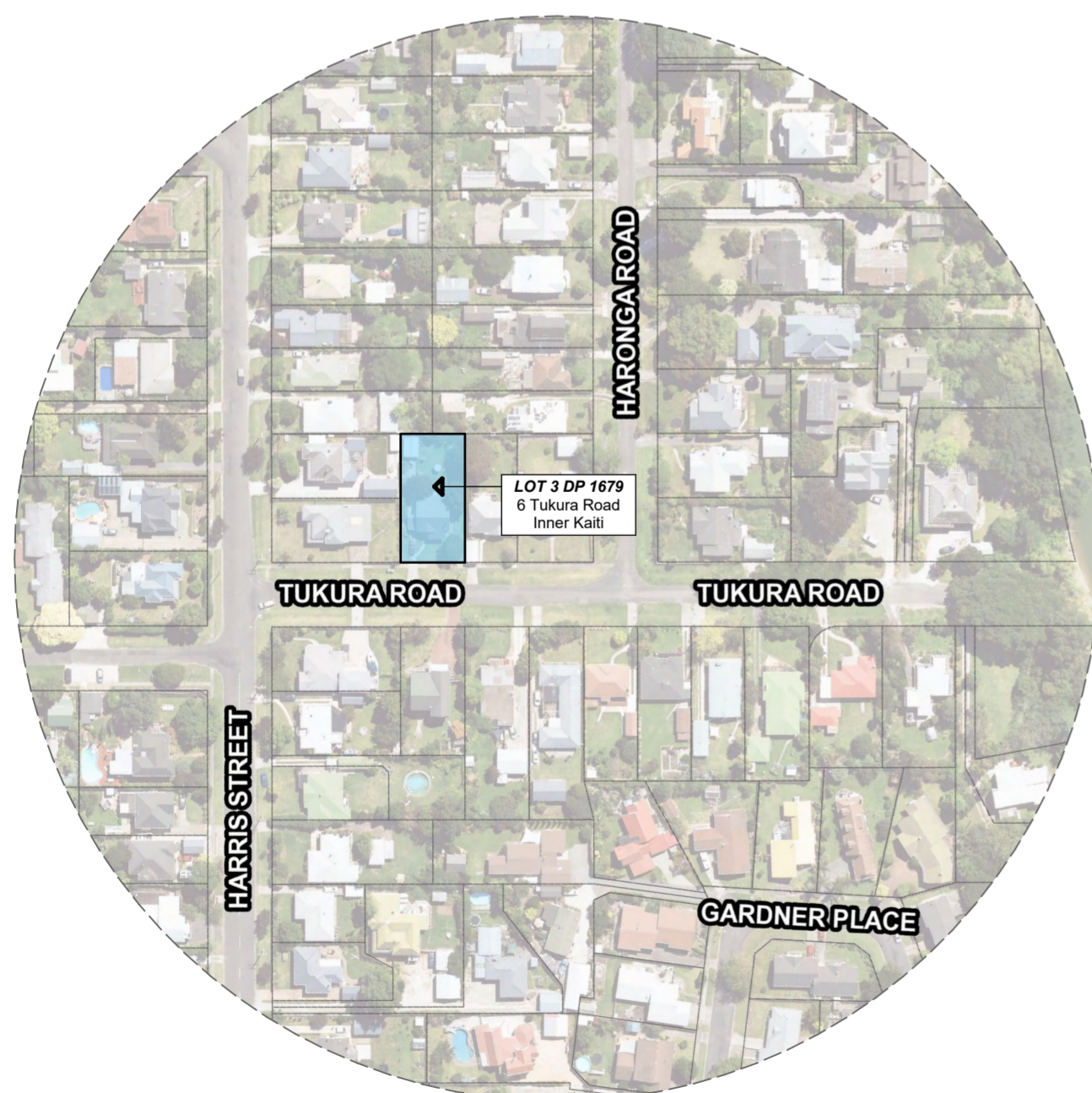
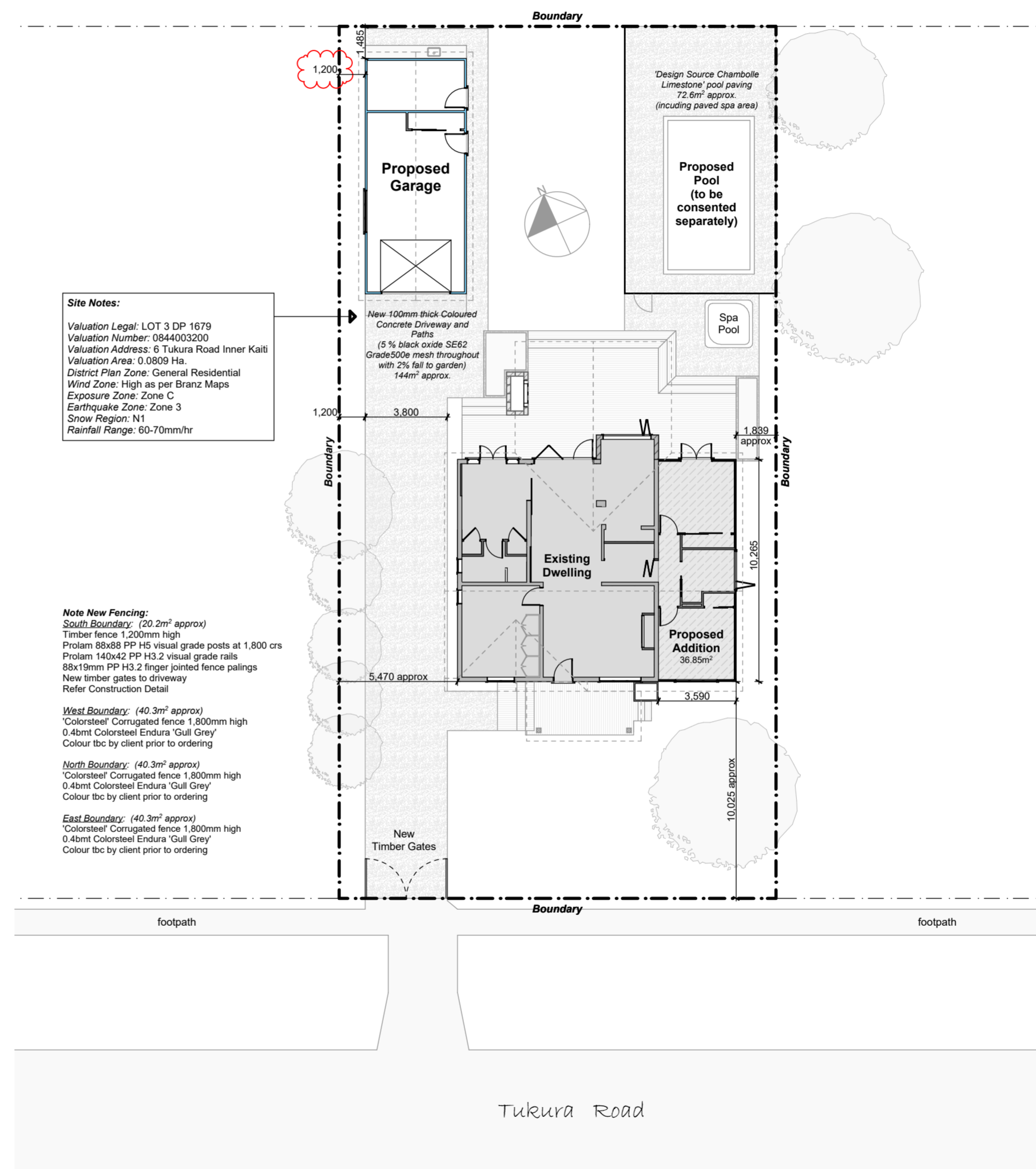


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Location Plan Scale 1:2,000



Proposed Site Plan Scale 1:200

Project Status: Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

Site Notes:

Valuation Legal: LOT 3 DP 1679  
Valuation Number: 0844003200  
Valuation Address: 6 Tukura Road Inner Kaiti  
Valuation Area: 0.0809 Ha.  
Existing Site Coverage: 136.2 / 809 = 16.8%  
Proposed Site Coverage: 225.5 / 809 = 27.9%  
District Plan Zone: General Residential  
Client: Sam and Victoria Wanklyn

Wind Zone: High as per Branz Maps  
Exposure Zone: Zone C  
Earthquake Zone: Zone 3  
Snow Region: N1

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in "Exposed" situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in "Sheltered" external situations are to be Hot-Dipped Galvanised.

Site Plan Notes:

All dimensions are to framing line, no allowance made for roof overhang or cladding projection.

FFL min 225mm above cleared ground level, and 150mm above permanent paving.

All boundary pegs for proposed construction site to be located and confirmed by owner / or surveyor on site, with contractor before any work takes place.

Check boundary restrictions / setbacks / recession planes comply with the latest council regulations before work commences.

The builder / contractor is responsible for setting out all building work on site, confirming accuracy in relation to setout on site plan, any queries contact designer.

Before any building work is done on site, all rubbish, noxious matter, and organic matter shall be removed from the area to be covered by dwelling.

