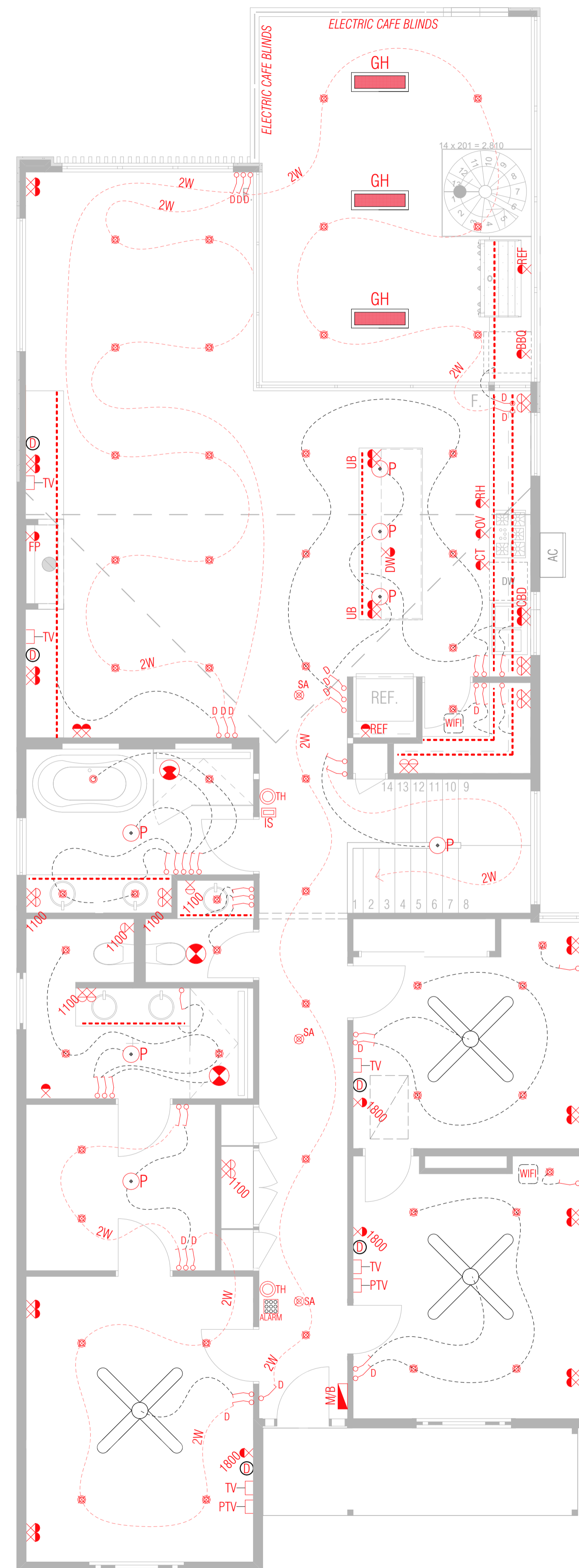
PROVIDE RELAY BACK TO DWELLING FOR SWITCHING AT MAIN.



LOWER FLOOR ELECTRICAL PLAN 1:50

LED STRIP LIGHTING TO BE CONCEALED AND FIXED TO UNDERSIDE OF JOINERY SHELVING WITHIN WINE CABINET

LED STEP LIGHTS TO BE WALL MOUNTED ON A 2 WAY SWITCH



UPPER FLOOR ELECTRICAL PLAN 1:50

ELECTRICAL LEGEND

	NBN - INTERNAL CONNECTION POINT
	DATA OUTLET - CAT 6 (MIN.)
	FREE TO AIR TELEVISION OUTLET
	PAY TELEVISION OUTLET
	ALARM KEYPAD
	INTERCOM SYSTEM
	METER BOX
	SWITCH BOARD
	HOT WATER SERVICE UNIT
	SOLAR INVERTER
	A/C THERMOSTAT CONTROL
	ACCESS PANEL
	EXHAUST FAN - DUCTED TO OUTER AIR
	SMOKE ALARM - HARD WIRED
	MAN HOLE - 500 X 500 FLUSH MOUNT

	POWER FOR GARAGE DOOR
	POWER FOR WATER PUMP
	SINGLE GPO OUTLET FOR REFRIGERATOR
	SINGLE GPO OUTLET FOR DISHWASHER
	POWER CONNECTION FOR BARBECUE
	POWER CONNECTION FOR FIRE PLACE
	SINGLE GPO OUTLET FOR COOK TOP
	SINGLE GPO OUTLET FOR OVEN
	SINGLE GPO OUTLET FOR RANGE HOOD
	SINGLE GPO OUTLET FOR WASHING MACHINE
	SINGLE GPO OUTLET FOR DRYER
	DOUBLE GPO OUTLET 300MM A.F.F.L.
	DOUBLE GPO OUTLET 1100MM A.F.F.L.
	DOUBLE GPO - EXTERNAL OUTLET
	DOUBLE GPO - WITHIN CUPBOARDS

	LED DOWNLIGHT - 11W
	IN GROUND LED UP LIGHT - 20W
	PENDANT LIGHT FITTING - 11W
	WALL MOUNTED INTERNAL LIGHT FITTING - 25W
	WALL MOUNTED EXTERNAL LIGHT FITTING - 20W
	FLURO BATTEN - 36W
	CEILING FAN
	WALL MOUNTED SWITCH AT 1000 A.F.F.L.
	O-IU DIMMER AT 1000 A.F.F.L.
	2 WAY SWITCHING
	LED STRIP LIGHTING - HV WITH DIFFUSER
	EXTERNAL SENSOR FLOOD LIGHT
	EXTERNAL MOTION SENSOR
	STAIR / STEP LIGHT
	BOLLARD GARDEN LIGHT 750MM H
	UNDER WATER LIGHT
	RECESSED EXTERNAL FLOOR UP-LIGHT
	GAS HEATER
	SECURITY CAMERA - DATA & POWER AS REQUIRED

ALL ELECTRICAL ITEMS TO BE CONFIRMED BY OWNER PRIOR.

REVISIONS

NO	DATE	AMENDMENTS
WDS-1	15/12/2021	INTERNAL REVIEW & CLIENT CHANGES
WDS-2	16/02/2021	INTERNAL REVIEW & CLIENT CHANGES
WDS-3	16/02/2021	RFI
WDS-4	16/02/2021	LOADING PLAN
WDS-5	16/02/2021	POOL AMENDMENTS
WDS-6	21/12/2021	LOFT WINDOW - W/F
WDS-7	15/12/2021	LOFT WINDOW - W/F - FINISH



ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING.

