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# Site Notes:

Valuation Legal: LOT 3 DP 1679 Valuation Number: 0844003200 Valuation Address: 6 Tukura Road Inner Kaiti Valuation Area: 0.0809 Ha. District Plan Zone: General Residential Wind Zone: High as per Branz Maps Exposure Zone: Zone C Earthquake Zone: Zone 3 Snow Region: N1 Rainfall Range: 60-70mm/hr 1,200

1,200

Proposed

Garage

New 100mm thick Coloured Concrete Driveway and Paths (5 % black oxide SE62

Grade500e mesh through with 2% fall to garden)

3,800

5,470 approx

New Timber Gates

144m<sup>2</sup> approx.

Existing Dwelling

## Note New Fencing: South Boundary: (20.2m<sup>2</sup> approx) Timber fence 1,200mm high Prolam 88x88 PP H5 visual grade posts at 1,800 crs Prolam 140x42 PP H3.2 visual grade rails 88x19mm PP H3.2 finger jointed fence palings New timber gates to driveway Refer Construction Detail

<u>West Boundary</u>: (40.3m<sup>2</sup> approx) 'Colorsteel' Corrugated fence 1,800mm high 0.4bmt Colorsteel Endura 'Gull Grey' Colour tbc by client prior to ordering

<u>North Boundary</u>: (40.3m<sup>2</sup> approx) 'Colorsteel' Corrugated fence 1,800mm high 0.4bmt Colorsteel Endura 'Gull Grey' Colour tbc by client prior to ordering

East Boundary: (40.3m<sup>2</sup> approx) 'Colorsteel' Corrugated fence 1,800mm high 0.4bmt Colorsteel Endura 'Gull Grey' Colour tbc by client prior to ordering

footpath



Proposed Additions and Alterations For:AT:Sam and Victoria Wanklyn6 Tuk

6 Tukura Road Inner Kaiti

# Project Status: Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

## Site Notes:

Valuation Legal: LOT 3 DP 1679 Valuation Number: 0844003200 Valuation Address: 6 Tukura Road Inner Kaiti Valuation Area: 0.0809 Ha. Existing Site Coverage: 136.2 / 809 = 16.8% Proposed Site Coverage: 225.5 / 809 = 27.9% District Plan Zone: General Residential Client: Sam and Victoria Wanklyn

Wind Zone: High as per Branz Maps Exposure Zone: Zone C Earthquake Zone: Zone 3 Snow Region: N1

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

## Site Plan Notes:

All dimensions are to framing line, no allowance made for roof overhang or cladding projection.

FFL min 225mm above cleared ground level, and 150mm above permanent paving.

All boundary pegs for proposed construction site to be located and confirmed by owner / or surveyor on site, with contractor before any work takes place.

Check boundary restrictions / setbacks / recession planes comply with the latest council regulations before work commences.

The builder / contractor is responsible for setting out all building work on site, confirming accuracy in relation to setout on site plan, any queries contact designer.

Before any building work is done on site, all rubbish, noxious matter, and organic matter shall be removed from the area to be covered by dwelling.

Contractor to locate all ground levels and service connections on site prior to commencement of any earth works. All waste pipes, venting, and discharge to be confirmed by a New Zealand qualified plumber. Confirm positions of existing services, cabling etc. on site prior to excavation or digging of drains.

Builder to notify Council Inspector when stages of work are reached. All subcontractors or their management are required to have their work inspected and checked by the Building Contractor for the Practical Completion and the standard of workmanship.

Tukura Road

Boundary

Boundary

'Design Source Chambolle Limestone' pool paving 72.6m<sup>2</sup> approx. (incuding paved spa area)

Proposed

Pool

(to be

consented separately)

> Spa Pool

> > appro

Proposed Addition

36.85m<sup>2</sup>

3,590

· — · — · —

Drawing Title: Site Plan / Location Plan

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footpath

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Variation Number: 01			Sheet #:	01 of 24	
All construction to be in accordance with N.Z.B.C handbook. NZS 3604: 2011 and					

Iccal Territorial Authority requirements. All measurements to be checked and confirmed on site. Plans to be read in conjunction with Specifications, Engineering, other plans as required. Do not scale from plans. Contact designer on 02040042929 for any queries or before any alterations to original plans commence on site.

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# SITE DOCUMENT Page 374 of 396

Proposed Additions and Alterations For: AT:

Sam and Victoria Wanklyn

6 Tukura Road Inner Kaiti

# Project Status: Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

## Site Notes:

*Valuation Legal:* LOT 3 DP 1679 *Valuation Address:* 6 Tukura Road Inner Kaiti

*Wind Zone:* High as per Branz Maps *Exposure Zone:* Zone C *Earthquake Zone:* Zone 3

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

## Timber Treatment:

Min H1.2	To all framing. All timber to be SG8.
-H3.2	Cavity Battens.
-H1.2	Bottom Plate.
-H1.2	Sill Trimmers.
-H3.2	All 'Wet Areas' timber, members surrounding
	and structural members supporting.
-H3.2	All exposed timber, and supporting members
-H4	Timber where it is partially covered by earth
	and exposed to weather.
-H5	Treated timber in ground.

Members noted as 70mm or 90mm thick may be substituted with built-up members sized in accordance with with NZS 3604:2011 8.5.1.2 and nailed together in accordance with NZS 3604:2011 2.4.4.7.

## General Notes Floor Plan:

All electrical fittings / location to be confirmed and organised with owner prior to wiring out. Electrical Installations to comply with NZECP 51. Registered electrician to provide energy works certificate at completion of electrical work to local Territorial Authority.

## Elevation Key:

CGL	Cleared Ground Lev
FFL	Finished Floor level
FGL	Finished Ground Le

## Elevation Notes:

The elevations are a 2 dimensional representation of how the building will look. Construction drawings take precedence if any discrepancies arise. Ground levels are shown approximate and must not be taken as the finished groundline.

# Drawing Title:

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Proposed Floor Plan Scale 1:100

# SITE DOCUMENT Page 375 of 396

Proposed Additions and Alterations For: AT: Sam and Victoria Wanklyn

6 Tukura Road Inner Kaiti

## Project Status: Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

# Site Notes:

Valuation Legal: LOT 3 DP 1679 Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps

Exposure Zone: Zone C Earthquake Zone: Zone 3

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

Wall Framing Key:

Existing timber framed walls

- Built-up stud wall to meet new ceiling height Pack to suit existing wall thickness
- New 90x45mm SG8 Load Bearing Walls Studs @ 300mm centres Dwangs @ 800mm maximum centres Stud height 3,000mm maximum Sized as per NZS3604:2011 Table 8.2

New 90x45mm SG8 Non Load Bearing Walls Studs @ 400mm centres Dwangs @ 800mm maximum centres Stud height 3,000mm maximum Sized as per NZS3604:2011 Table 8.4

New 90x45mm SG8 Load Bearing Walls Studs @ 400mm centres Dwangs @ 800mm maximum centres Stud height 2,700mm maximum Sized as per NZS3604:2011 Table 8.2

Studs sized as per High wind zone, sizing taken from NZS 3604:2011 Table 8.2. Timber treatments as noted below.

Timber Treatment:

Min H1.2	To all framing. All timber to be SG8.
H3.2	Cavity Battens.
H1.2	Bottom Plate.
H1.2	Sill Trimmers.
H3.2	All 'Wet Areas' timber, members surrounding
H3.2	All exposed timber, and supporting members
·H4	Timber where it is partially covered by earth

Treated timber in ground. -H5

Members noted as 70mm or 90mm thick may be substituted with built-up members sized in accordance with with NZS 3604:2011 8.5.1.2 and nailed together in accordance with NZS 3604:2011 2.4.4.7.

## Bottom Plate Fixings:

Concrete Foundation: Framing timber shall be fixed using propriety fixings as designed by manufacturer. Bolt fixings shall be located not less than 150mm from end of corners of foundation walls and not more than 600mm c/c along the wall. Each length of plate shall be fixed with no less than 2 fixings.

Timber Foundation: All bottom plate fixings as per NZS3604:2011 Table 8.19:

(a) External walls and internal wall bracing elements: 2 / 100 x 3.75mm hand driven nails at 600crs, or 3 / 90 x 3.15mm power driven nails at 600 crs

(b) Internal walls 1 / 100 x 3.75mm hand driven nail at 600crs, or 1 / 90 x 3.15mm power driven nail at 600 crs

# General Notes Floor Plan:

All electrical fittings / location to be confirmed and organised with owner prior to wiring out. Electrical Installations to comply with NZECP 51. Registered electrician to provide energy works certificate at completion of electrical work to local Territorial Authority.