Contractor to locate all ground levels and service connections on site prior to commencement of any earth works. All waste pipes, venting, and discharge to be confirmed by a New Zealand qualified plumber. Confirm positions of existing services, cabling etc. on site prior to excavation or digging of drains.

Builder to notify Council Inspector when stages of work are reached. All subcontractors or their management are required to have their work inspected and checked by the Building Contractor for the Practical Completion and the standard of workmanship.

Drawing Title:

Site Plan / Location Plan

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Design: S Kingsbeer Scale: Varies At A2

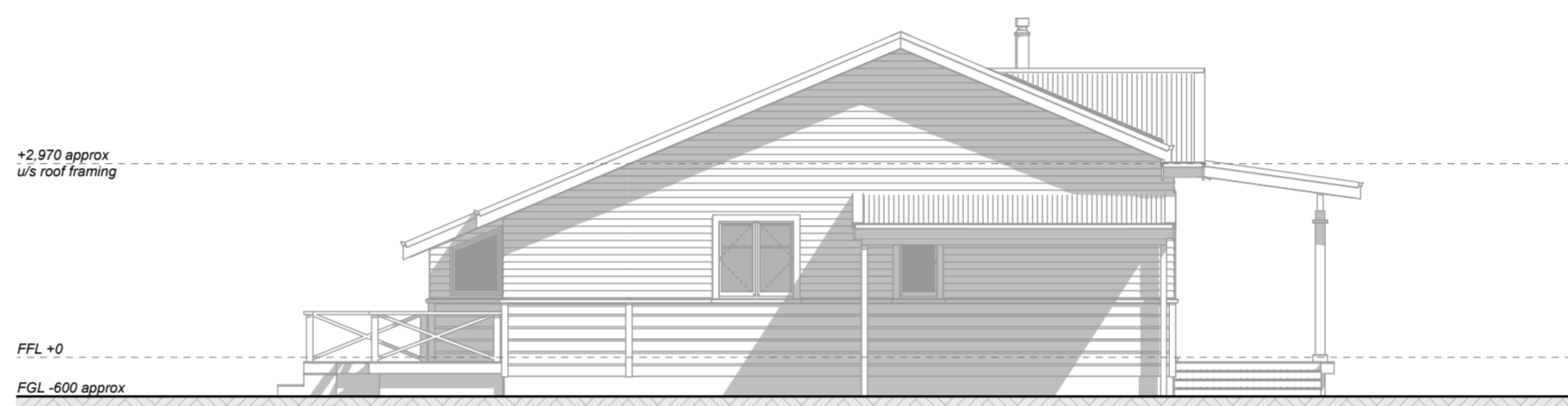
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Variation Number: 01 Sheet #: 01 of 24

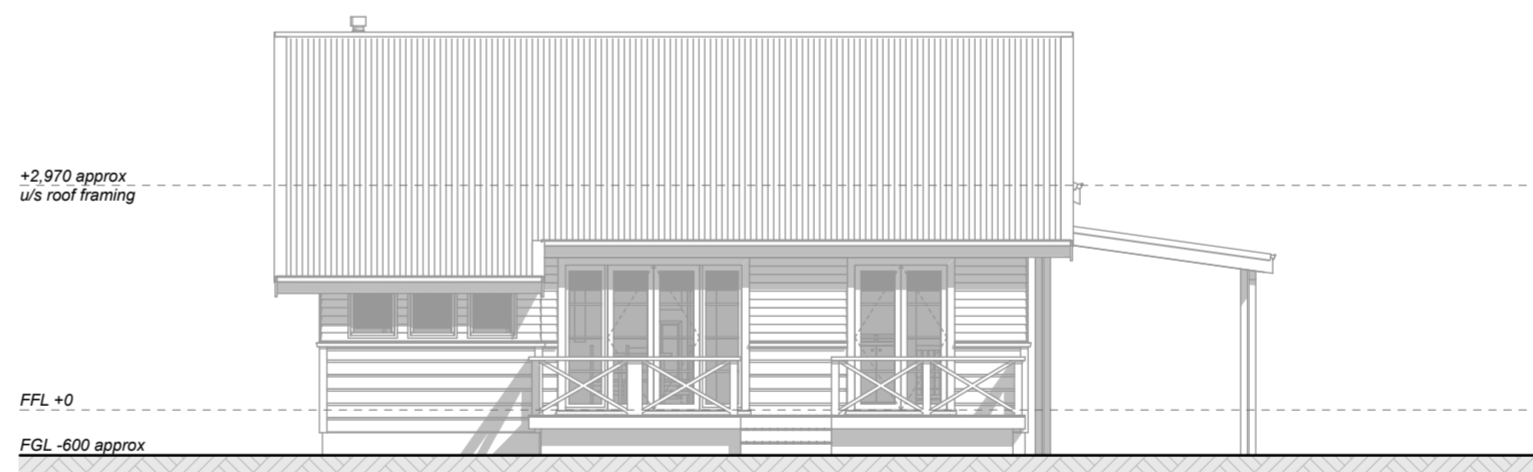
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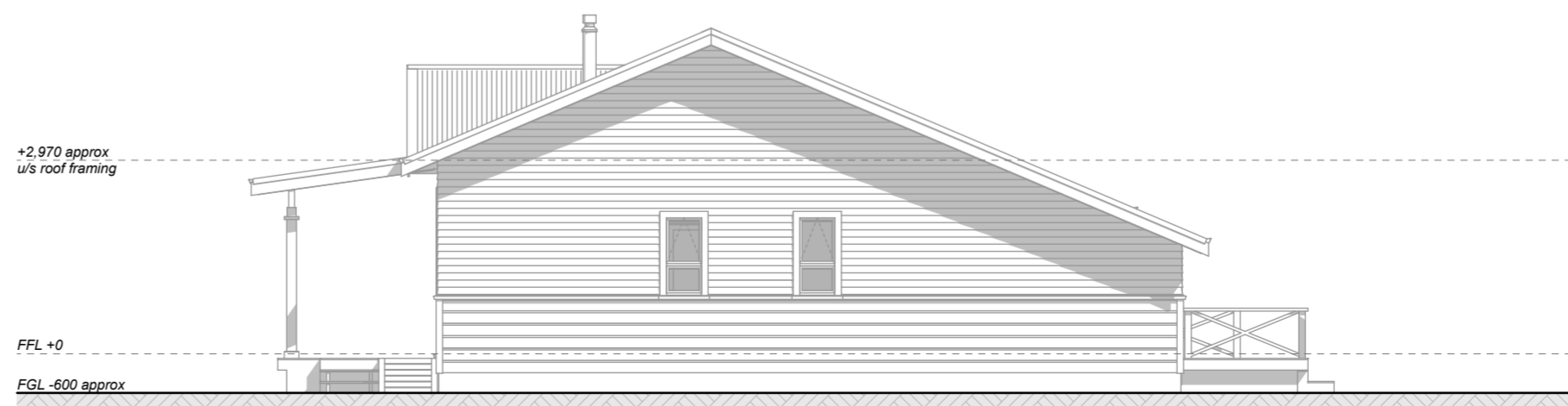
Existing Elevation One Scale 1:100