45 DAISY STREET, ESSENDON, VIC 3040

ADRIAN & TANIA NATHANIELSZ

15/12/2021
775-06-20 - 45 DAISY STREET
ESSENDON, VIC 3040 - LOFT WINDOW W/F

A1 PAPER
LR / DH
775-06-20
A07 OF 9

REGISTERED Building Practitioner

WINDOW SCHEDULE	BSP MELBOURNE PTY LTD									
ID	W01	W02	W03	W04	W05	W06	W07	W08	W09	W09
HEIGHT	1,200	2,100	1,000	1,000	2,100	600	2,400	1,500	700	720
WIDTH	900	2,700	2,100	2,100	900	2,100	2,700	570	5,760	1,000
SILL HEIGHT	900	300	1,100	1,100	300	1,800	0	900	1,700	840
HEAD HEIGHT	2,100	2,400	2,100	2,100	2,400	2,400	2,400	2,400	2,400	1,560

WINDOW SCHEDULE	W10	W11	W12	W13
HEIGHT	720	2,780	2,400	450
WIDTH	1,000	1,790	650	1,200
SILL HEIGHT	840	-380	0	1,650
HEAD HEIGHT	1,560	2,400	2,400	2,100

DOOR SCHEDULE	D01	D02	D03	D04
HEIGHT	2,400	2,400	2,400	2,100
WIDTH	2,840	3,360	3,620	4,600

POOL SAFETY:

2.4 - GATES, GATE UNITS AND LATCH FITTINGS

2.4.1 - OPERATION OF GATES

2.4.1.1 - GATES SHALL BE DESIGNED SO THAT THEY ONLY SWING OUTWARDS, IE, AWAY FROM POOL AREA. GATES SHALL BE LOCATED SO THAT THE ARC OF OPERATION IS CLEAR OF ANY BUILDING OR DOORWAY.

2.4.1.2 - SELF CLOSING DEVICE

2.4.1.3 - LATCH

2.4.2 - LATCH

2.4.2.1 - GENERAL

2.4.2.2 - LOCATION OF THE LATCH

2.4.2.3 - SHIELDING OF LATCH

2.4.3 - GATE HINGES

2.4.4 TYPES OF MATERIALS

2.4.4.1 - MARKING OF GATE UNITS

2.4.4.2 - TESTING

2.5 - OTHER BARRIERS

2.5.1 - RETAINING WALL ABOVE THE POOL LEVEL

2.5.2 - RETAINING WALLS BELOW POOL LEVEL

2.5.3 - OUT OF GROUND POOL WALLS

2.5.4 - PERMANENT BODIES OF WATER

2.6 - CHILD RESISTANT OPERABLE PORTION OF WINDOW

2.7 - CHILD RESISTANT DOORSETS

2.8 - BALCONY BALUSTRADES

2.9 - ABOVE-GROUND POOLS

NOTE: ALL WINDOW AND DOOR SIZES ARE TO BE CHECKED AGAINST WINDOW MANUFACTURERS SIZE AND SPECIFICATIONS

IMPORTANT NOTE: ALL WINDOW SIZES AND SILL HEIGHTS ARE TO BE CHECKED ON SITE BY BUILDER AND FABRICATOR PRIOR TO COMMENCEMENT OF FABRICATION.

IMPORTANT NOTE: ALL WINDOWS ON FIRST FLOOR WITH OPENINGS AT A HEIGHT OF LESS THAN 1.7M ABOVE FFL MUST BE PERMANENTLY RESTRICTED TO A MAXIMUM OPENING OF 125MM AND TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE NCC 2019 VOL. 2

HABITABLE ROOM WINDOWS: ALL HABITABLE ROOM WINDOWS GREATER THAN 2M TO HAVE A 125MM RESTRICTING DEVICE. ANY OTHER WINDOW UNDER THE NEW BCA PROVISIONS GREATER THAN 4M REQUIRES THESE WINDOWS TO ALSO BE RESTRICTED TO 125MM. NOTE, WINDOWS 1.7M FROM FFL ARE NOT REQUIRED TO BE RESTRICTED.

- DOOR HANDLES TO BE TYPICALLY MOUNTED AT 1000mm AFFL
- ALL WINDOW HARDWARE TO BE APPROVED BY THE CLIENT PRIOR TO MANUFACTURE
- ALL WINDOWS TO BE FITTED WITH KEY LOCKS. ALL HARDWARE COLOUR TBC WITH CLIENT PRIOR TO MANUFACTURE
- ALL GLAZING TO BE FABRICATED IN ACCORDANCE WITH AS 1288-2006 AND THE BUILDING CODE OF AUSTRALIA (NCC)
- FLYSCREENS: INTERNAL MOUNTED, METAL FRAME POWDER COATED - OWNER TO SELECT COLOUR
- DOOR & WINDOW HARDWARE - BUILDER TO SUPPLY ITEM, BUILDER TO INSTALL.
- ALL DIMENSIONS ARE TO BE CONFIRMED ON SITE PRIOR TO MANUFACTURERS BEING ENGAGED.