All flashings to be 'COLORSTEEL Endura 0.55 bm and must be grade G550 or G300 for curved and crimped flashings. Flashings to be selected for corrosion protection according to the intended exposure zone as shown in E2 / AS1 Table 20. All flashings to comply with E2 / AS1 table 7 metal flashings.

All doors and windows to have 60mm x 18mm architraves, Pine to wet areas / MDF to all other areas.

All glazing to showers to be 6mm toughened safety glazing to comply with NZS 4223:Part 3:1999.

SD-Approved smoke detectors required within 3.0m of any sleeping space-first alert or similar

## Drawing Title:

## Proposed Floor Plan / 3D Perspectives All Plan Design, and Associated Documents, is the © Copyright and Intellectual

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Proposed Elevation One Scale 1:100



Proposed Elevation Two Scale 1:100



Proposed Elevation Three Scale 1:100



SITE DOCUMENT Page 376 of 396

Proposed Additions and Alterations For: AT:

Sam and Victoria Wanklyn

6 Tukura Road Inner Kaiti



## Elevation Key:

**New Roof Cladding:** 'Colorsteel Endura' 0.4bmt corrugated cladding to match existing 'ThermaKraft CoverTek 407' roofing underlay 90x45mm H1.2 purlins on flat (outriggers) at 750 max centres (1) 'Continuous Quartz' 135mm 0.55bmt quarter round gutter Pre-primed timber fascia Timber tongue and groove soffits to match existing 115mm 'Mammoth' R2.9 Skillion Ceiling Insulation to new raked ceilings 200mm 'Mammoth' R3.2 Ceiling Insulation Blanket to new flat ceilings (2) New Walls / Building Envelope: Horizontal bevelback and rusticated timber cladding to match existing Wall cladding direct fixed to wall framing 'ThermaKraft CoverTek 407' wall underlay Double glazed timber joinery to match existing

90mm 'Mammoth' R2.2 wall insulation sections to new areas

## (3) New Foundations: 19mm 'CHH Ecoply' plywood flooring (H3.2 to wet areas) with selected finish 140x45 H3.2 floor joists at 400mm centres 2/140x45 H3.2 bearers, 125x125 H5 piles / anchor piles 25mm H3.2 baseboards with 20mm gap between

90mm 'Mammoth' R1.9 Underfloor Insulation Sections to new areas New Garage:

# (4)

'Colorsteel Endura' 0.4bmt corrugated cladding to match existing 'ThermaKraft CoverTek 407' roofing underlay 90x45mm H1.2 purlins on flat (outriggers) at 750 max centres 'Continuous Quartz' 135mm 0.55bmt quarter round gutter Pre-primed timber fascia Timber targue and groove soffits to match existing Horizontal bevelback and rusticated timber cladding to match existing Wall cladding direct fixed to wall framing 'ThermaKraft CoverTek 407' wall underlay Double glazed timber joinery to match existing 100mm thick concrete slab-on-grade floor

## (5) New Covered Outdoor Area:

Colorsteel Endura' 0.4bmt corrugated cladding to match existing 'ThermaKraft CoverTek 407' roofing underlay 90x45mm H1.2 purlins on flat (outriggers) at 750 max centres 'Continuous Quartz' 135mm 0.55bmt quarter round gutter Pre-primed timber fascia Timber tongue and groove soffits to match existing

20 Series masonry block chimney and outdoor fireplace New Swimming Pool: New Narellan Pools 'Grandeur 7' 7.3 x 4.2m swimming pool

# (6)

Swimming pool installed by others, consented separately Pool Area to be fully fenced to comply with F9/AS1 Residential Pool Barriers

BUILDING ENVELOPE RISK MATRIX					
	All Elevations				
Risk Score Risk Severity Risk Facto					
1	High risk	Wind zone (per NZS 3604)			
0	Low risk	Number of storeys			
0	Low	Roof/wall intersection design			
2	High risk	Eaves width			
1	Medium risk	Envelope complexity			
0	Low risk	Deck design			
4		Total Risk Score:			

# Project Status: Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

## Site Notes:

*Valuation Legal:* LOT 3 DP 1679 *Valuation Address:* 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps Exposure Zone: Zone C Earthquake Zone: Zone 3

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

Elevation Key:

Finished Ground Level FGL FFL PGL Finished Floor level Paved Ground Level

## Elevation Notes:

The elevations are a 2 dimensional representation of how the building will look. Construction drawings take precedence if any discrepancies arise. Ground levels are shown approximate and must not be taken as the finished groundline.

## Compliance with E2 External moisture

A risk score of 0-6 allows for timber weatherboards (all types) to be installed direct fixed to framing, as per E2/AS1. Products installed as per E2/AS1 and individual product installation guide. Individual product documents are attached in specifications to accompany construction drawings.

# Drawing Title:

Proposed Elevations

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Variation Nurr	nber: 01	Sheet #:	04 of 24		

# Building Consent BC22263 - APPROVED by AXH on 12/04/2022

# KINGSBEER ARCHITECTURE ĸ-

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Proposed Additions and Alterations For: AT: Sam and Victoria Wanklyn

6 Tukura Road Inner Kaiti

# Project Status: Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

## Site Notes:

Valuation Legal: LOT 3 DP 1679 Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps Exposure Zone: Zone C Earthquake Zone: Zone 3

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in Sheltered' external situations are to be Hot-Dipped Galvanised.

## Foundation Notes:

All dimensions, levels, falls, heights and structure etc. to be checked and confirmed on site prior to commencement of works. Contractor to confirm foundation soil bearing meets to requirements of NZS 3604 clause 3.1.2 following excavation of the site and prior to the placement of steel in the footings

## Granular Base:

Granular base for slab to conform with NZS 3604:2011. consolidate with a vibrating roller. Granular fill material shall be placed and compacted in layers of 150mm maximum over the area beneath the proposed ground slab so that the total granular base is not less than 75mm and not more than 600mm. Compact each layer until the material is tightly bound together and does not visibly deform under the weight of a pressed heel. Where the fill is in excess of 600mm, it will be necessary for a geotechnical engineer to investigate

## Damp Proof Membrane:

- To comply with NZS 3604:2011 section 7.5.4.
- The DPM be comprised of the following: a) Have a water vapour flow not less than 90MNs/g when tested in accordance with ASTM E96 utilising standard testing conditions.
- b) Be sufficiently durable enough to resist damage from the installation and normal work operation c) Be laid on a surface not likely to damage the DPM being used.
- d) Have penetrations by services, reinforcing, and other objects sealed by taping, or by applying a wet applied DPM material.

## Concrete:

20 MPa, maximum aggregate size 19mm to NZS 3104. Site mixed concrete to NZS 3124. min. hickness 90mm. ALL FOUNDATIONS TO COMPLY WITH NZS 3604:2011 and NZBC in general.

## Shrinkage Control Joints:

The saw cuts shall be cut no less than 24 hours after the slab has been laid. Cut depth shall be 1/4 depth of slab with a single saw blade thickness of approx. 5mm CONCRETE REINFORCING Bars to AS/NZ 4671. Grade 300 deformed, other than ties and stirrups, UNO.

## Bottom Plate Fixings:

Concrete Foundation: Framing timber shall be fixed using propriety fixings as designed by manufacturer. Bolt fixings shall be located not less than 150mm from end of corners of foundation walls and not more than 600mm c/c along the wall. Each length of plate shall be fixed with no less than 2 fixings.

# Timber Foundation: All bottom plate fixings as per

NZS3604:2011 Table 8.19: (a) External walls and internal wall bracing elements:

2 / 100 x 3.75mm hand driven nails at 600crs, or 3 / 90 x 3.15mm power driven nails at 600 crs (b) Internal walls

1 / 100 x 3.75mm hand driven nail at 600crs, or 1 / 90 x 3.15mm power driven nail at 600 crs

Foundation Plan

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All construction to be in accordance with N.Z.B.C handbook, NZS 3604: 2011 and local Territorial Authority requirements. All measurements to be checked and confirmed on site. Plans to be read in conjunction with Specifications, Engineering, other plans as required. Do not scale from plans. Contact designer on **02040042929** for any queries or before any alterations to original plans commence on site

Piles at a maximum 1,650mm centres. Ordinary pile set in 400x400x700mm minimum deep, below current ground level, or into underlaying clay soils. Foundations as per 'Allied Geotech Ltd Geotechnical Investigation Report'. Refer notes below and full report

(a) <u>125x125 H5 Anchor Piles</u> Piles at a maximum 1,650mm centres. Anchor pile set in 400x400x900mm minimum deep, below current ground level, or into underlaying clay soils. Foundations as per 'Allied Geotech Ltd Geotechnical Investigation Report'. Refer notes below and full report

Note: Piles within masonry block footing. Piles at a maximum 1,650mm centres. Piles within footing to be set 150mm deep into footing when poured. Ensure 75mm minimum cover between timber

(X) Prolam PLP12H5-250PP Pre-Primed 220x220mm Posts Refer Prolam Design Certificate attached in specifications.