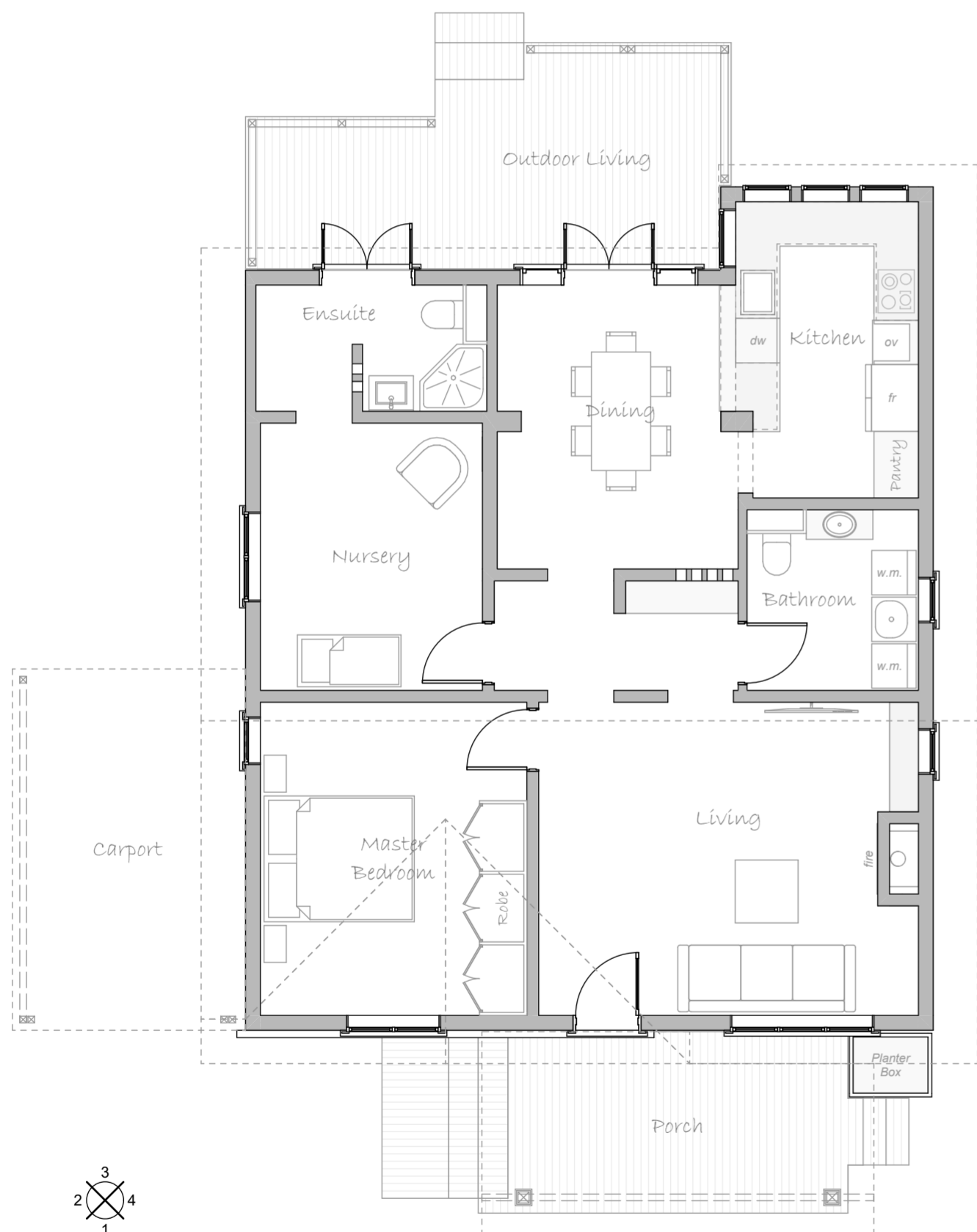
Existing Elevation Two Scale 1:100



Existing Elevation Three Scale 1:100



Existing Elevation Four Scale 1:100



Existing Floor Plan Scale 1:75

**Project Status:** Building Consent

**Note:** DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

**Site Notes:**

Valuation Legal: LOT 3 DP 1679  
Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps  
Exposure Zone: Zone C  
Earthquake Zone: Zone 3

**Note Exposure Zone C:**

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

**Timber Treatment:**

- Min H1.2 To all framing. All timber to be SG8.
- H3.2 Cavity Battens.
- H1.2 Bottom Plate.
- H1.2 Sill Trimmers.
- H3.2 All 'Wet Areas' timber, members surrounding and structural members supporting.
- H3.2 All exposed timber, and supporting members.
- H4 Timber where it is partially covered by earth and exposed to weather.
- H5 Treated timber in ground.

Members noted as 70mm or 90mm thick may be substituted with built-up members sized in accordance with NZS 3604:2011 8.5.1.2 and nailed together in accordance with NZS 3604:2011 2.4.4.7.

**General Notes Floor Plan:**

All electrical fittings / location to be confirmed and organised with owner prior to wiring out. Electrical installations to comply with NZECP 51. Registered electrician to provide energy works certificate at completion of electrical work to local Territorial Authority.

**Elevation Key:**

- CGL Cleared Ground Level
- FFL Finished Floor level
- FGL Finished Ground Level

**Elevation Notes:**

The elevations are a 2 dimensional representation of how the building will look. Construction drawings take precedence if any discrepancies arise. Ground levels are shown approximate and must not be taken as the finished groundline.

**Drawing Title:**

Existing Floor Plan / Existing Elevations

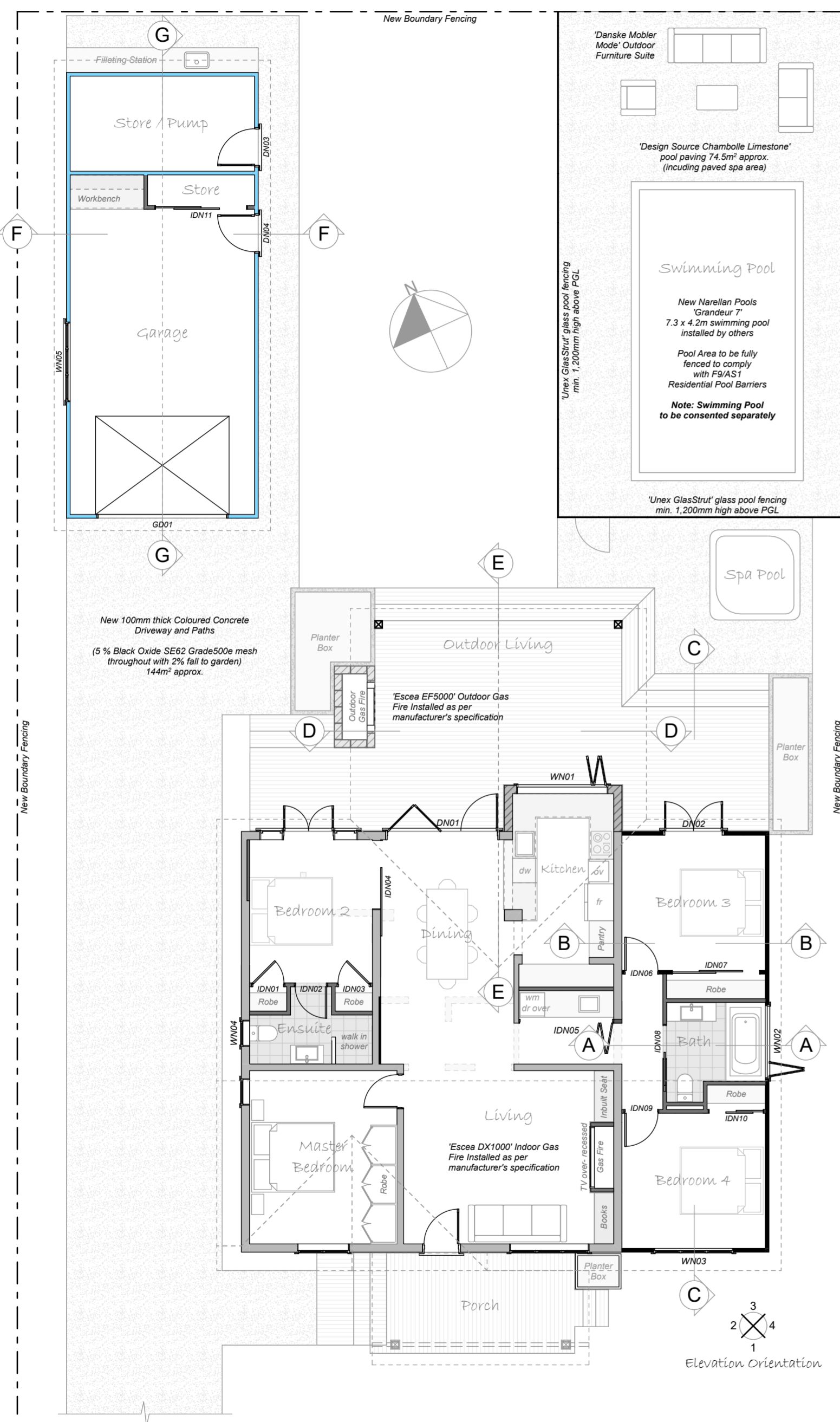
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Design: S Kingsbeer Scale: Varies At A2

Checked: S Kingsbeer Date Issued: 12/04/2022

Variation Number: 01 Sheet #: 02 of 24

All construction to be in accordance with N.Z.B.C handbook, NZS 3604: 2011 and local Territorial Authority requirements. All measurements to be checked and confirmed on site. Plans to be read in conjunction with Specifications, Engineering, other plans as required. Do not scale from plans. Contact designer on 02040042929 for any queries or before any alterations to original plans commence on site.



Proposed Floor Plan Scale 1:100



Proposed 3D Perspectives NTS

**Project Status: Building Consent**

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

**Site Notes:**

Valuation Legal: LOT 3 DP 1679  
Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps  
Exposure Zone: Zone C  
Earthquake Zone: Zone 3

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

**Wall Framing Key:**

- Existing timber framed walls
- Built-up stud wall to meet new ceiling height Pack to suit existing wall thickness
- New 90x45mm SG8 Load Bearing Walls  
Studs @ 300mm centres  
Dwangs @ 800mm maximum centres  
Stud height 3,000mm maximum  
Sized as per NZS3604:2011 Table 8.2
- New 90x45mm SG8 Non Load Bearing Walls  
Studs @ 400mm centres  
Dwangs @ 800mm maximum centres  
Stud height 3,000mm maximum  
Sized as per NZS3604:2011 Table 8.4
- New 90x45mm SG8 Load Bearing Walls  
Studs @ 400mm centres  
Dwangs @ 800mm maximum centres  
Stud height 2,700mm maximum  
Sized as per NZS3604:2011 Table 8.2

Studs sized as per High wind zone, sizing taken from NZS 3604:2011 Table 8.2. Timber treatments as noted below.

**Timber Treatment:**

- Min H1.2 To all framing. All timber to be SG8.
- H3.2 Cavity Battens.
- H1.2 Bottom Plates.
- H1.2 Sill Trimmers.
- H3.2 All 'Wet Areas' timber, members surrounding and structural members supporting.
- H3.2 All exposed timber, and supporting members.
- H4 Timber where it is partially covered by earth and exposed to weather.
- H5 Treated timber in ground.