NO TOLERANCES HAVE BEEN ALLOWED- BUILDER TO CONFIRM PRIOR TO MANUFACTURE

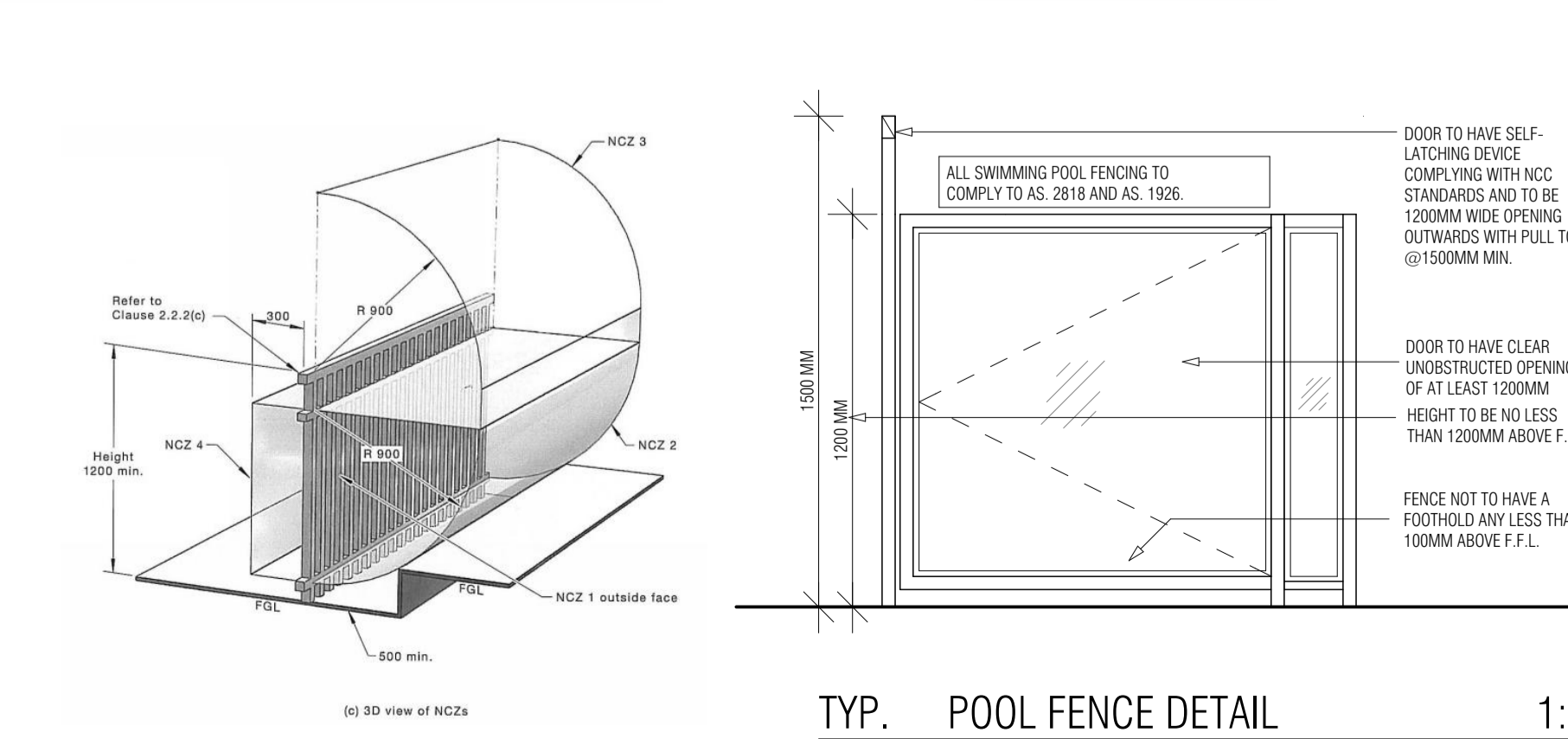