> Fix ordinary piles to bearer fixing use 2 / 100 x 3.75mm nails plus 2 / wire dogs. For bearer to pile fixing over Anchor pile use

Fix joists to bearer using 2 / 100 x 3.75mm nails. For joist to bearer fixing over Anchor pile use 'LUMBERLOK' 12 kn Pile Fixing. Maximum span 2.70m as per NZS 3604:2011 Table 7.1.(a)

Fix joists to bearer using 2 / 100 x 3.75mm nails. For joist to bearer fixing over Anchor pile use 'LUMBERLOK' 12 kn Pile Fixing Maximum span 2.50m as per NZS 3604:2011 Table 7.1.(b)

1. 140x45 SG8 H1.2 Blocking at maximum 1,800mm centres 140x45 SG8 H1.2 to all boundary edges, with double 140x45 SG8 H1.2 joists under all load bearing walls. Refer NZS 3604:2011 Figure 7.1 for jointing options in floor joists.

2. Flooring to be 'CHH Ecoply' 19mm Untreated Longspan Plywood flooring with selected finish. Use 'CCH Ecoply' 19mm H3.2

3. Allow to frame out shower size. Slope to be formed ready for floor coverings. Confirm shower size and location on site. Refer

Light Roof Light

Defined as per 7.4.2.2 NZS 3604:2011. Deck braced as per Table

SE62 Grade 500e Mesh throughout, 30mm top cover, Chairs

2. Shrinkage control joints as per NZS3604:2011. 25mm deep sawcuts to form max 6.0m bays. Sawcut to be performed no later than 24 hours after pour and positioned where possible below

3. 20 Series masonry block footing- to extend down to a min. 400mm below current ground level, or into underlaying clay soils. Foundations as per 'Allied Geotech Ltd Geotechnical nvestigation Report'. Refer notes below and full report attached

5. Rebate all external doors for level entry. Check aluminium sill type before pouring. Confirm floor coverings with owner prior to creating rebate. Size to be confirmed with selected

6. 25mm deep rebate to garage doors. Size to be confirmed with selected manufacturer's construction details

\* Masonry Block Chimney Footing Site Preparation The area beneath the masonry block chimney footing should be excavated to 700mm BGL. The excavations should extend 0.5m beyond each edge of footprint of the footing. The excavation will need to be inspected prior to placing any backfill

Once inspected, the area should then be backfilled with Matokitoki metal (or similar approved alternative) to the underside of footing level (approx 0.4-0.5m BGL) The engineered backfill should be placed in 150mm maximum thick layers and compacted thoroughly at each layer. The fill will need to be inspected and tested before constructing the footing above.

Allied Geotech Ltd Geotechnical Investigation (Refer full Geotechnical Investigation Report attached in specifications)

## Foundation Recommendations

House Extension and Covered Outdoor Living Zone: "We recommend that all pile and pad foundations for the proposed house extension and outdoor living zone extend to the deeper of 0.7m below current ground level, or into the underlying clay soils.

Utilising B1:VM4 of the New Zealand Building Code, at the recommended foundation depth an allowable end bearing capacity of 100kPa (FoS of 3) is expected to be available. This allows the foundation designs given in NZS3604(2011) to be used without modification (apart from the deepening requirement).

In accordance with NZS3604 (2011), all disturbed and loose material within the foundation excavations need to be completely removed to avoid excessive foundation settlement. Undisturbed ground needs to be exposed at the base of the excavations. Backfilling with hardfill, cuttings or any other material shall not be undertaken prior to concrete foundation pouring."

## Garage: Site Preparation:

"We recommend that the existing garage foundations, slab, topsoil, non-engineered fill, and any other deleterious material be completely removed from the building footprint. Inorganic sandy soil should be exposed at subgrade level. The removed material can then be replaced with compacted granular material in accordance with the methodology outlined in NZS3604:2011 back up to underside of slab level. Well grade beach sand appears suitable for this site. This filling placement process usually occur after the perimeter foundation has been installed (see next section)."

Foundation Design: "We recommend that all strip foundations for the proposed garage extend through the topsoil and down to a minimum of 0.4m depth and into the underlying sandy soils (whichever is deeper). Utilising B1:VM4 of the New Zealand Building Code, at the recommended foundation depth an allowable end bearing capacity of 70kPa (FoS of 3) is expected to be available. To account for the slightly lower bearing capacity ground than that required by NZS3604 (100kPa), we recommend that the strip foundations be widened by a factor of 1.4 X the proposed foundation width from NZS3604:2011. Foundation excavation/site preparation work may need to be delayed to minimise the risk of the ground being compromised by excess moisture from adverse weather. Foundations should not be constructed in a saturated excavation.

## Foundation Excavation Checks:

"Once the foundation excavations house the house extensions and covered outdoor living zone pad foundations are complete, we recommend verification testing of the ground by a Suitably Qualified Professional to ensure that the ground conditions at foundation level are consistent with the investigation findings, and that all loose materials have been removed as required by NZS3604 (2011). A Gisborne District Council Building Inspector is expected to be able to complete the foundation inspections for the garage. We should be contacted if conditions vary from that described in this report. Modification to the recommendations may be required if variable ground conditions are found."

## Settlement:

"Provided that the foundation excavations are consistent with the findings of this report and all cuttings are removed from the base of the excavations, load and differential settlements are expected to be within Building Code tolerances under static load conditions.

<u>Ground Contouring</u> "Surface water shall not be allowed to accumulate against or beneath buildings. To minimise this risk, slight crowning of the house extension site or contouring of the ground to slope away from the building zones is recommended.

## Vegetation

"It is important that gardens do not interfere with any subfloor ventilation or drainage systems for the building. Excessive watering of gardens adjacent to building foundations should also be avoided as this can promote settlement and/or ground heave. Trees can remove moisture from the soil for a radius equal to the height of the tree. This can cause expansive soils to shrink to varying degrees, and heave through tree root growth leading to differential settlement occurring under foundations and possible damage to the building superstructure. To reduce this risk trees should be planted a minimum of 1 times the mature height of the tree away from the foundation."

## Surface Water

"It is paramount that runoff from roof and paved areas is collected or disposed of in a suitable location away from any buildings. Adequate erosion protection should be constructed around the pipe outfalls. Given the low permeability of the underlying clay soils, we recommend full containment and discharge to the Tukura Road stormwater disposal network. To minimise the potential for foundation settlement or heave, the stormwater disposal system for the buildings should be functioning as soon as the roofs are installed.

Light&Medium 0 - 25

15 BU/m<sup>2</sup> x 36.9m<sup>2</sup> (Area of Dwelling Addition) = 554 BU

Half of 15 BU/m<sup>2</sup> =  $7.5BUm^2 \times 45m^2$  (Area of Decking) = 338 BU

Drawing Title:

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# SITE DOCUMENT Page 378 of 396

Proposed Additions and Alterations For: AT: Sam and Victoria Wanklyn

6 Tukura Road Inner Kaiti



 $(\mathbf{A})$ 

**M**-

**N**—

**O**-

À

## Wall Bracing Key:

---- A1 GS1-N 0.6

Ceiling Diaphragm

Bracing Number A1 GS1-N Bracing Type 0.6 Bracing Element Length

<u>12mm 'CHH Ecoply' Structural Ceiling Diaphragm</u> Structural Ceiling Diaphragm required as distance between bracing lines N and O exceeds 6.0m. Diaphragm and fixings to comply with 'Ecoply Specification and Installation Guide October 2021' (Section 3.6), attached in specifications.

# Bracing Type:

<u>GS1-N:</u> 10mm or 13mm GIB Standard Plasterboard to one side only. Minimum element length 400mm. Refer 'GIB EzyBrace Systems' or 'GIB Site Guide' for installation requirements.

BL1-H: 10mm or 13mm GIB Braceline to one side only. Minimum element length 400mm. Panel Hold downs required at each end of bracing element. Refer 'GIB EzyBrace Systems' or 'GIB Site Guide' for installation requirements.

## BLP-H:

10mm or 13mm GIB Braceline to one side of the frame, plus minimum 7mm structural plywood manufactured to NZS2269.0:2012 to the other side. Minimum element length 400mm. Panel Hold downs required at each end of bracing element. Refer 'GIB EzyBrace Systems' or 'GIB Site Guide' for installation requirements Note: Check structural plywood into external face of wall framing. Allow to line over internal plasterboard bracing element in garage using plywood linings to match remainder of garage internal linings.