Members noted as 70mm or 90mm thick may be substituted with built-up members sized in accordance with NZS 3604:2011 8.5.1.2 and nailed together in accordance with NZS 3604:2011 2.4.4.7.

**Bottom Plate Fixings:**

Concrete Foundation: Framing timber shall be fixed using proprietary fixings as designed by manufacturer. Bolt fixings shall be located not less than 150mm from end of corners of foundation walls and not more than 600mm c/c along the wall. Each length of plate shall be fixed with no less than 2 fixings.

Timber Foundation: All bottom plate fixings as per NZS3604:2011 Table 8.19:

- (a) External walls and internal wall bracing elements:  
2 / 100 x 3.75mm hand driven nails at 600crs, or  
3 / 90 x 3.15mm power driven nails at 600 crs
- (b) Internal walls:  
1 / 100 x 3.75mm hand driven nail at 600crs, or  
1 / 90 x 3.15mm power driven nail at 600 crs

**General Notes Floor Plan:**

All electrical fittings / location to be confirmed and organised with owner prior to wiring out. Electrical installations to comply with NZECP 51. Registered electrician to provide energy works certificate at completion of electrical work to local Territorial Authority.

All flashings to be 'COLORSTEEL Endura 0.55 bmt minimum and must be grade G550 or G300 for curved and crimped flashings. Flashings to be selected for corrosion protection according to the intended exposure zone as shown in E2 / AS1 Table 20. All flashings to comply with E2 / AS1 table 7 metal flashings.

All doors and windows to have 60mm x 18mm architraves, Pine to wet areas / MDF to all other areas.

All glazing to showers to be 6mm toughened safety glazing to comply with NZS 4223:Part 3:1999.

SD-Approved smoke detectors required within 3.0m of any sleeping space-first alert or similar

**Drawing Title:**

Proposed Floor Plan / 3D Perspectives

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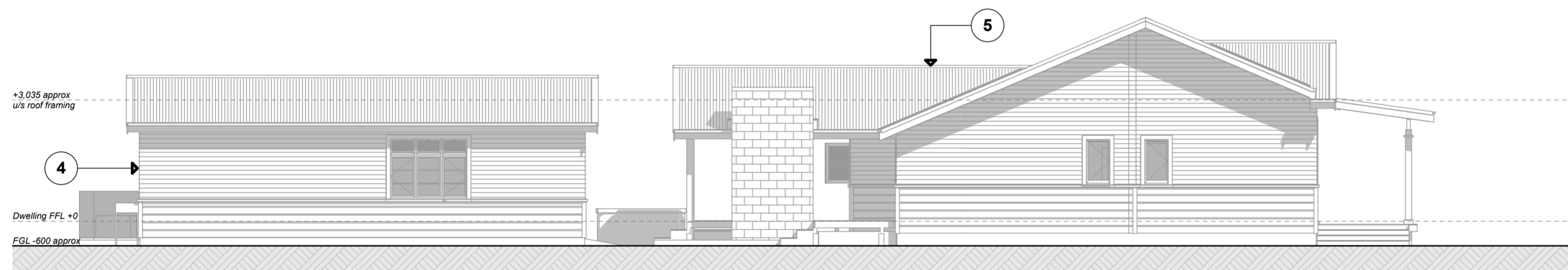
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Variation Number: 01 Sheet #: 03 of 24

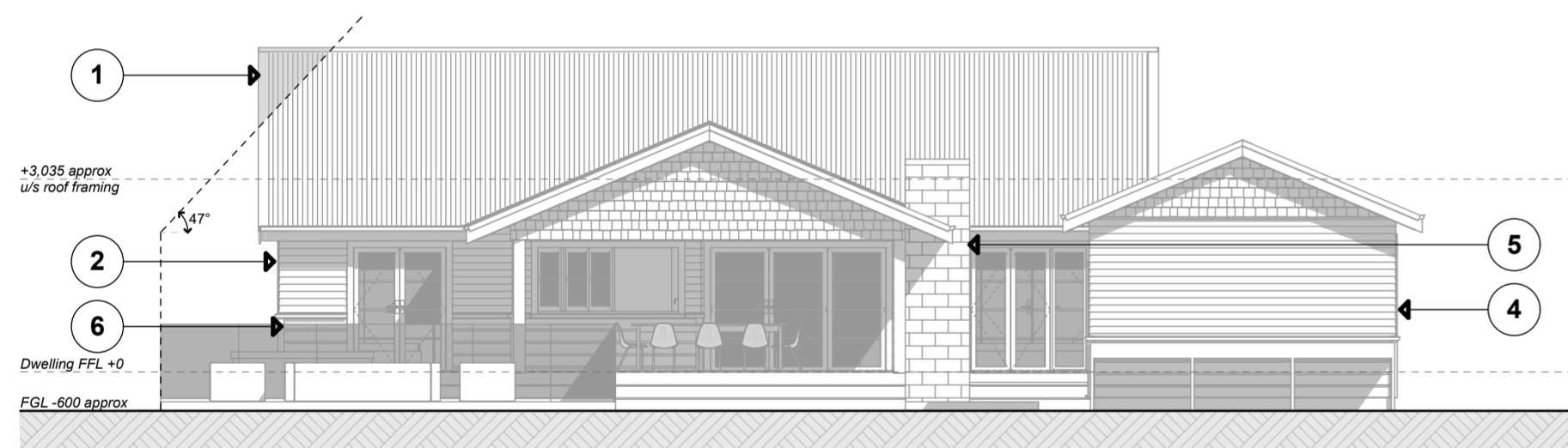
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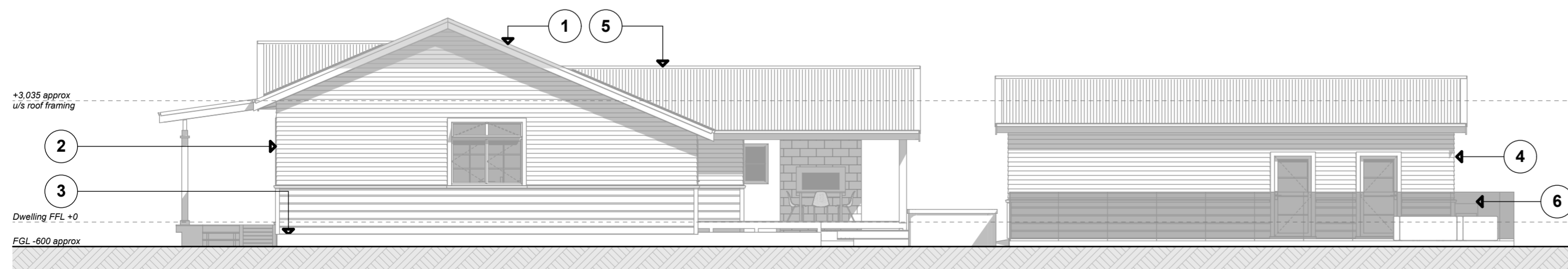
Proposed Elevation One Scale 1:100



Proposed Elevation Two Scale 1:100



Proposed Elevation Three Scale 1:100



Proposed Elevation Four Scale 1:100

**Elevation Key:**

- 1 New Roof Cladding:**  
 Colorsteel Endura 0.4bmt corrugated cladding to match existing  
 ThermoKraft CoverTek 407 roofing underlay  
 90x45mm H1.2 purlins on flat (outriggers) at 750 max centres  
 Continuous Quartz 135mm 0.55bmt quarter round gutter  
 Pre-primed timber fascia  
 Timber tongue and groove soffits to match existing  
 115mm Mammoth R2.9 Skillion Ceiling Insulation to new raked ceilings  
 200mm Mammoth R3.2 Ceiling Insulation Blanket to new flat ceilings
- 2 New Walls / Building Envelope:**  
 Horizontal bevelback and rusticated timber cladding to match existing  
 Wall cladding direct fixed to wall framing  
 ThermoKraft CoverTek 407 wall underlay  
 Double glazed timber joinery to match existing  
 90mm Mammoth R2.2 wall insulation sections to new areas
- 3 New Foundations:**  
 19mm CHH Ecoply plywood flooring (H3.2 to wet areas) with selected finish  
 140x45 H3.2 floor joists at 400mm centres  
 2/140x45 H3.2 bearers, 125x125 H5 piles / anchor piles  
 25mm H3.2 baseboards with 20mm gap between  
 90mm Mammoth R1.9 Underfloor Insulation Sections to new areas
- 4 New Garage:**  
 Colorsteel Endura 0.4bmt corrugated cladding to match existing  
 ThermoKraft CoverTek 407 roofing underlay  
 90x45mm H1.2 purlins on flat (outriggers) at 750 max centres  
 Continuous Quartz 135mm 0.55bmt quarter round gutter  
 Pre-primed timber fascia  
 Timber tongue and groove soffits to match existing  
 Horizontal bevelback and rusticated timber cladding to match existing  
 Wall cladding direct fixed to wall framing  
 ThermoKraft CoverTek 407 wall underlay  
 Double glazed timber joinery to match existing  
 100mm thick concrete slab-on-grade floor
- 5 New Covered Outdoor Area:**  
 Colorsteel Endura 0.4bmt corrugated cladding to match existing  
 ThermoKraft CoverTek 407 roofing underlay  
 90x45mm H1.2 purlins on flat (outriggers) at 750 max centres  
 Continuous Quartz 135mm 0.55bmt quarter round gutter  
 Pre-primed timber fascia  
 Timber tongue and groove soffits to match existing  
 20 Series masonry block chimney and outdoor fireplace
- 6 New Swimming Pool:**  
 New Narelian Pools Grandeur 7.3 x 4.2m swimming pool  
 Swimming pool installed by others, consented separately  
 Pool Area to be fully fenced to comply with F9/AS1 Residential Pool Barriers

**Project Status: Building Consent**

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

**Site Notes:**

Valuation Legal: LOT 3 DP 1679  
 Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps  
 Exposure Zone: Zone C  
 Earthquake Zone: Zone 3

**Note Exposure Zone C:**

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

**Elevation Key:**

FGL Finished Ground Level  
 FFL Finished Floor level  
 PGL Paved Ground Level

**Elevation Notes:**

The elevations are a 2 dimensional representation of how the building will look. Construction drawings take precedence if any discrepancies arise. Ground levels are shown approximate and must not be taken as the finished groundline.