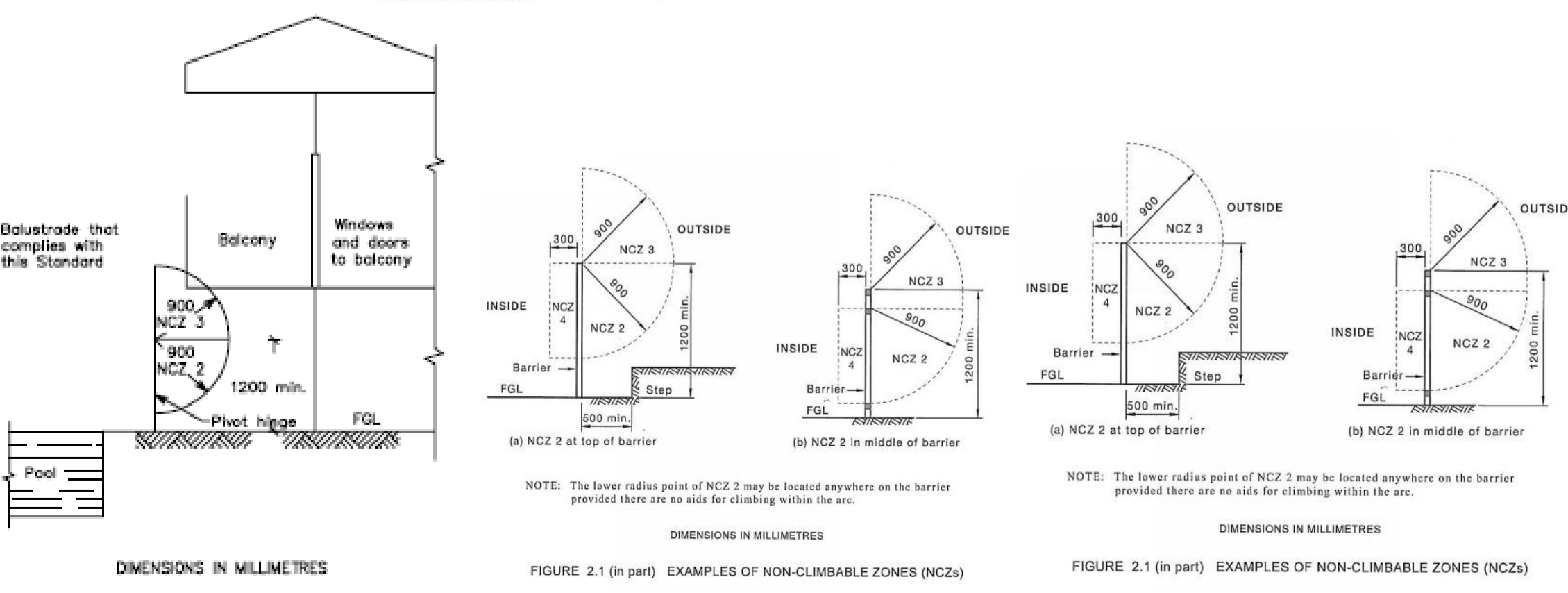
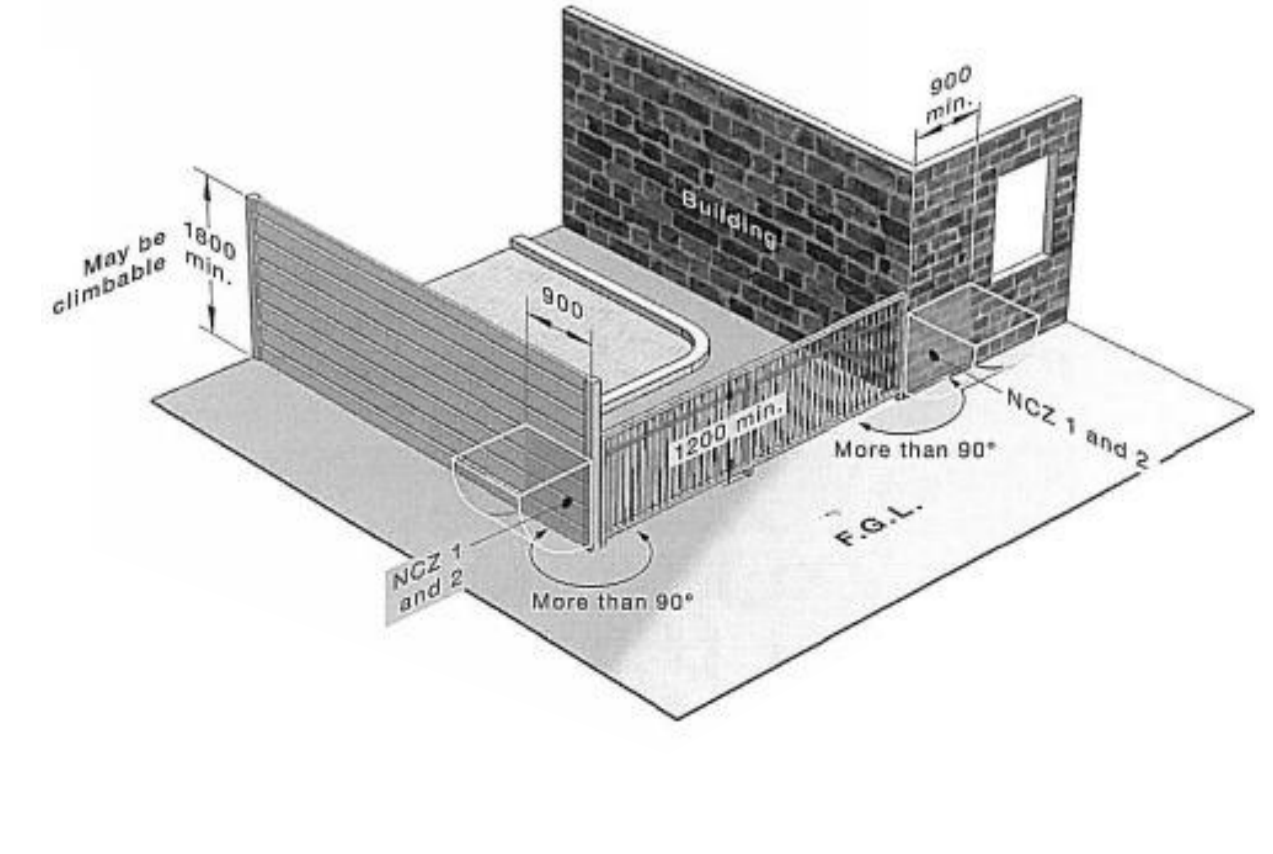
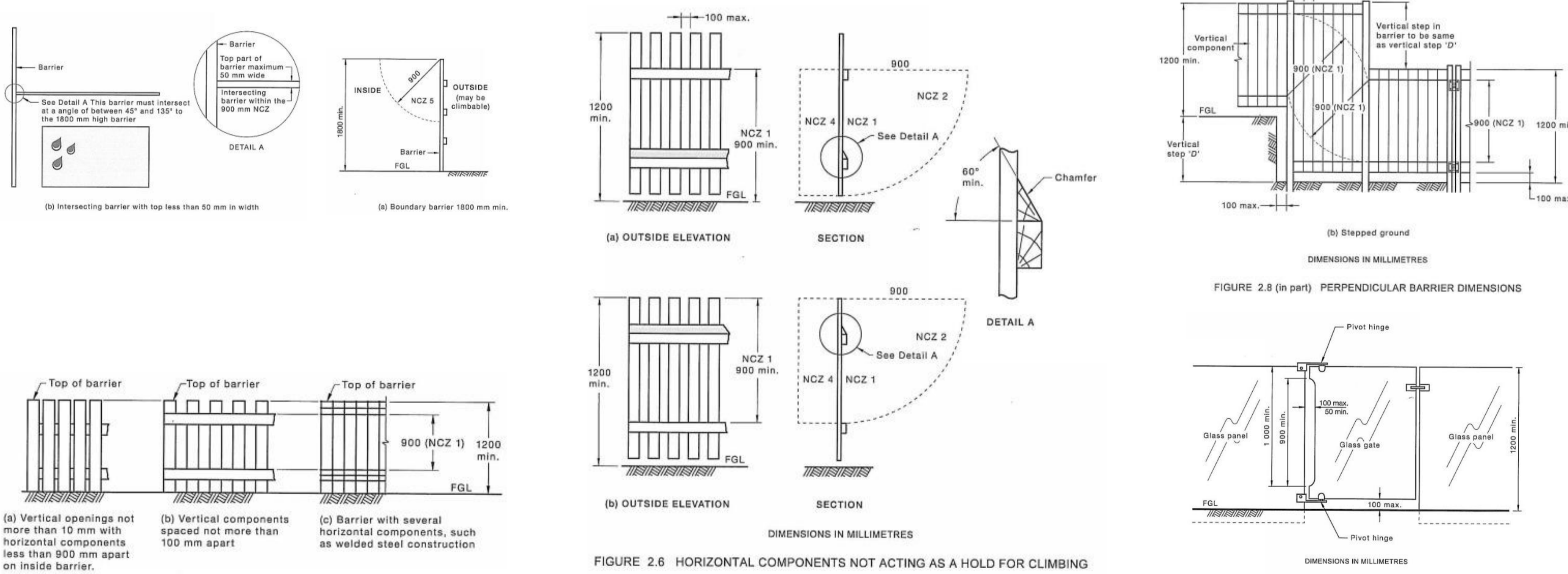
GLAZING LEGEND