One layer of minimum 7mm, 9mm or 12mm Ecoply plywood fixed directly to framing. Minimum element length 400mm. Panel Hold downs required at each end of bracing element. Refer 'Ecoply Specification and Installation Guide October 2021' for installation requirements. Note: Check structural plywood into external face of wall framing.



## Project Status: Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

## Site Notes:

*Valuation Legal:* LOT 3 DP 1679 *Valuation Address:* 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps Exposure Zone: Zone C Earthquake Zone: Zone 3

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

Wall Framing Key:

Existing timber framed walls

New 90x45mm SG8 Load Bearing Walls Studs @ 300mm centres Dwangs @ 800mm maximum centres Stud height 3,000mm maximum Sized as per NZS3604:2011 Table 8.2

New 90x45mm SG8 Non Load Bearing Walls Studs @ 400mm centres Dwangs @ 800mm maximum centres Stud height 3,000mm maximum Sized as per NZS3604:2011 Table 8.4

New 90x45mm SG8 Load Bearing Walls Studs @ 400mm centres Dwangs @ 800mm maximum centres Stud height 2,700mm maximum Sized as per NZS3604:2011 Table 8.2

Studs sized as per High wind zone, sizing taken from NZS 3604:2011 Table 8.2. Timber treatments as noted below.

## Timber Treatment:

Min H1.2	To all framing. All timber to be SG8.
-H3.2	Cavity Battens.
-H1.2	Bottom Plate.
-H1.2	Sill Trimmers.
-H3.2	All 'Wet Areas' timber, members surrounding
	and structural members supporting.
-H3.2	All exposed timber, and supporting members
-H4	Timber where it is partially covered by earth
	and exposed to weather.
-H5	Treated timber in ground.

Members noted as 70mm or 90mm thick may be substituted with built-up members sized in accordance with with NZS 3604:2011 8.5.1.2 and nailed together in accordance with NZS 3604:2011 2.4.4.7.

## Bottom Plate Fixings:

Concrete Foundation: Framing timber shall be fixed using propriety fixings as designed by manufacturer. Bolt fixings shall be located not less than 150mm from end of corners of foundation walls and not more than 600mm c/c along the wall. Each length of plate shall be fixed with no less than 2 fixings.

Timber Foundation: All bottom plate fixings as per NZS3604:2011 Table 8.19:

(a) External walls and internal wall bracing elements: 2 / 100 x 3.75mm hand driven nails at 600crs, or 3 / 90 x 3.15mm power driven nails at 600 crs

(b) Internal walls 1 / 100 x 3.75mm hand driven nail at 600crs, or 1 / 90 x 3.15mm power driven nail at 600 crs

General Notes Floor Plan:

All electrical fittings / location to be confirmed and organised with owner prior to wiring out. Electrical Installations to comply with NZECP 51. Registered electrician to provide energy works certificate at completion of electrical work to local Territorial Authority.

All flashings to be 'COLORSTEEL Endura 0.55 bmt minimum and must be grade G550 or G300 for curved and crimped flashings. Flashings to be selected for corrosion protection according to the intended exposure zone as shown in F2 / AS1 Table 20. All flashings to comply with E2 / AS1 table 7 metal flashings.

All doors and windows to have 60mm x 18mm architraves, Pine to wet areas / MDF to all other areas.

All glazing to showers to be 6mm toughened safety glazing to comply with NZS 4223:Part 3:1999.

SD-Approved smoke detectors required within 3.0m of any sleeping space-first alert or similar

# Drawing Title:

# Dimensioned Floor Plan / Bracing Plan All Plan Design, and Associated Documents, is the © Copyright and Intellectual Property of Kingsbeer Architecture Ltd and cannot be reproduced in whole or in part

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Proposed Additions and Alterations For: AT: Sam and Victoria Wanklyn

6 Tukura Road Inner Kaiti

# Existing Downpipe New 'Colorsteel Endura' 80mm minimum dia. Downpipe DPE DPN IP Inspection Point IJ Inspection Joint New Roofing: **\_\_\_\_** Roof One Roof One 23° Pitch 23° Pitch table 5) cos with existing cos with existing Note Gutters / Drainage: upon completion. DPN 6 DPA IP IJ DPN 2 Roof Two Roof Two ain 23° Pitch 23° Pitch cos with existing cos with existing Σ Š DPE IJ

## Roofing / Roof Drainage Key:



Rainfall Intensity 'l' Gisborne = 70mm/hr Maximum plan area of roof discharging to section of gutter =  $53m^2$  (@ 'I'=100 as per E1/AS:1 Figure 15) (Max roof area per 80mm dia. downpipe = 85m<sup>2</sup> as per E1/AS:1

- Provide no less than one downpipe per 85m<sup>2</sup> Roof Area.
- 1. All external roof gutters to fall to outlet. External gutters to have a constant fall of 1:500 towards downpipes.
- New Stormwater plumbing to connect to GDC Stormwater network at roadside. Plumber to confirm exact location and discharge on site. Plumber to supply accurate as built drawing

Roof Three 23° Pitch s with existir

Roof Three 23° Pitch s with existir



Drawing Title: Roof Framing Plan / Roof Plan

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All construction to be in accordance with N.Z.B.C handbook, NZS 3604: 2011 a Iccal Territorial Authority requirements. All measurements to be checked and confirmed on site. Plans to be read in conjunction with Specifications, Engineering, other plans as required. Do not scale from plans. Contact designer on 02040042929 for any queries or before any alterations to original plans commence on site.

# Project Status: Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

## Site Notes:

*Valuation Legal:* LOT 3 DP 1679 *Valuation Address:* 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps Exposure Zone: Zone C Earthquake Zone: Zone 3

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

## Timber Treatment:

/lin H1.2	To all framing. All timber to be SG8.
H3.2	Cavity Battens.
H1.2	Bottom Plate.
H1.2	Sill Trimmers.
H3.2	All 'Wet Areas' timber, members surrounding and structural members supporting.
H3.2	All exposed timber, and supporting members
H4	Timber where it is partially covered by earth
	and exposed to weather.
H5	Treated timber in ground.

Members noted as 70mm or 90mm thick may be substituted with built-up members sized in accordance with with NZS 3604:2011 8.5.1.2 and nailed together in accordance with NZS 3604:2011 2.4.4.7.

## Roof Framing Notes:

All roof framing and hold-downs designed as per High wind

Specific designed roof truss system as designed by truss manufacturer, refer to specifications for truss design & producer statement. Truss manufacturer to notify designer of any special up/down loading from roof trusses, or lintels greater than those designed and specified.

## Purlin Fixing:

Fixing 'Type C' as per 'Lumberlok' Fixing Guide: 1 x 80mm x 10mm gauge Lumberlock blue screw, or alternative fixing with a minimum 2.4kN capacity.

## Stud to top plate fixing:

All top plates fixed with Fixing 'Type B' as per 'Lumberlok' Fixing Guide: 2 / 90 x 3.15 plain steel wire nails driven vertically into stud + 'Lumberlok' stud strap to one face only.

## Roof Plan Notes:

All flashings to be 'COLORSTEEL Endura' 0.55 bmt minimum and must be grade G550 or G300 for curved and crimped flashings. Flashings to be selected for corrosion protection according to the intended exposure zone as shown in E2 / AS1 Table 20. All flashings to comply with E2 / AS1 table 7 metal flashings.

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100Dn uPVC SS Drain @ 1:60

## Plumbing Key:

---- Proposed new sanitary plumbing- see min falls below

## IP Inspection Point IJ Inspection Joint

- GT 100mm dia. uPVC Gully Trap VP Vent Pipe
- VP Vent Pipe AAV Air Admittance Valve

## GHW Gas Hot Water System: New 'Rheem' Continuous Flow Water Heater installed by registered gasfitter, as per manufacturer's specification. Exact model TBC by Client.

## Minimum Pipe Sizes and Falls:

Basin Shower Sink Dishwasher Bath Washing Machine Laundry Tub

W/C Pan

65mm 1:40 min. fall 65mm 1:40 min. fall 65mm 1:40 min. fall Discharge to sink drain 100mm 1:60 min. fall bischarge to tub 65mm 1:30 min. fall 100mm 1:60 min. fall

**Note:** Laundry tub shall be capable of fully containing a solid cylinder of 400mm diameter and 200mm depth as per NZBC G2.

## Plumbing Notes:

 New SS Drain to connect to existing SS Drain with connection to GDC wastewatwer system. Plumber to confirm exact location and discharge on site. Plumber to supply accurate as built drawing upon completion.