**Compliance with E2 External moisture**

A risk score of 0-6 allows for timber weatherboards (all types) to be installed direct fixed to framing, as per E2/AS1. Products installed as per E2/AS1 and individual product installation guide. Individual product documents are attached in specifications to accompany construction drawings.

BUILDING ENVELOPE RISK MATRIX			
All Elevations			
Risk Score	Risk Severity	Risk Factor	
1	High risk	Wind zone (per NZS 3604)	
0	Low risk	Number of storeys	
0	Low	Roof/wall intersection design	
2	High risk	Eaves width	
1	Medium risk	Envelope complexity	
0	Low risk	Deck design	
4		Total Risk Score:	

**Drawing Title:**

**Proposed Elevations**

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Variation Number: 01 Sheet #: 04 of 24

All construction to be in accordance with N.Z.B.C handbook, NZS 3604: 2011 and local Territorial Authority requirements. All measurements to be checked and confirmed on site. Plans to be read in conjunction with Specifications, Engineering, other plans as required. Do not scale from plans. Contact designer on 02040042929 for any queries or before any alterations to original plans commence on site.

Project Status: Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

Site Notes:

Valuation Legal: LOT 3 DP 1679 Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps Exposure Zone: Zone C Earthquake Zone: Zone 3

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

Foundation Notes:

All dimensions, levels, falls, heights and structure etc. to be checked and confirmed on site prior to commencement of works. Contractor to confirm foundation soil bearing meets to requirements of NZS 3604 clause 3.1.2 following excavation of the site and prior to the placement of steel in the footings.

Granular Base:

Granular base for slab to conform with NZS 3604:2011, consolidate with a vibrating roller. Granular fill material shall be placed and compacted in layers of 150mm maximum over the area beneath the proposed ground slab so that the total granular base is not less than 75mm and not more than 600mm. Compact each layer until the material is tightly bound together and does not visibly deform under the weight of a pressed heel. Where the fill is in excess of 600mm, it will be necessary for a geotechnical engineer to investigate.

Damp Proof Membrane:

To comply with NZS 3604:2011 section 7.5.4. The DPM be comprised of the following:

- a) Have a water vapour flow not less than 90MN/g when tested in accordance with ASTM E96 utilising standard testing conditions.
b) Be sufficiently durable enough to resist damage from the installation and normal work operations.
c) Be laid on a surface not likely to damage the DPM being used.
d) Have penetrations by tapes, reinforcing, and other objects sealed by sipping, or by applying a wet applied DPM material.

Concrete:

20 MPa, maximum aggregate size 19mm to NZS 3104. Site mixed concrete to NZS 3124. min. thickness 90mm. ALL FOUNDATIONS TO COMPLY WITH NZS 3604:2011 and NZBC in general.

Shrinkage Control Joints:

The saw cuts shall be cut no less than 24 hours after the slab has been laid. Cut depth shall be 1/4 depth of slab with a single saw blade thickness of approx. 5mm CONCRETE REINFORCING Bars to AS/NZ 4671. Grade 300 deformed, other than ties and stirrups, UNO.

Bottom Plate Fixings:

Concrete Foundation: Framing timber shall be fixed using proprietary fixings as designed by manufacturer. Bolt fixings shall be located not less than 150mm from end of corners of foundation walls and not more than 600mm c/c along the wall. Each length of plate shall be fixed with no less than 2 fixings.

Timber Foundation: All bottom plate fixings as per NZS3604:2011 Table 8.19:

- (a) External walls and internal wall bracing elements: 2 / 100 x 3.75mm hand driven nails at 600crs, or 3 / 90 x 3.15mm power driven nails at 600 crs
(b) Internal walls 1 / 100 x 3.75mm hand driven nail at 600crs, or 1 / 90 x 3.15mm power driven nail at 600 crs

Drawing Title:

Foundation Plan

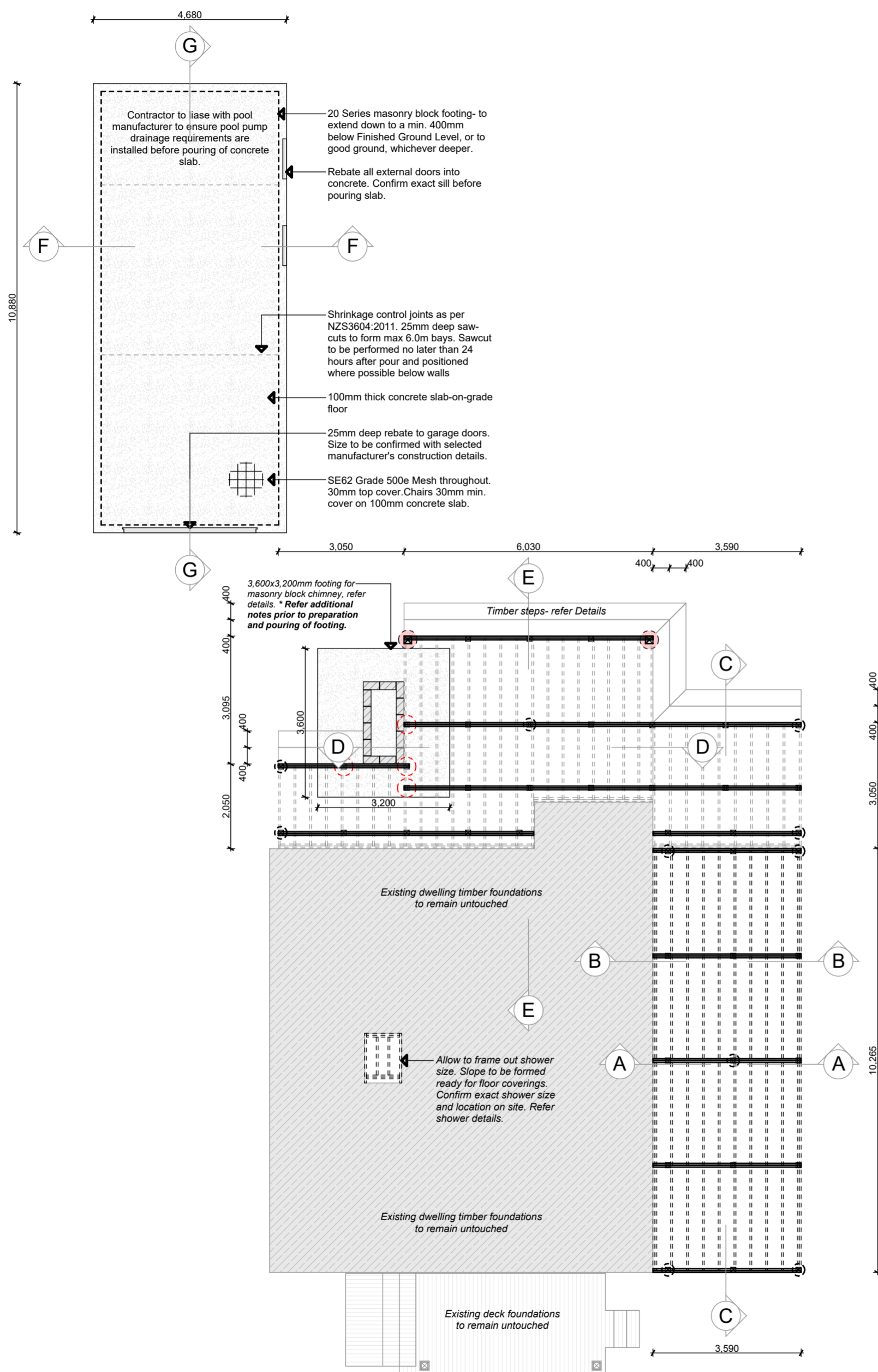
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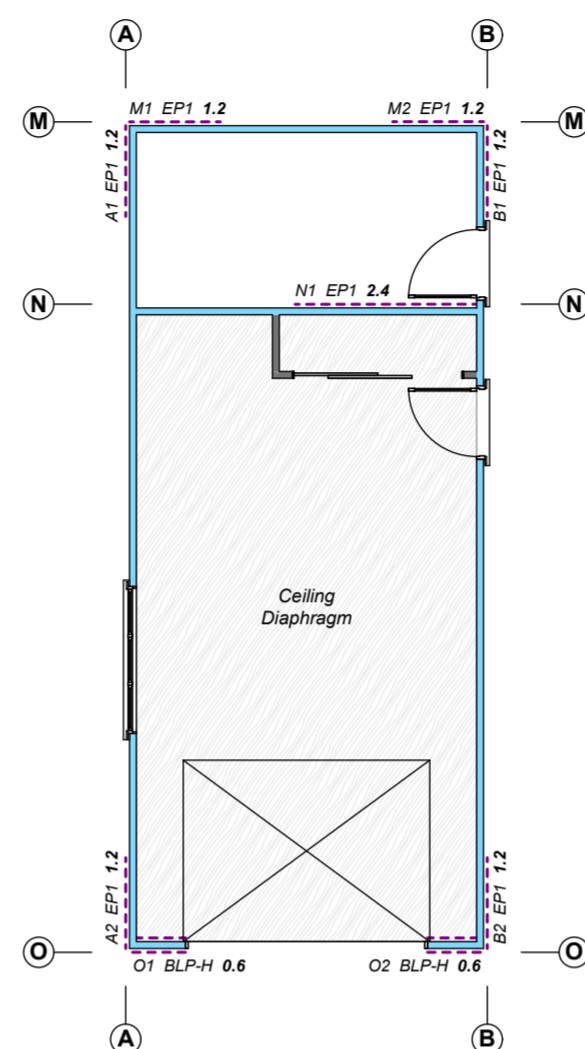
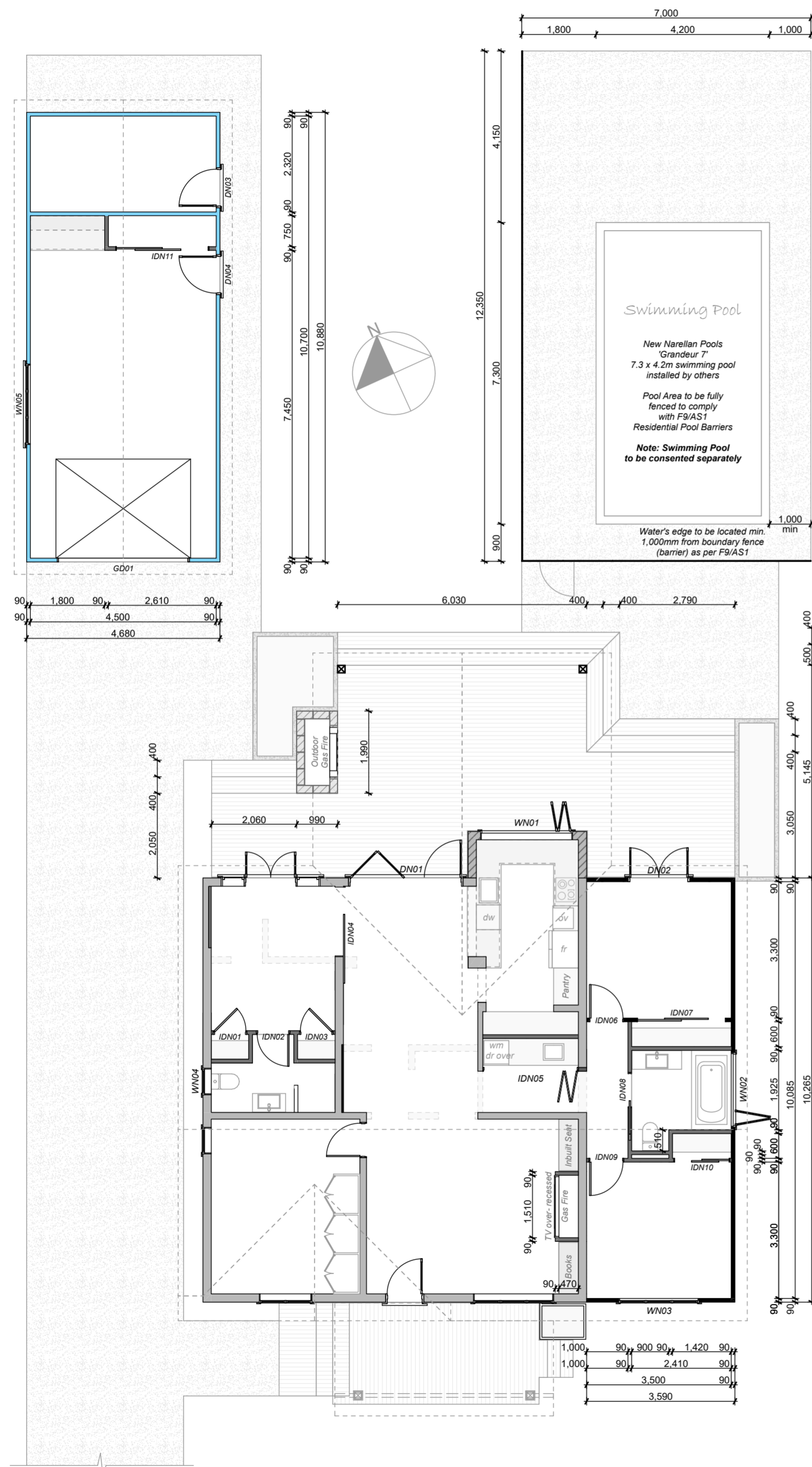
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- Foundation Key
125x125 H5 Piles
125x125 H5 Anchor Piles
125x125 H5 Piles
Prolam PLP12H5-250PP Pre-Primed 220x220mm Posts
2 / 140x45 SG8 H3.2 Bearers
140x45 SG8 H3.2 Floor joists at 400 centres
140x45 SG8 H3.2 Deck joists at 400 centres
Timber Subfloor Notes:
1. 140x45 SG8 H1.2 Blocking at maximum 1,800mm centres...
2. Flooring to be 'CHH Ecoply' 19mm Untreated Longspan Plywood...
3. Allow to frame out shower size...
Dwelling Subfloor Bracing Calculations:
Roof Cladding: Light Roof
Single Storey Cladding: Light
Subfloor Cladding: Light & Medium
Roof Pitch Degrees: 0-25
Deck Subfloor Bracing Calculations:
Concrete Subfloor Notes:
SE62 Grade 500e Mesh throughout...
Shrinkage control joints...
20 Series masonry block footing...
100mm thick concrete slab-on-grade floor...
25mm deep rebate to garage doors...
SE62 Grade 500e Mesh throughout...

Masonry Block Chimney Footing Site Preparation
The area beneath the masonry block chimney footing should be excavated to 700mm BGL...
Allied Geotech Ltd Geotechnical Investigation
Foundation Recommendations
House Extension and Covered Outdoor Living Zone:
Utilising B1:VM4 of the New Zealand Building Code...
In accordance with NZS3604 (2011), all disturbed and loose material within the foundation excavations need to be completely removed...
Garage:
Site Preparation:
Foundation Design:
Foundation Excavation Checks:
Settlement:
Ground Contouring:
Vegetation:
Surface Water