O.	OPENABLE WINDOW
F.	FIXED WINDOW
FOG	FIXED OBSCURE GLAZING

ALUMINIUM WINDOW AND DOOR FRAMES TO BE POWDER COATED - BLACK OR AS DIRECTED BY OWNER

ALL INTERNAL DOOR SIZES TO BE AS NOTED ON PLANS. OTHERWISE THEY ARE TO BE 820W x 2100H

ALL OPENABLE PORTIONS OF WINDOWS TO HAVE FLY SCREENS STANDARD.



REVISIONS

NO.	DATE	REVISIONS
001	15/12/2021	INTERNAL REVIEW & CLIENT CHANGES
002	16/02/2021	RFI
003	08/03/2021	LOADING PLAN
004	09/03/2021	POOL AMENDMENTS
005	21/02/2021	CONTRACT WINDOW - W13
006	02/03/2021	CONTRACT WINDOW - W13 - FINISH

PROJECT PARTICULARS

ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING.

45 DAISY STREET, ESSENDON, VIC 3040

ADRIAN & TANIA NATHANIELSZ

15/12/2021

775-06-20 - 45 DAISY STREET ESSENDON, VIC 3040 (CONTRACT WINDOW - W13)

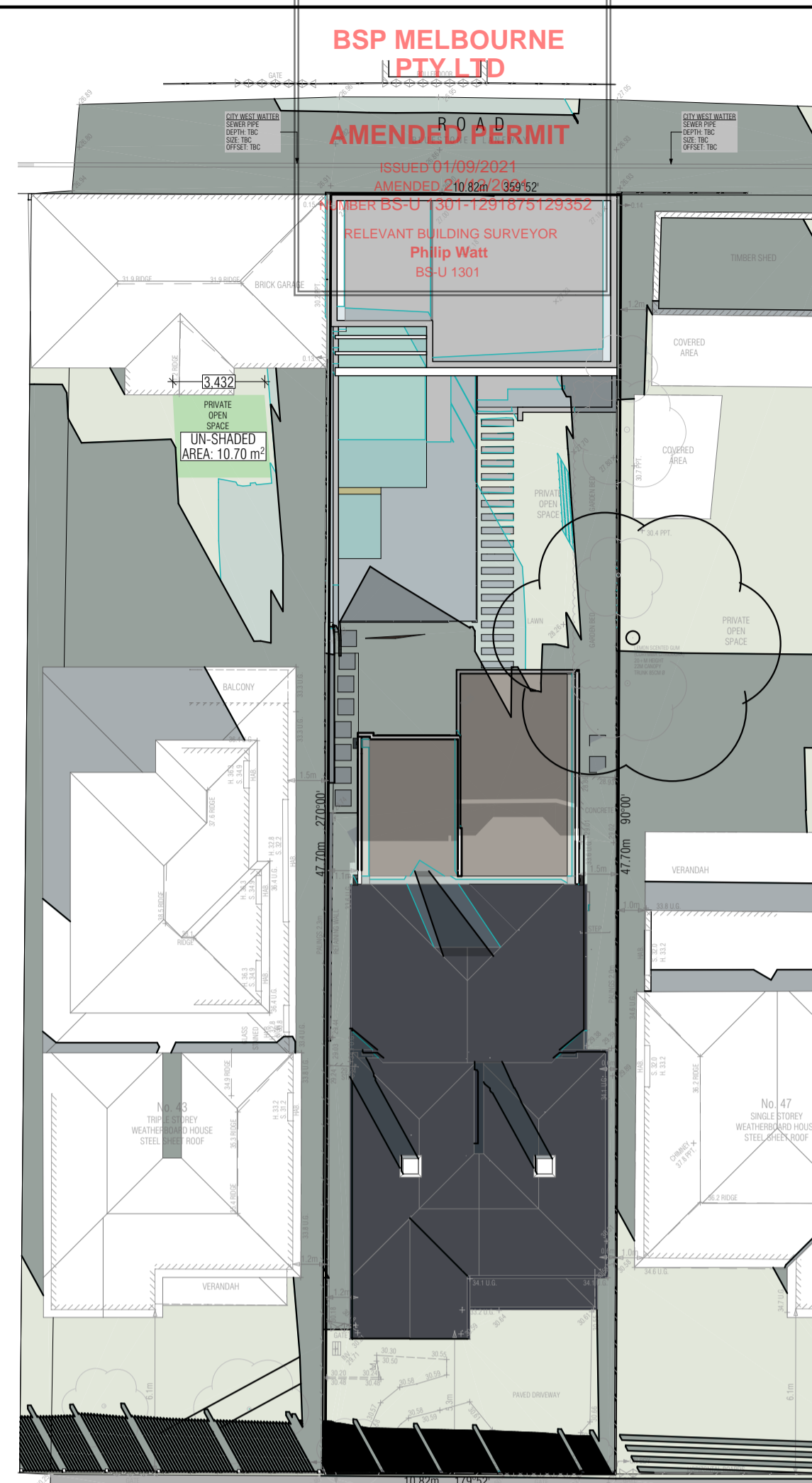
A1 PAPER

LR / DH

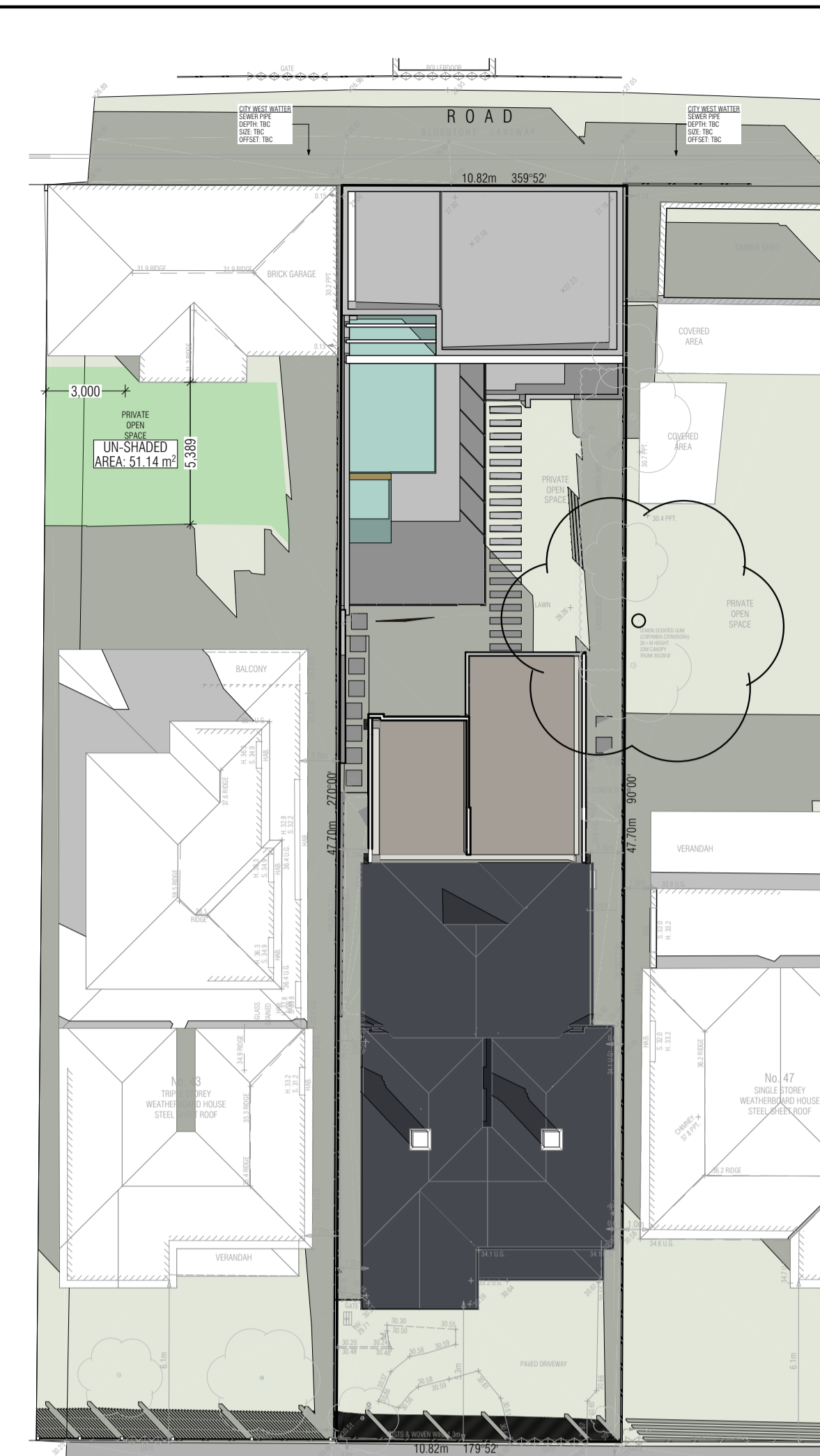
775-06-20

A08 OF 9 J

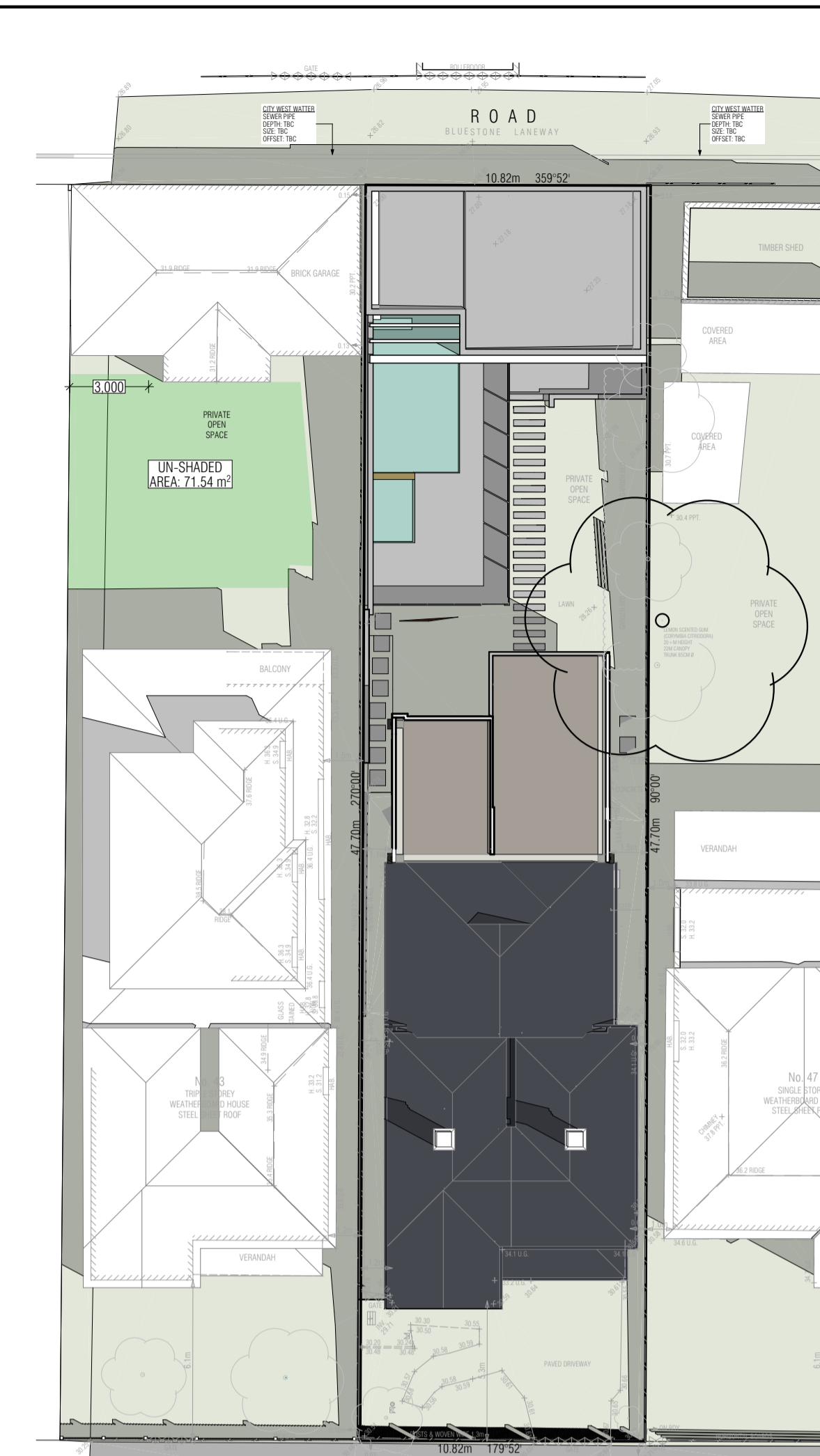
REGISTERED Building Practitioner



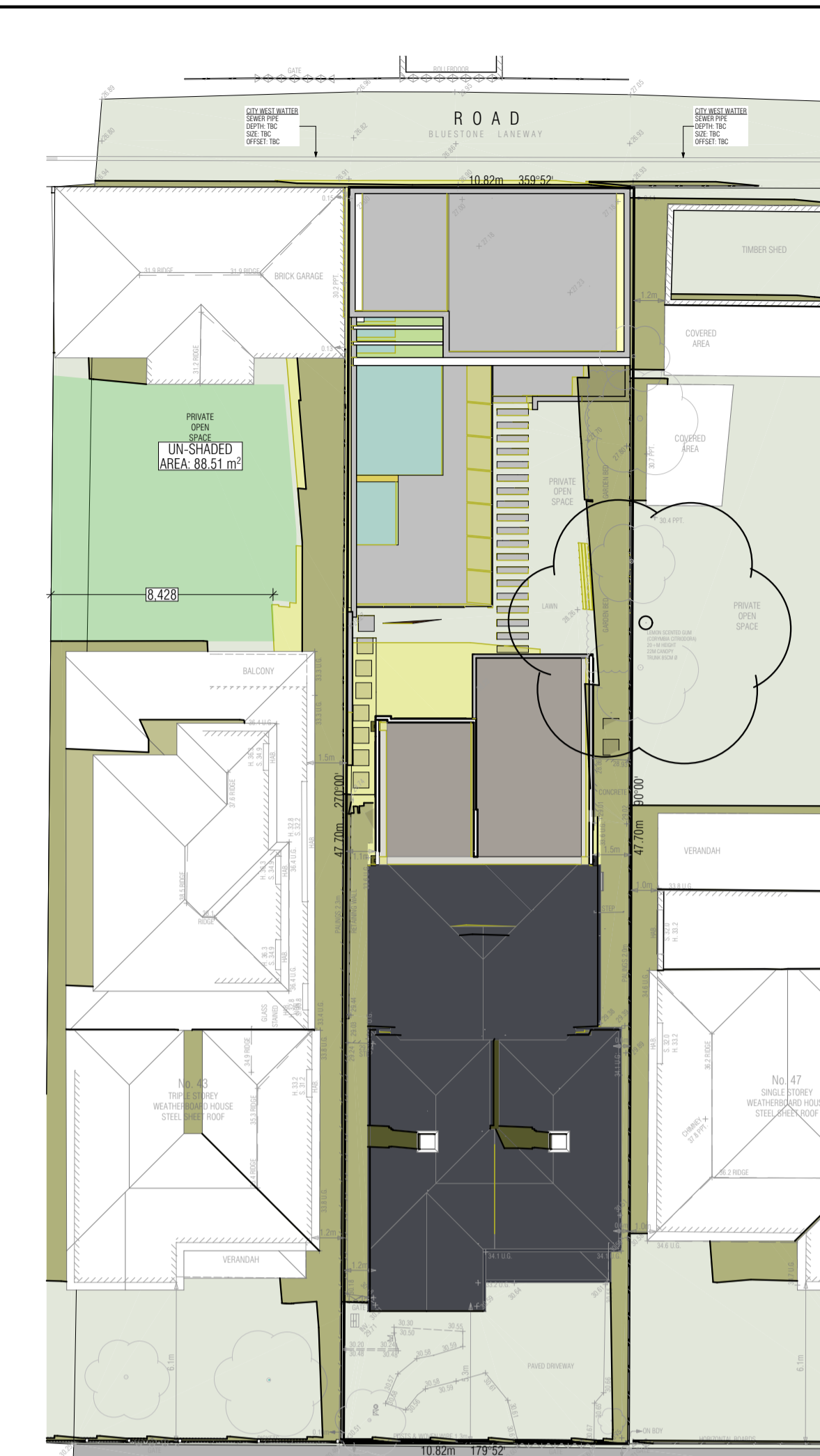
9AM SHADOW 1:200



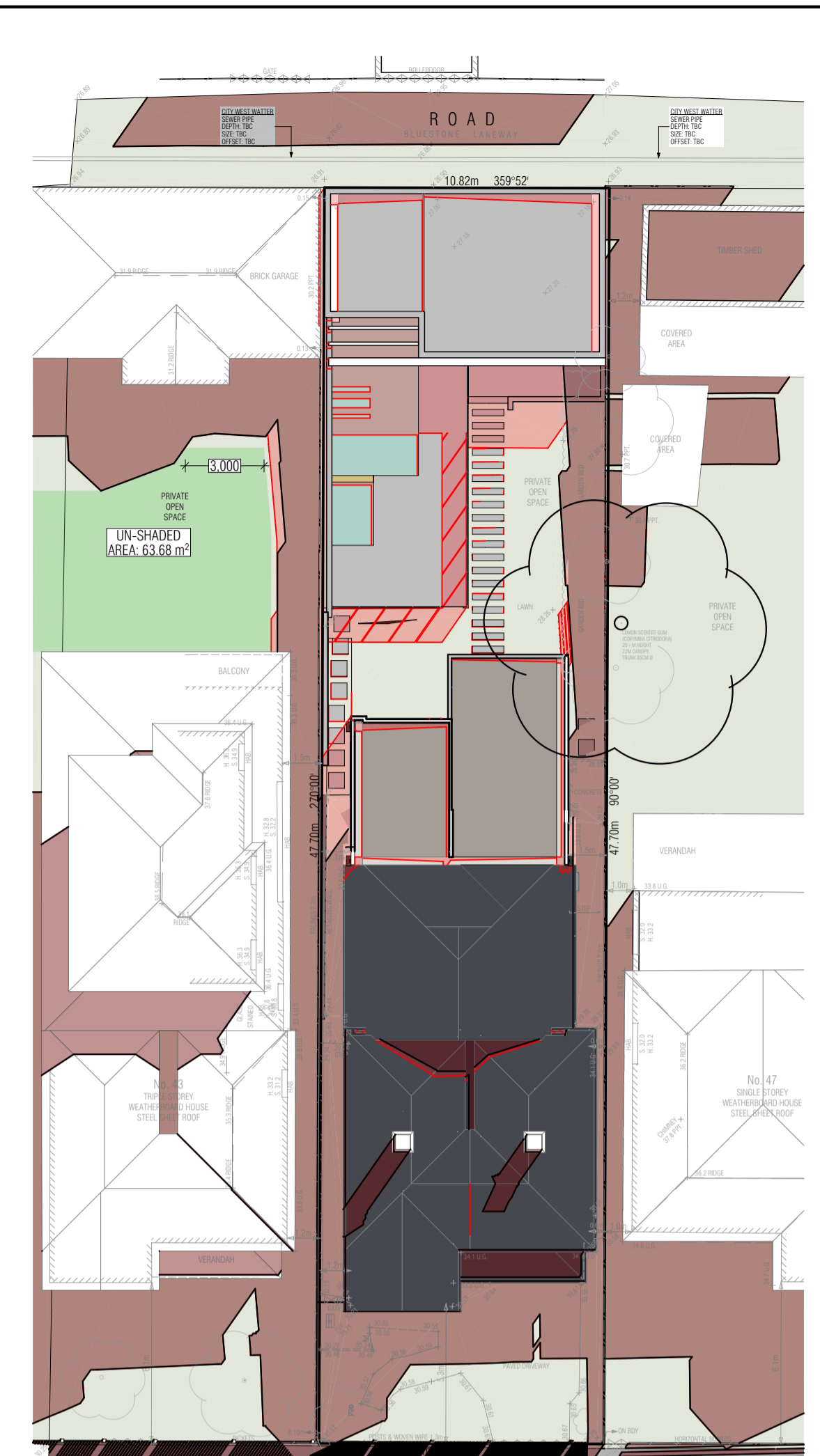
10AM SHADOW 1:200



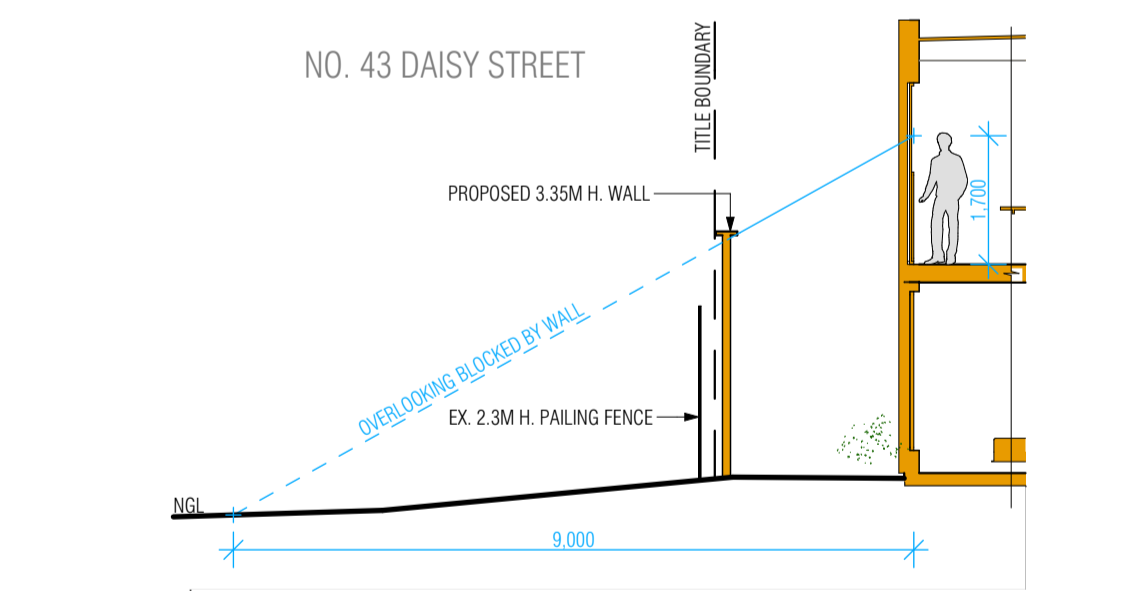
11AM SHADOW 1:200



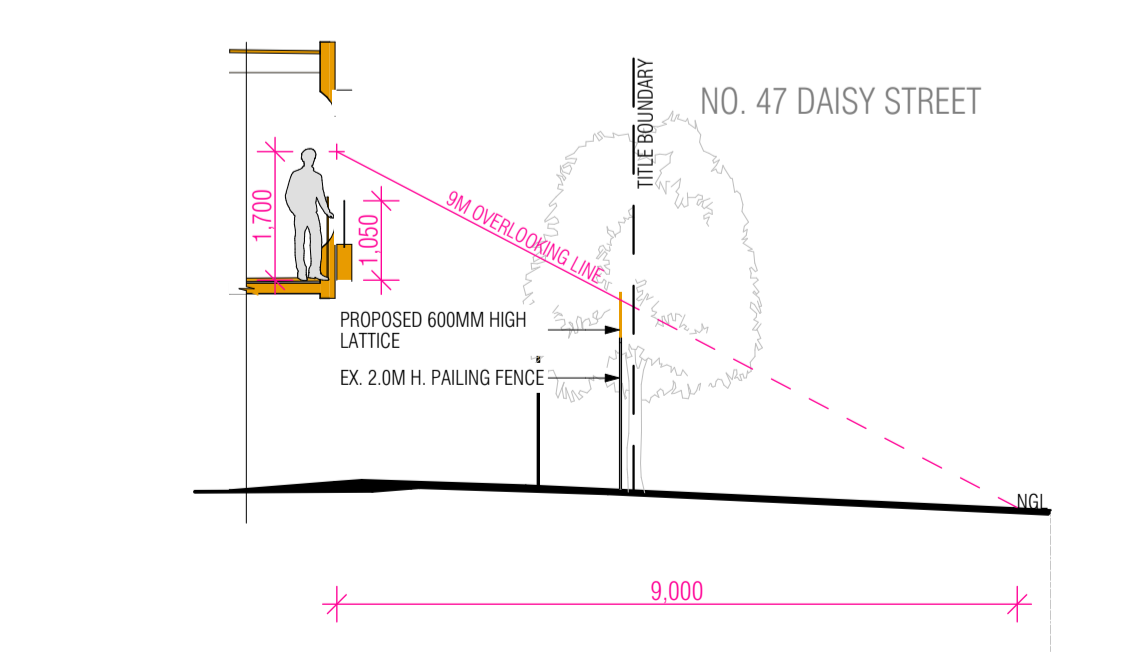
12PM SHADOW 1:200



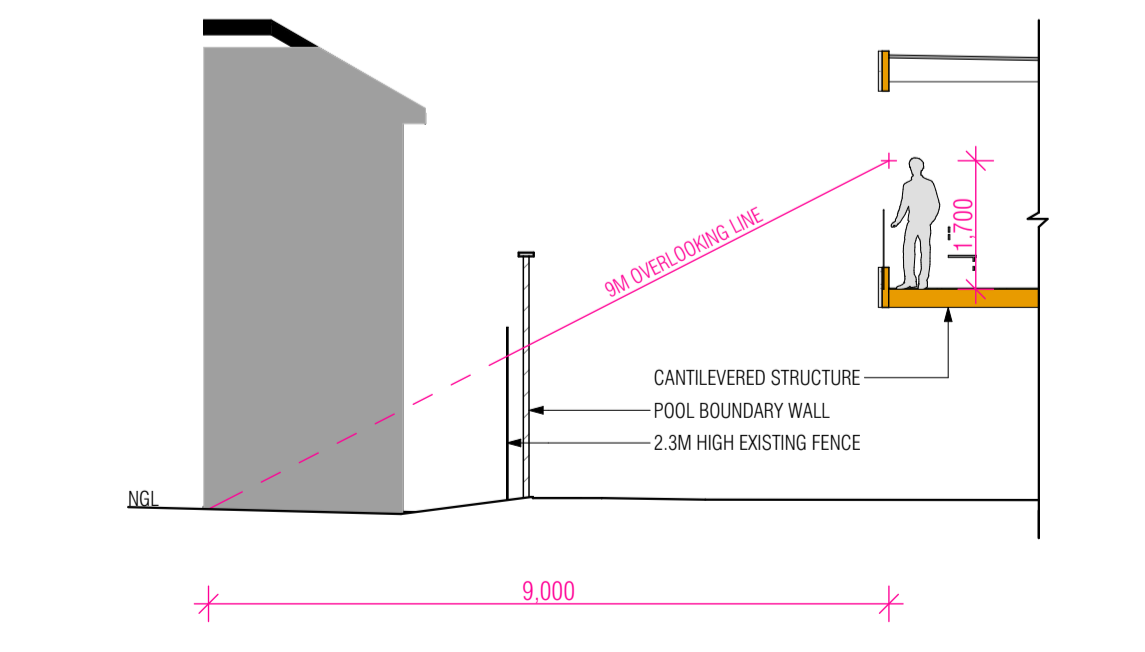
3PM SHADOW 1:200