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Proposed Additions and Alterations For: AT: Sam and Victoria Wanklyn 6 Tuk

6 Tukura Road Inner Kaiti



	Ceiling / Soffit Finishes Key:
	Existing Ceilings Retain / make good existing linings where possible
	<u>New Flat Ceilings</u> 13mm 'GIB Standard' ceiling linings 'GIB Rondo 310' ceiling battens at 450mm centres
	<u>New Raking Ceilings</u> 13mm 'GIB Standard' ceiling linings 'GIB Rondo 310' ceiling battens at 450mm centres
Ceiling Diaphragm	<u>New Garage Ceiling Diaphragm- Refer Bracing Plan</u> 12mm 'CHH Ecoply' Structural Ceiling Diaphragm. Diaphragm and fixings to comply with 'Ecoply Specification and Installation Guide October 2021' (Section 3.6), attached in specifications.
	<u>New Garage Ceilings</u> 12mm 'CHH Ecoply' ceiling linings 70x35mm H1.2 timber ceiling battens at 450mm centres
	<u>New Flat Ceilings (Wet Areas)</u> 13mm 'GIB Aqualine' ceiling linings 'GIB Rondo 310' ceiling battens at 450mm centres
	Existing Raking Soffits Retain / make good existing soffit linings where possible
	<u>New Raking Soffits</u> Timber tongue and groove soffits to match existing
	<u>New Covered Outdoor Area Flat Ceilings</u> 7.5mm 'James Hardie HardieGroove' ceiling linings 70x35mm H1.2 timber ceiling battens at 450 centres



# Project Status: Building Consent

<u>Note:</u> DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

## Site Notes:

Valuation Legal: LOT 3 DP 1679 Valuation Address: 6 Tukura Road Inner Kaiti

*Wind Zone:* High as per Branz Maps *Exposure Zone:* Zone C *Earthquake Zone:* Zone 3

Plumbing / Drainage Notes:

Plumbing to AS/NZ:3500.2.2 (Min. 1:60 pipe gradient) by qualified tradespersons. 100mm dia. uPVC stormwater drains to rainwater tanks. 100 dia. Sanitary Sewer drains to septic system.

Construction to comply with New Zealand Building Code. Contractor to pay particular attention to Clause B1 -Structure, B2 Durability, E2, external Moisture. Construction to comply with NZS 3604:2011.

Acceptable materials for sanitary plumbing include: -Pipes and Fittings: copper (NZS 3501), PVC (AS/NZ 1260) -Traps: copper (AS 1589), PVC (AS 2887) -Expansion Joints: PVC (NZS 7643)

## Drains:

Contractor to check all invert levels, connections and inspection points to ensure sufficient fall can be incorporated. Check manufacturer's installation recommendation of plumbing of all fixtures to ensure sufficient depth. Ensure installation of plumbing and drainage meets the requirements set out in drainage codes and standards, these include: -Pipe diameter and length -Pipe dradients

-Pipe gradients -The amount of anticipated discharge from other fixtures -The need for venting

-Restrictions on connection positions

50Dia. termination / branch vents to be installed where shown. Vents must be to open air, and must be vermin / bird proof. Contractor to locate all ground levels and service connections on site prior to commencement of any earth works. All waste pipes, venting, and discharge to be confirmed by a New Zealand qualified plumber. Confirm positions of existing services, cabling etc. on site prior to excavation or digging of drains.

Air Admittance Valves MUST:

-Be used strictly in accordance with manufacturers instructions.

-Not be used as a main vent, these must be vented to open external air.

-Only be used on a stack vent that is not acting as a drain vent. -Be a minimum of 100mm above the weir of any trap they

-Be installed in an accessible, ventilated space protected

from vandalism, sun, and freezing.

# Plumbing Notes:

-Hot and cold water reticulation to comply with NZBC G12/AS1.

-Hot and cold supply to tempering valve & showers all 20mm polybutylene min.

-Hot and cold supply to sink, laundry and bath 15mm polybutylene min

-Hot and cold supply to all other fixtures 10mm

polybutylene min. -Hose tap positions confirmed by owner

-25mm black & blue pipe for water supply feed. All sanitary drainage to AS/NZS 3500 Part 2.2

## Drawing Title:

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## Floor Finishes Key:

<u>'Forte Moda Altro Verona' Flooring</u> (55.0m<sup>2</sup> approx) 15mm thick x 220mm wide engineered timber flooring planks Installed as per manufacturers' specification

Existing Carpet to Master Bedroom to remain (13.4m<sup>2</sup> approx) 'Rhino Rhode Island Charismatic' Carpet Installed over 11mm 'Dreamwalk Royal' carpet underlay

<u>'Rhino Rhode Island Charismatic' Carpet</u> (37.5m2 approx) Installed over 11mm 'Dreamwalk Royal' carpet underlay Installed as per manufacturers' specification

<u>'Tilespace Icone Blanc Matt' Floor Tiles</u> (9.0m<sup>2</sup> approx) 60x60 Floor Tiles (Product Code ITA279) Installed as per manufacturers' specification

<u>Concrete Slab on Grade Floor</u> (48.2m<sup>2</sup> approx) Sealed concrete slab to Garage and Store/Pump Room Seal using 'SikaGlaze PU' matt finish polyurethane gloss sealer Existing Decking to Porch area to remain (15.9m<sup>2</sup> approx)

Existing Decking to Porch area to remain (15.9m<sup>2</sup> approx) Pine 120x25mm or similar timber decking Installed over existing timber joists / bearers

<u>90x19mm 'Kwila' Decking</u> (55.7m<sup>2</sup> approx) Installed over new timber joists / bearers





# SITE DOCUMENT Page 381 of 396

Proposed Additions and Alterations For:AT:Sam and Victoria Wanklyn6 Tuk



# Project Status: Building Consent

<u>Note:</u> DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

## Site Notes:

Valuation Legal: LOT 3 DP 1679 Valuation Address: 6 Tukura Road Inner Kaiti

*Wind Zone:* High as per Branz Maps *Exposure Zone:* Zone C *Earthquake Zone:* Zone 3

Electrical Notes:

1. All electrical fittings / locations to be confirmed and organised with owner prior to wiring out.

2. Final kitchen power requirements to be confirmed by owner and kitchen designer prior to wiring out.

3. All standard power / data points to be located 300mm above FFL, unless otherwise stated. All kitchen power points to be located 1100mm above FFL unless otherwise stated.

4. Electrical Installations to comply with NZECP 51. Registered electrician to provide energy works certificate at completion of electrical work to local Territorial Authority.

## Smoke Alarms:

Type 1 Domestic Smoke Alarm Systems shall comply with F7/AS1 and shall be located in every sleeping space. Smoke alarms shall be installed on or near the ceiling, with placement in accordance with NZS 4514. Smoke alarms shall be maintained in accordance with the maintenance requirements of NZS 4514.

## Electrical Notes:

1. All electrical fittings / locations to be confirmed and organised with owner prior to wiring out.

2. Final kitchen power requirements to be confirmed by owner and kitchen designer prior to wiring out.

 All standard power / data points to be located 300mm above FFL, unless otherwise stated. All kitchen power points to be located 1100mm above FFL unless otherwise stated.

4. Electrical Installations to comply with NZECP 51. Registered electrician to provide energy works certificate at completion of electrical work to local Territorial Authority.

## Smoke Alarms:

Type 1 Domestic Smoke Alarm Systems shall comply with F7/AS1 and shall be located in every sleeping space. Smoke alarms shall be installed on or near the ceiling, with placement in accordance with NZS 4514. Smoke alarms shall be maintained in accordance with the maintenance requirements of NZS 4514.



------

- Electrical Schedule
- Distribution Board
- Electrical Meter Board
- XF Extractor Fan
- SD Smoke Detector
- HTR Vertical Heated Towel Rai
- Double Power Point
- AGDO Auto Garage Door Opener

# Recessed LED Downlight

- Pendant Light Fitting
- & External LED Up / Down Wall Light
- Single Gang Switch
- O Double Gang Switch
- Two-way Switch
- TV Recessed double power point , Cat6a from router, Sky Digital television outlet.