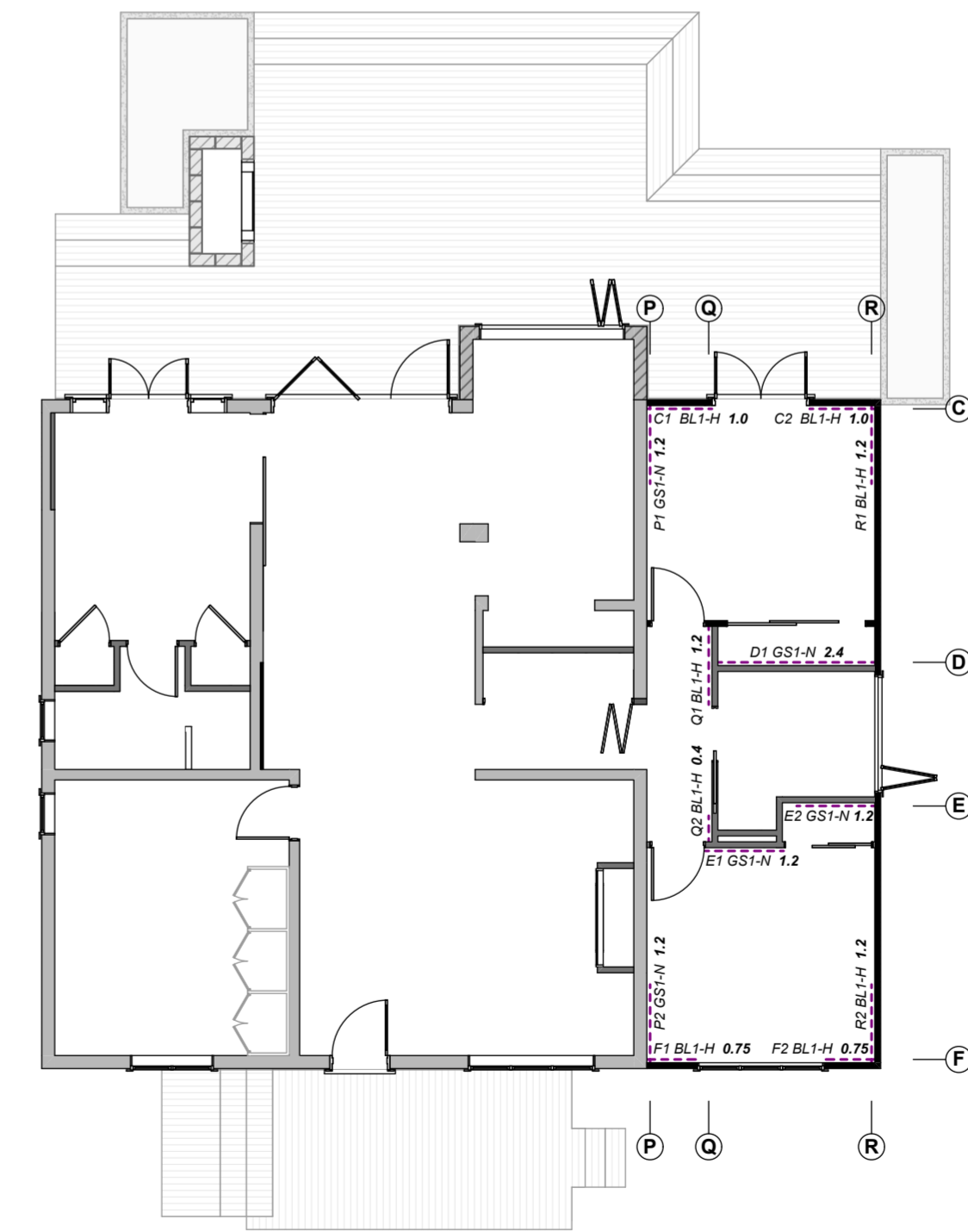
Foundation Plan Scale 1:100



**Wall Bracing Key:**  
 - - - - - A1 GS1-N 0.6  
 A1 Bracing Number  
 GS1-N Bracing Type  
 0.6 Bracing Element Length

**Ceiling Diaphragm**  
 12mm 'Ecoply' Structural Ceiling Diaphragm  
 Structural Ceiling Diaphragm required as distance between bracing lines N and O exceeds 6.0m. Diaphragm and fixings to comply with 'Ecoply Specification and Installation Guide October 2021' (Section 3.6), attached in specifications.

**Bracing Type:**  
**GS1-N:**  
 10mm or 13mm GIB Standard Plasterboard to one side only. Minimum element length 400mm. Refer 'GIB EzyBrace Systems' or 'GIB Site Guide' for installation requirements.  
**BL1-H:**  
 10mm or 13mm GIB Braceline to one side only. Minimum element length 400mm. Panel Hold downs required at each end of bracing element. Refer 'GIB EzyBrace Systems' or 'GIB Site Guide' for installation requirements.  
**BLP-H:**  
 10mm or 13mm GIB Braceline to one side of the frame, plus minimum 7mm structural plywood manufactured to NZS2269.0:2012 to the other side. Minimum element length 400mm. Panel Hold downs required at each end of bracing element. Refer 'GIB EzyBrace Systems' or 'GIB Site Guide' for installation requirements.  
**Note: Check structural plywood into external face of wall framing. Allow to line over internal plasterboard bracing element in garage using plywood linings to match remainder of garage internal linings.**  
**EP1:**  
 One layer of minimum 7mm, 9mm or 12mm Ecoply plywood fixed directly to framing. Minimum element length 400mm. Panel Hold downs required at each end of bracing element. Refer 'Ecoply Specification and Installation Guide October 2021' for installation requirements. **Note: Check structural plywood into external face of wall framing.**



Project Status: Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

Site Notes:

Valuation Legal: LOT 3 DP 1679  
Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps  
Exposure Zone: Zone C  
Earthquake Zone: Zone 3

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

Wall Framing Key:

- Existing timber framed walls
- New 90x45mm SG8 Load Bearing Walls  
Studs @ 300mm centres  
Dwangs @ 800mm maximum centres  
Stud height 3,000mm maximum  
Sized as per NZS3604:2011 Table 8.2
- New 90x45mm SG8 Non Load Bearing Walls  
Studs @ 400mm centres  
Dwangs @ 800mm maximum centres  
Stud height 3,000mm maximum  
Sized as per NZS3604:2011 Table 8.4
- New 90x45mm SG8 Load Bearing Walls  
Studs @ 400mm centres  
Dwangs @ 800mm maximum centres  
Stud height 2,700mm maximum  
Sized as per NZS3604:2011 Table 8.2

Studs sized as per High wind zone, sizing taken from NZS 3604:2011 Table 8.2. Timber treatments as noted below.

Timber Treatment:

- Min H1.2 To all framing. All timber to be SG8.
- H3.2 Cavity Battens.
- H1.2 Bottom Plate.
- H1.2 Sill Trimmers.
- H3.2 All 'Wet Areas' timber, members surrounding and structural members supporting.
- H3.2 All exposed timber, and supporting members.
- H4 Timber where it is partially covered by earth and exposed to weather.
- H5 Treated timber in ground.

Members noted as 70mm or 90mm thick may be substituted with built-up members sized in accordance with NZS 3604:2011 8.5.1.2 and nailed together in accordance with NZS 3604:2011 2.4.4.7.

Bottom Plate Fixings:

Concrete Foundation: Framing timber shall be fixed using proprietary fixings as designed by manufacturer. Bolt fixings shall be located not less than 150mm from end of corners of foundation walls and not more than 600mm c/c along the wall. Each length of plate shall be fixed with no less than 2 fixings.

Timber Foundation: All bottom plate fixings as per NZS3604:2011 Table 8.19:  
(a) External walls and internal wall bracing elements:  
2 / 100 x 3.75mm hand driven nails at 600cirs, or  
3 / 90 x 3.15mm power driven nails at 600 cirs  
(b) Internal walls  
1 / 100 x 3.75mm hand driven nail at 600cirs, or  
1 / 90 x 3.15mm power driven nail at 600 cirs

General Notes Floor Plan:

All electrical fittings / location to be confirmed and organised with owner prior to wiring out. Electrical installations to comply with NZCEP 51. Registered electrician to provide energy works certificate at completion of electrical work to local Territorial Authority.

All flashings to be 'COLORSTEEL Endura 0.55 bmt minimum and must be grade G550 or G300 for curved and crimped flashings. Flashings to be selected for corrosion protection according to the intended exposure zone as shown in E2 / AS1 Table 20. All flashings to comply with E2 / AS1 table 7 metal flashings.

All doors and windows to have 60mm x 18mm architraves, Pine to wet areas / MDF to all other areas.

All glazing to showers to be 6mm toughened safety glazing to comply with NZS 4223:Part 3:1999.

SD-Approved smoke detectors required within 3.0m of any sleeping space-first alert or similar