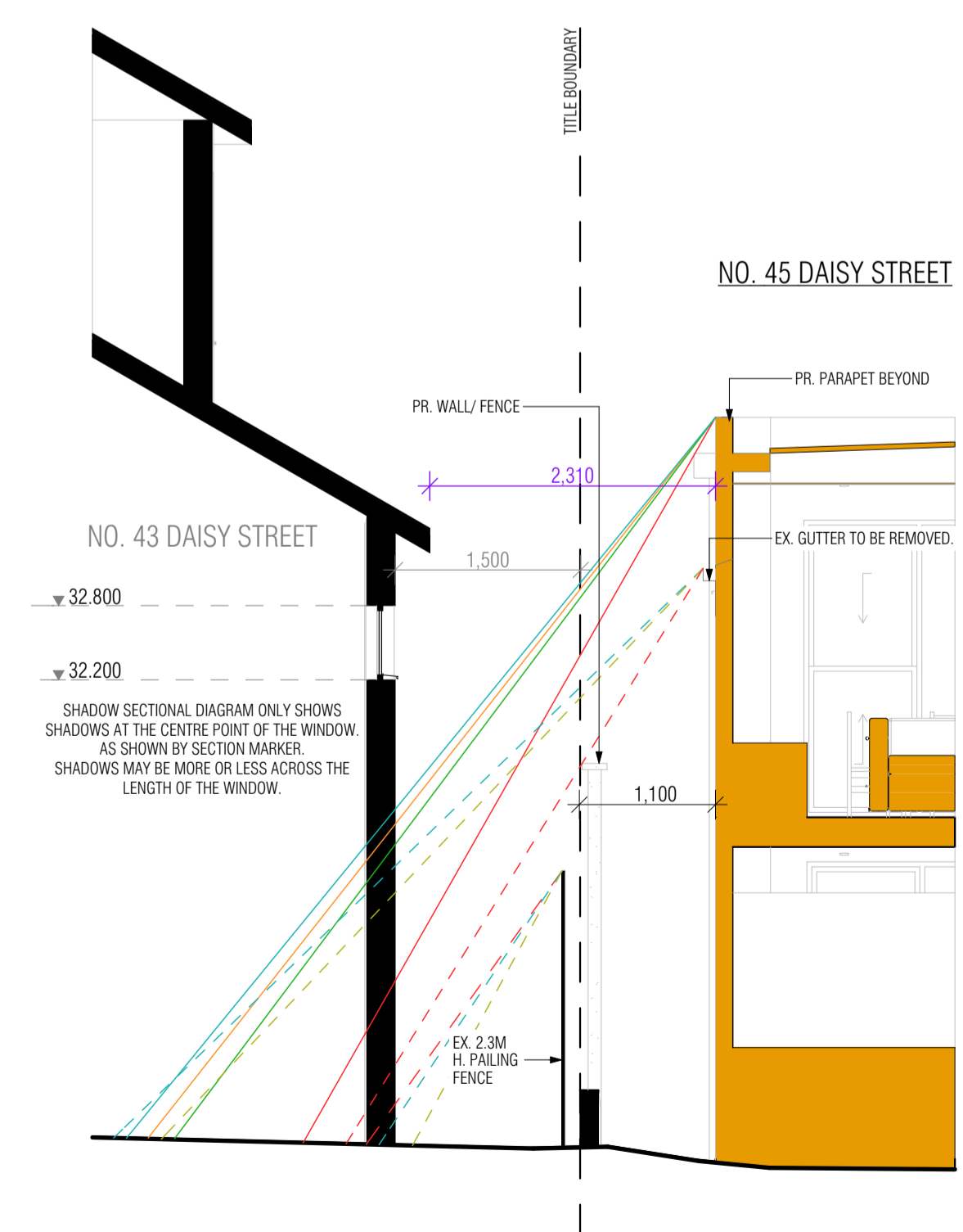
OV-A OVERLOOKING SECTION DIAGRAM - A 1:100



OV-B OVERLOOKING SECTION DIAGRAM 1:100



OV-C OVERLOOKING SECTION DIAGRAM - C 1:100



SD SHADOW SECTION DIAGRAM 1:50

SHADOW LEGEND

TIME	EXISTING	PROPOSED
9 AM	--- (dashed blue)	--- (solid blue)
10 AM	--- (dashed green)	--- (solid green)
11 AM	--- (dashed yellow)	--- (solid yellow)
12 PM	--- (dashed purple)	--- (solid purple)
2 PM	--- (dashed orange)	--- (solid orange)
3 PM	--- (dashed red)	--- (solid red)

SHADOW LEGEND

TIME	EXISTING	PROPOSED
9 AM	Grey	Light Blue
10 AM	Dark Blue	Light Purple
11 AM	Dark Green	Light Green
12 PM	Dark Olive	Light Yellow
1 PM	Dark Purple	Light Pink
2 PM	Dark Brown	Light Orange
3 PM	Dark Red	Light Red

REVISIONS

NO.	DATE	AMENDMENTS
REV-1	15/12/2021	INTERNAL REVIEW & CLIENT CHANGES
REV-2	16/02/2022	RFI
REV-3	04/03/2022	DECKING PLAN
REV-4	04/03/2022	POOL AMENDMENTS
REV-5	21/02/2022	LOBBY WINDOW - W/2
REV-6	15/02/2022	LOBBY WINDOW - W/2 - FINISH

PROJECT PARTICULARS

ALTERATIONS AND ADDITIONS TO AN EXISTING DWELLING.

45 DAISY STREET, ESSENDON, VIC 3040

ADRIAN & TANIA NATHANIELSZ

15/12/2021

775-06-20 - 45 DAISY STREET ESSENDON, VIC 3040 - 1:50 LORRY WINDOW PLAN

A1 PAPER

LR / DH

775-06-20 A09 OF 9 J

REGISTERED BUILDING DESIGNER