## Electrical Notes:

- Red symbols indicate existing electrical fixtures to remain.
   Security system to be provided by 'Securetech'. Electrician to
- liase with Securetech to establish installation requirements.
- TV to be recessed into wall framing above gas fire. Existing television external dimensions 1,450x825mm approx.
- Allow to provide power to LED backlit mirrors above vanity units in bathroom and ensuite



# Drawing Title:

Floor Finishes Plan / Electrical Plan All Plan Design, and Associated Documents, is the © Copyright and Intellectual Property of Kingsbeer Architecture Ltd and cannot be reproduced in whole or in part

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	Store / Pump
0	Garage

в XD Α Interior Elevation Orientation



	Reference	Description		Description
	CPT ex	Existing 'Rhino Rhode Island Charismatic' carpet to remain		Inbuilt reading seat with custom made squab and storage under
0	CPT-01	New 'Rhino Rhode Island Charismatic' carpet	0	Inhuilt hook shelving full beight and over reading seat
)		11mm 'Dreamwalk Royal' carpet underlay	ĹŇ	'Escea DX1000' Indoor Gas Fire
	TFL-01	TFL-01 'Forte Moda Altro Verona' timber flooring planks	,Z	Existing 'Panasonic' television recessed into framing
	FTIL-01	Tilespace Icone Blanc Matt' 600x600 (ITA279)		50x25mm 'Hermpac' American White Oak interior screening feature wall
	CON-01	SikaGlaze PU' matt finish sealer to concrete slab		Note: Contractor to allow to install all appliances
				Kitchen fitout by 'Cherrywood Joinery'
	SKT Ex	Exising timber skirting to remain		'Fisher and Paykel' Extraction Fan- to be confirmed by client
0	ARC Ex	Exising timber architraves to remain	Jen	Reuse existing dishwasher- to be confirmed by client
7	CRN Ex	Exising timber cornices to remain	tcl	'Fisher and Pavkel Minimal Range' oven- to be confirmed by client
2	SKT-01	Timber skirting- to match existing Master Bedroom, paint finish	<u>ک</u>	Gas stovetop- to be confirmed by client
2	ARC-01	Timber architrave- to match existing Master Bedroom, paint finish		'Fisher and Paykel' Refrigerator to be confirmed by client
<u>}</u>	CRN-01	Timber cornice- to match existing Master Bedroom, paint finish		Note: Contractor to allow to install all appliances
				'Plumbline Oli 316' Shower Column Brushed S/S x2
	PNT Ex	Existing painted walls, mouldings, window frames, ceiling to remain		'Plumbline Grab 90' Vertical Heated Towel Rail Brushed S/S x4
Ļ	PNT-01	'Dulux Okarito / Cardrona' paint to walls, ceiling		'Plumbline Oli 316' Toilet Roll Holder Brushed S/S x2
PNT-01 PNT-02 PNT-03	PNT-02	'Resene Alabaster' paint to timber mouldings / window frames		'Plumbline Falper' 7.0 1200 2-drawer Vanity White (bathroom)
	PNT-03	'Resene Black White' paint to walls		'Plumbline Falper' 7.0 800 1-drawer Vanity White (ensuite)
	SLR-01	'Resene Aquaclear' waterborne urethane interior varnish	OM (B)	'Plumbline Oli 316' Basin Mixer (OL003) Brushed S/S x2
			<i>xít</i>	'Plumbline Oli 316' Pop up Basin Waste 32mm Brushed S/S x3
0	FTIL-01	'Tilespace Icone Blanc Matt' 600x600 (ITA279)	nsi	'Plumbline Progetto' Evo 70 Ceramic White Toilet Suite x2
222	WTIL-01	'Tilespace Magma White Matt' 132x132 (EQU075)	A a	'Plumbline Progetto' Pure 1670 Inset Bath
-		Wall Tiles to bathroom / ensuite / laundry and kitchen splashback		'Plumbline Oli 316' Wall Mount Bath Mixer (OL005) Brushed S/S
				'Plumbline Progetto' Galaxy 1000 Round LED Backlit Mirror (bathroom)
	SHU ex	Existing 'Santa Fe' shutters to remain (Teal Tree Interiors)		'Plumbline Progetto' Galaxy 600 Round LED Backlit Mirror (ensuite)
S	SHU-01	New 'Santa Fe' shutters to match existing (Teal Tree Interiors)		Allow to install ceiling mounted shower curtain rail and curtain over bath (bathr
ÍN.	CUR ex	Existing curtains to remain		Note: Contractor to allow to install all appliances
Ver	CUR-01	New curtains- to be confirmed by client		Laundry fitout by 'Cherrywood Joinery'
Co			20	'Fisher and Paykel' Drier wall mounted. To be confirmed by client
			rdr	'Fisher and Paykel' front loading Washing Machine. To be confirmed by client
			77	'Ikon' 50x40 Arctic White S/S Laundry Sink (IK730003)
			La	'Plumbline Oli 316' Mixer Round Spout with Pull Out Spray (OL046) Brushed S
				'Plumbline Oli 316' Pop up Basin Waste 32mm Brushed S/S
				Note: Contractor to allow to install all appliances
			S	Wardrobe fitout by 'Cherrywood Joinery'
			-4-	
			22 7	
				Note: Contractor to allow to install all appliances

	Schedule of Interior Finishes									
STARP	FLOOR	Spirting	Architrave			Walls		Ceilina	Window	
Эрисс	1 6001	Skilling	- (TONICI NVC	COTVICC	А	В	С	D	October	Coveríngs
Lívíng	TFL-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-01	PNT-01	PNT-01	PNT-01	PNT-01	SHU ex
Díníng	TFL-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-01	PNT-01	PNT-01	PNT-01	PNT-01	CUR-01
Kítchen	TFL-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-01	WTIL-01	PNT-01	PNT-01	PNT-01	-
Hall	TFL-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-01	PNT-01	PNT-01	PNT-01	PNT-01	-
MasterBedroom	CPT ex	SKT Ex / PNT Ex	ARC Ex / PNT Ex	CRN Ex / PNT Ex	PNT Ex	PNT Ex	PNT Ex	PNT Ex	PNT Ex	SHU 01
Bedroom 2	CPT-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-03	PNT-03	PNT-03	PNT-03	PNT-02	CUR-01
Robe 1	CPT-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-03	PNT-03	PNT-03	PNT-03	PNT-02	-
Robe 2	CPT-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-03	PNT-03	PNT-03	PNT-03	PNT-02	-
Ensuíte	FTIL-01	-	-	-	WTIL-01	WTIL-01	WTIL-01	WTIL-01	PNT-02	SHU-01
Laundry	TFL-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-01	PNT-01	PNT-01	PNT-01	PNT-01	-
Bedroom 3	CPT-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-03	PNT-03	PNT-03	PNT-03	PNT-02	CUR-01
Robe 3	CPT-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-03	PNT-03	PNT-03	PNT-03	PNT-02	-
Bedroom 4	CPT-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-03	PNT-03	PNT-03	PNT-03	PNT-02	SHU-01
Robe 4	CPT-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-03	PNT-03	PNT-03	PNT-03	PNT-02	-
Bath	FTIL-01	-	-	-	WTIL-01	WTIL-01	WTIL-01	WTIL-01	PNT-02	SHU-01
Garage	CON-01	-	-	-	SLR-01	SLR-01	SLR-01	SLR-01	SLR-01	-
Store / Pump	CON-01	-	-	-	SLR-01	SLR-01	SLR-01	SLR-01	SLR-01	-

# SITE DOCUMENT Page 382 of 396

Proposed Additions and Alterations For: AT: Sam and Victoria Wanklyn

6 Tukura Road Inner Kaiti

## Project Status: Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

## Site Notes:

Valuation Legal: LOT 3 DP 1679 Valuation Address: 6 Tukura Road Inner Kaiti

*Wind Zone:* High as per Branz Maps *Exposure Zone:* Zone C *Earthquake Zone:* Zone 3

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

Construction Detail Notes:

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- & Working Drawings. They are to be used in conjunction with NZS Standards 3604:2011 methods of construction.
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# Drawing Title:

Schedule of Interior Finishes

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Living Room 3D Document Scale 1:50



6 Tukura Road Inner Kaiti

Proposed Additions and Alterations For: AT:

Sam and Victoria Wanklyn

Project Status: Building Consent

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Site Notes:

Valuation Legal: LOT 3 DP 1679 Valuation Address: 6 Tukura Road Inner Kaiti

*Wind Zone:* High as per Branz Maps *Exposure Zone:* Zone C *Earthquake Zone:* Zone 3

Note Exposure Zone C:

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Laundry 3D Document Scale 1:50



Outdoor Living 3D Document Scale 1:50

# SITE DOCUMENT Page 384 of 396

Proposed Additions and Alterations For: AT:

Sam and Victoria Wanklyn

6 Tukura Road Inner Kaiti

# Project Status: Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

## Site Notes:

*Valuation Legal:* LOT 3 DP 1679 *Valuation Address:* 6 Tukura Road Inner Kaiti

*Wind Zone:* High as per Branz Maps *Exposure Zone:* Zone C *Earthquake Zone:* Zone 3

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

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'Hermpac' Blue Label CCA treated red cedar shingle cladding to gable end, to match existing.

- 7.5mm 'James Hardie HardieGroove' ceiling linings to outdoor living area.

- 'Escea EF5000' Outdoor Gas Fire installed as per ufacturer's specific

'Metalcraft Kahu' Colorsteel fence 1,800mm high.

20 Series masonry block chimney.

- 90x19mm 'Kwila' decking.

'Unex GlasStrut' glass pool fencing minimum 1,200mm high above PGL.

# Drawing Title:

3D Documents

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Cross Section A-A Scale 1:50



# SITE DOCUMENT Page 385 of 396

Proposed Additions and Alterations For: AT:

Sam and Victoria Wanklyn

6 Tukura Road Inner Kaiti

# Project Status: Building Consent

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## Site Notes:

Valuation Legal: LOT 3 DP 1679 Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps

*Exposure Zone:* Zone C *Earthquake Zone:* Zone 3

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped

Cross Section Notes:

Galvanised.

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# Cross Section B-B Scale 1:50

## Dwelling Cross Section Key:

1

(3)

(4)

(5)

## New Roof Cladding: 'Colorsteel Endura' 0.4bmt corrugated cladding to match existing 'ThermaKraft CoverTek 407' roofing underlay 'Continuous Quartz' 135mm 0.55bmt quarter round gutter Pre-primed timber fascia

Timber tongue and groove soffits to match existing

2 New Roof Framing: 90x45mm H1.2 purlins on flat (outriggers) at 750 max centres 90x45 SG8 H1.2 Trusses at 900 centres 140x45 SG8 H1.2 Stringers for truss fixing 150x45 HySPAN Rafters at 600 centres



New Walls / Building Envelope: Horizontal bevelback and rusticated timber cladding to match existing Wall cladding direct fixed to wall framing 'ThermaKraft CoverTek 407' wall underlay Double glazed timber joinery to match existing

90mm 'Mammoth' R2.2 wall insulation sections to new areas **New Foundations:** 19mm 'CHH Ecoply' plywood flooring (H3.2 to wet areas) with selected finish 140x45 H3.2 floor joists at 400mm centres 2/140x45 H3.2 bearers, 125x125 H5 piles / anchor piles

 25mm H3.2 baseboards with 20mm gap between 90mm 'Mammoth' R1.9 Underfloor Insulation Sections to new areas
 New Covered Outdoor Area Roof Cladding: 'Colorsteel Endure', 0 4bmt corrupted cladding to match existing

<sup>'</sup>Colorsteel Endura' 0.4bmt corrugated cladding to match existing 'ThermaKraft CoverTek 407' roofing underlay 'Continuous Quartz' 135mm 0.55bmt quarter round gutter Pre-primed timber fascia Timber tongue and groove soffits to match existing

7 New Covered Outdoor Area Roof Framing: 90x45mm H1.2 purlins on flat (outriggers) at 750 max centres 90x45 SG8 H1.2 Trusses at 900 centres Prolam PLP12H5-250PP appearance grade 220x220mm posts Prolam PLVL12H3-300100PP appearance grade 290x88mm beams

8 New Covered Outdoor Area Ceiling: 7.5mm 'James Hardie HardieGroove' ceiling linings 70x35mm H1.2 timber ceiling battens at 450 centres

9 New Covered Outdoor Area Fireplace: 'Escea EF5000' outdoor gas fireplace 20 Series masonry block chimney- refer separate Construction Details

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Drawing Title:

Dwelling Cross Sections

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Cross Section D-D Scale 1:50



# SITE DOCUMENT Page 386 of 396

Proposed Additions and Alterations For: AT:

Sam and Victoria Wanklyn

6 Tukura Road Inner Kaiti

# Project Status: Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

## Site Notes:

*Valuation Legal:* LOT 3 DP 1679 *Valuation Address:* 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps Exposure Zone: Zone C Earthquake Zone: Zone 3

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

Cross Section Notes:

- 1. All Work shall comply with NZS 3604:2011 2. All Work shall comply with New Zealand Building
- Code 3. Builder to notify council inspector when stages of work are reached.
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- 20 Series masonry block chimney- refer separate Construction Details

## Note: Piles within masonry block footing.

125x125 H5 Piles at a maximum 1,650mm centres. Piles within footing to be set 150mm deep into footing when poured. Ensure 75mm minimum cover between timber and reinforcing.



200mm 'Mammoth' R3.2 Ceiling Insulation Blanket to new flat ceilings

# (5)

90mm 'Mammoth' R1.9 Underfloor Insulation Sections to new areas

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Cross Section F-F Scale 1:50



Proposed Additions and Alterations For: AT:

Sam and Victoria Wanklyn

Garage Cross Section Key:

New Garage Roof Cladding:

Pre-primed timber fascia

'Colorsteel Endura' 0.4bmt corrugated cladding to match existing

'ThermaKraft CoverTek 407' roofing underlay 'Continuous Quartz' 135mm 0.55bmt quarter round gutter

New Garage Roof Framing: 90x45mm H1.2 purlins on flat (outriggers) at 750 max centres 90x45 SG8 H1.2 Trusses at 900 centres

70x35mm H1.2 timber ceiling battens at 450mm centres

'ThermaKraft CoverTek 407' wall underlay

100mm thick concrete slab-on-grade floor

20 Series masonry block foundation

New Garage Foundations:

Double glazed timber joinery to match existing

New Garage Ceilings: 12mm 'CHH Ecoply' Structural Ceiling Diaphragm to main Garage 12mm 'CHH Ecoply' ceiling linings to Garage Store / Pump Room

New Garage Walls / Building Envelope: Horizontal bevelback and rusticated timber cladding to match existing Wall cladding direct fixed to wall framing

Timber tongue and groove soffits to match existing

(1

(2)

(3)

(4)

5

6 Tukura Road Inner Kaiti

# Project Status: Building Consent

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All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

## Site Notes:

Valuation Legal: LOT 3 DP 1679 Valuation Address: 6 Tukura Road Inner Kaiti

*Wind Zone:* High as per Branz Maps *Exposure Zone:* Zone C *Earthquake Zone:* Zone 3

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

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# Drawing Title:

Garage Cross Sections

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# SITE DOCUMENT Page 388 of 396

Proposed Additions and Alterations For: AT:

Sam and Victoria Wanklyn

6 Tukura Road Inner Kaiti

# Project Status: Building Consent

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Fireplace Construction Details

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Fireplace Construction Cross Section B-B Scale 1:10

# SITE DOCUMENT Page 389 of 396

Proposed Additions and Alterations For: AT:

Sam and Victoria Wanklyn

6 Tukura Road Inner Kaiti

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Fireplace Construction Details

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Detail 01 Scale 1:10

Detail 02 Scale 1:10





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6 Tukura Road Inner Kaiti

# Project Status: Building Consent

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## Site Notes:

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*Wind Zone:* High as per Branz Maps *Exposure Zone:* Zone C *Earthquake Zone:* Zone 3

Note Exposure Zone C:

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# Detail 03 Scale 1:10

# Drawing Title:

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Proposed Additions and Alterations For: AT: 6 Tukura Road Inner Kaiti Sam and Victoria Wanklyn



Detail 08 Scale 1:10

## Project Status: Building Consent

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## Site Notes:

Valuation Legal: LOT 3 DP 1679 Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps Exposure Zone: Zone C Earthquake Zone: Zone 3

Note Exposure Zone C:

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- completion and standard of workmanship. This plan is designed with the intent to supply the required information & detail for Building Consent & Working Drawings. They are to be used in conjunction with NZS Standards 3604:2011 methods of construction.
- 7. Any errors in measurements or omission of information found in this plan is to be resolved before the on site work is started, the designer accepts no responsibility there after and will not accept any cost incurred for such errors or
- 8. For all products used in this plan Manufacturers Specifications and installation sheet should be obtained to produce quality results through correct knowledge and application
- 9. O.S.H. regulations must be implemented on site to minimize the risk of serious harm in the work place.

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Variation Nun	nber: 01	Sheet #:	19 of 24

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# SITE DOCUMENT Page 392 of 396

Proposed Additions and Alterations For: AT: Sam and Victoria Wanklyn



## Project Status: Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

## Site Notes:

Valuation Legal: LOT 3 DP 1679 Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps Exposure Zone: Zone C Earthquake Zone: Zone 3

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

Construction Detail Notes:

- 1. All Work shall comply with NZS 3604:2011 2. All Work shall comply with New Zealand Building
- 3. Builder to notify council inspector when stages of work are reached.
- 4. Check detail working plans for accurate dimensions.
- "If you do not know ASK" 5. All subcontractors or their management are required to have their work inspected and checked by the building contractor for the practical
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Detail 14 Scale 1:10

## Pre-primed timber bargeboard, over 90x45 SG8 H1.2 fly rafter Barge flashing as per E2/AS1.

# Drawing Title:

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Ordianary Pile to Bearer Fixing Detail Scale 1:10



Anchor Pile to Bearer Fixing Detail Scale 1:10



Proposed Additions and Alterations For: AT: Sam and Victoria Wanklyn

6 Tukura Road Inner Kaiti

Project Status: Building Consent Note: DO NOT scale off drawings, if in doubt ask the

All construction to comply with NZS3604:2011, local

authority by-laws and NZ Building Code.

designer or contractor.

9. O.S.H. regulations must be implemented on site to minimize the risk of serious harm in the work place.

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All construction to be in accordance with N.Z.B.C handbook, NZS 3604: 2011 and local Territorial Authority requirements. All measurements to be checked and confirmed on site. Plans to be read in conjunction with Specifications, Engineering, other plans as required. Do not scale from plans. Contact designer on 02040042929 for any queries or before any alterations to original plans commence on site.



Shower Framing Detail Scale 1:10



# Verandah Beam Saddle Flashing Detail Scale 1:5

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Valley Gutter Detail- Profiled Metal Roofing Scale 1:5

Timber Fence (South Boundary) Elevation Scale 1:20





# SITE DOCUMENT Page 394 of 396

Proposed Additions and Alterations For: AT: Sam and Victoria Wanklyn 6 Tukura Road Inner Kaiti

## Project Status: Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

## Site Notes:

*Valuation Legal:* LOT 3 DP 1679 *Valuation Address:* 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps Exposure Zone: Zone C Earthquake Zone: Zone 3

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

Construction Detail Notes:

- 1. All Work shall comply with NZS 3604:2011 2. All Work shall comply with New Zealand Building
- Code 3. Builder to notify council inspector when stages of work are reached.
- 4. Check detail working plans for accurate dimensions. "If you do not know ASK"
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Timber Fence (South Boundary) Cross Section Scale 1:20



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*Location:* Dining *Profile:* Timber Doors to match existing *Glazing:* Double glazed clear *Lintel:* 200x90mm HySPAN Lumberlok Lintel Fixing 'Type G' Fixing: Note: Facings and sill to match existing



IDN01

Location: Bedroom 2 Robe *Type:* Hinged Door *Profile:* To match existing Finish: Paint finish 2 / 140x45 SG8 H1.2 Lintel:



Location: Bedroom 3 Robe Type:Closet Sliding DoorProfile:To match existingFinish:Paint finish 2 / 240x45 SG8 H1.2 Lintel:



<del>/ 810</del>

770

IDN02

Lintel:

Location: Ensuite

Type:Hinged DoorProfile:To match existingFinish:Paint finish

2 / 140x45 SG8 H1.2

DN02 Location: Bedroom 3 Profile: Timber Doors to match existing Glazing: Lintel: Double glazed clear 2 / 190x45mm SG8 Lumberlok Lintel Fixing 'Type F' Fixing: Note: Facings and sill to match existing



IDN03 Location: Bedroom 2 Robe Type: Profile: Hinged Door To match existing Finish: Lintel:

Paint finish 2 / 140x45 SG8 H1.2





Location: Garage Store / Pump Room Profile: Timber Door to match existing *Glazing:* Double glazed clear *Lintel:* 2 / 140x45mm SG8 Lumberlok Lintel Fixing 'Type F' Fixing: Note: Facings and sill to match existing



IDN04 Location: Bedroom 2 Type: Profile:

Cavity Sliding Door To match existing Paint finish 2 / 190x45 SG8 H1.2



Lintel: 2 / 140x45 SG8 H1.2

\* 850





\* 850

Location: Bedroom 4 Type:Hinged DoorProfile:To match existingFinish:Paint finish 2 / 140x45 SG8 H1.2 Lintel:



1,360

Type:Closet Sliding DoorProfile:To match existingFinish:Paint finish Lintel: 2 / 190x45 SG8 H1.2





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6 Tukura Road Inner Kaiti

Proposed Additions and Alterations For: AT:

Sam and Victoria Wanklyn

## Project Status: Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

## Site Notes:

Window / Door Key:

*Valuation Legal:* LOT 3 DP 1679 *Valuation Address:* 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps Exposure Zone: Zone C Earthquake Zone: Zone 3

WE01	Existing Window
DE01	Existing External Door
WN01	New Window
DN01	New External Door
IDN01	New Internal Door
S	Safety Glass

Window / Door Schedule Notes:

External windows and doors to be timber as noted, made by an approved fabricator.

Contractor to allow for hardware to all external windows and doors. Allow to provide internal door hardware, door stops and locks to Ensuite. *Exact hardware to be confirmed by* client prior to ordering joinery.

All sizes, sashes and openings to be confirmed by owner. Windows to be measured and confirmed on site before ordering. All windows / external doors to be double glazed. Allow to supply and install all flashings for external windows and doors, recommended by selected manufacturer.

Confirm thickness of walls and linings as jamb width may vary. Exterior joinery is shown as viewed from the outside. Refer to floor plans for door swing and location.

Safety glass to comply with NZS4223.3:2016 is to be used in all rooms containing a bath or shower or where the sill height is less than 800mm above FFL. Note all safety glass panels must carry the appropriate coding permanently etched into the glass surface. Window Joinery to comply with NZS4211 Specification for performance of windows. Window panels marked 'S' to be constructed using safety glass to NZS4223.3:2016. Window manufacturer to check and confirm the placement of ALL safety glass panels as compliant with ALL relevant standards, and consult with the designer if a discrepancy is encountered.



DN04



Lumberlok Lintel Fixing 'Type F' Facings and sill to match existing



Location: Garage
Profile: Sectional Garage Door Glazing: Lintel: Nil 240x90mm HySPAN Lumberlok Lintel Fixing 'Type H' Fixing: Facings and sill to match existing

Note:



IDN05

Location: Laundry Type:Bi-folding DoorProfile:To match existing Finish: Paint finish 2 / 190x45 SG8 H1.2 Lintel:



Location: Garage Store Type:Hinged DoorProfile:To match existingFinish:Paint finish *Lintel:* 2 / 140x45 SG8 H1.2



Location: Bedroom 3 Type: Hinged Door Profile: To match existing Finish: Paint finish 2 / 190x45 SG8 H1.2 Lintel:

# Drawing Title:

Door Schedule

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local Territorial Authority requirements. All measurements to be checked and confirmed on site. Plans to be read in conjunction with Specifications, Engineering, other plans as required. Do not scale from plans. Contact designer on 02040042929 for any queries or before any alterations to original plans commence on site.

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Window Schedule Scale 1:50



# SITE DOCUMENT Page 396 of 396

Proposed Additions and Alterations For: AT:

Sam and Victoria Wanklyn

6 Tukura Road Inner Kaiti

## Project Status: Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

## Site Notes:

Valuation Legal: LOT 3 DP 1679 Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps *Exposure Zone:* Zone C *Earthquake Zone:* Zone 3

Window / Door Key:

WE01	Existing Window
WN01	Existing External Door New Window
DN01	New External Door
IDN01	New Internal Door
S	Safety Glass

Window / Door Schedule Notes:

External windows and doors to be timber as noted, made by an approved fabricator.

Contractor to allow for hardware to all external windows and doors. Allow to provide internal door hardware, door stops and locks to Ensuite. *Exact hardware to be confirmed by* client prior to ordering joinery.

All sizes, sashes and openings to be confirmed by owner. Windows to be measured and confirmed on site before ordering. All windows / external doors to be double glazed. Allow to supply and install all flashings for external windows and doors, recommended by selected manufacturer.

Confirm thickness of walls and linings as jamb width may vary. Exterior joinery is shown as viewed from the outside. Refer to floor plans for door swing and location.

Safety glass to comply with NZS4223.3:2016 is to be used in all rooms containing a bath or shower or where the sill height is less than 800mm above FFL. Note all safety glass panels must carry the appropriate coding permanently etched into the glass surface. Window Joinery to comply with NZS4211 Specification for performance of windows. Window panels marked 'S' to be constructed using safety glass to NZS4223.3:2016. Window manufacturer to check and confirm the placement of ALL safety glass panels as compliant with ALL relevant standards, and consult with the designer if a discrepancy is encountered.





Note:

Glazing: Lintel: Fixing: Note:

*Location:* Ensuite *Profile:* Timber Window to match existing Double glazed clear 2 / 140x45mm SG8 Lumberlok Lintel Fixing 'Type F' Facings and sill to match existing

Garage
Timber Window to match existing
Double glazed clear
2 / 190x45mm SG8
Lumberlok Lintel Fixing 'Type G'

Facings and sill to match existing



CPC80

concrete floor

# Drawing Title:

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