Drawing Title: Dimensioned Floor Plan / Bracing Plan

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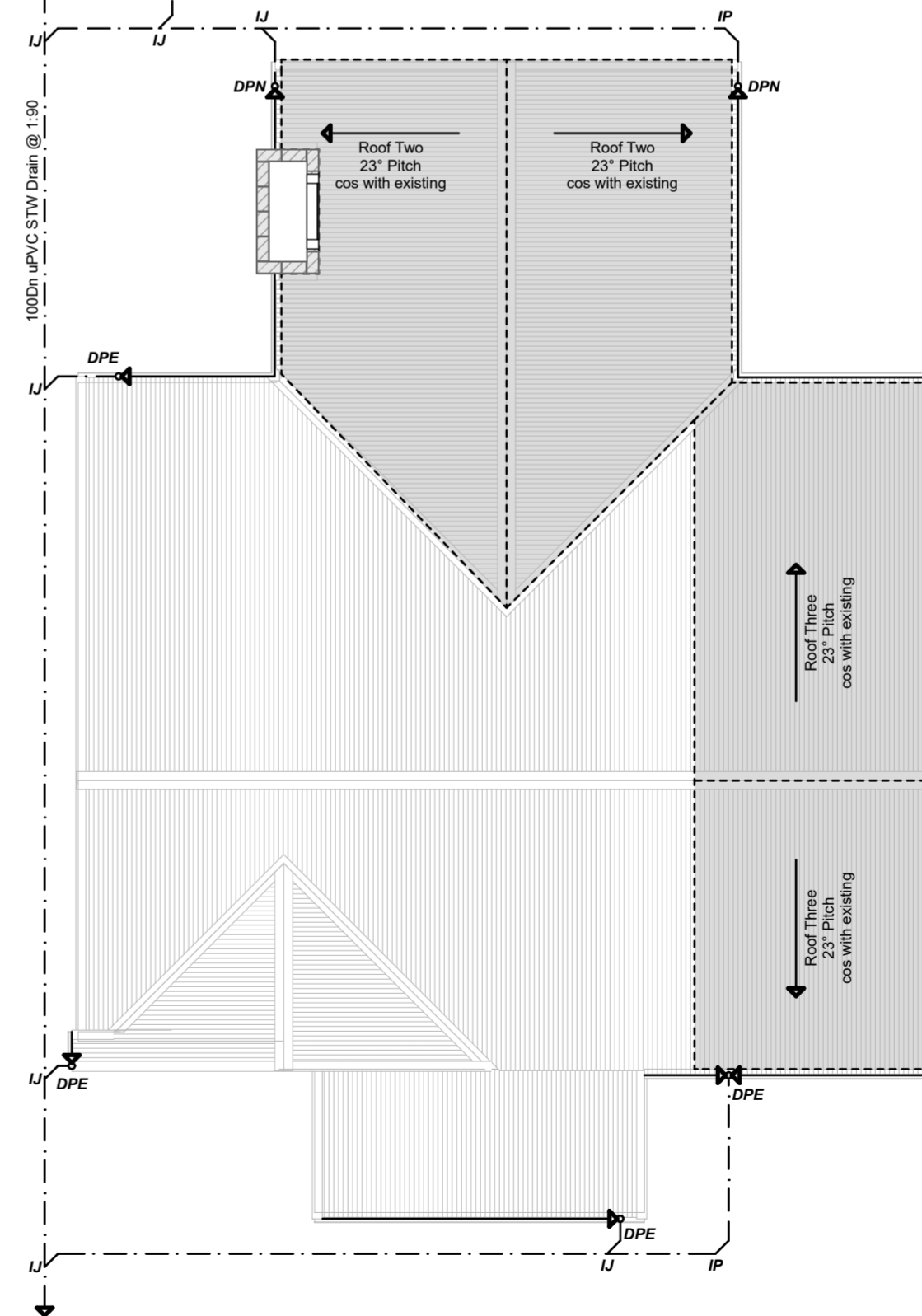
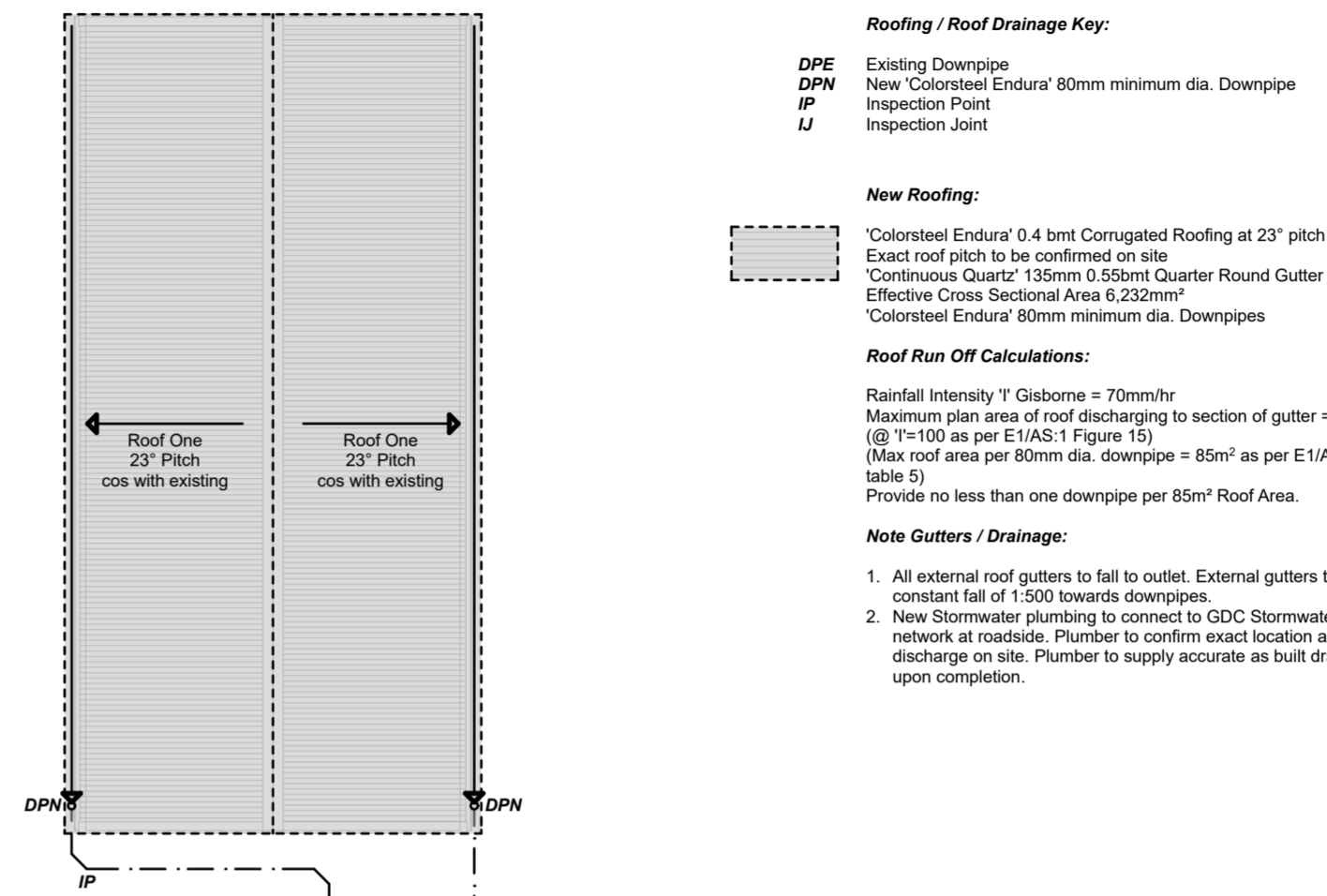
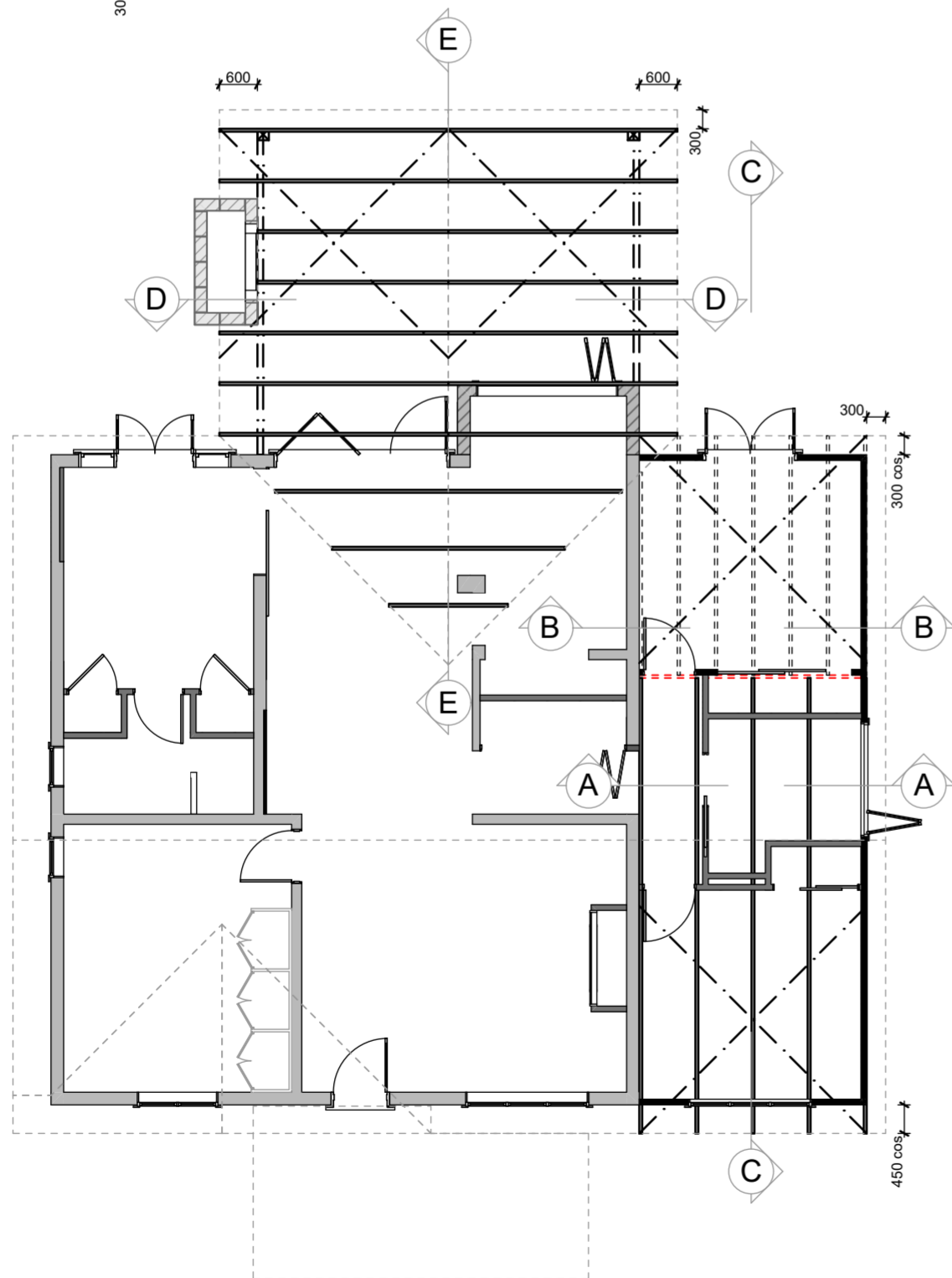
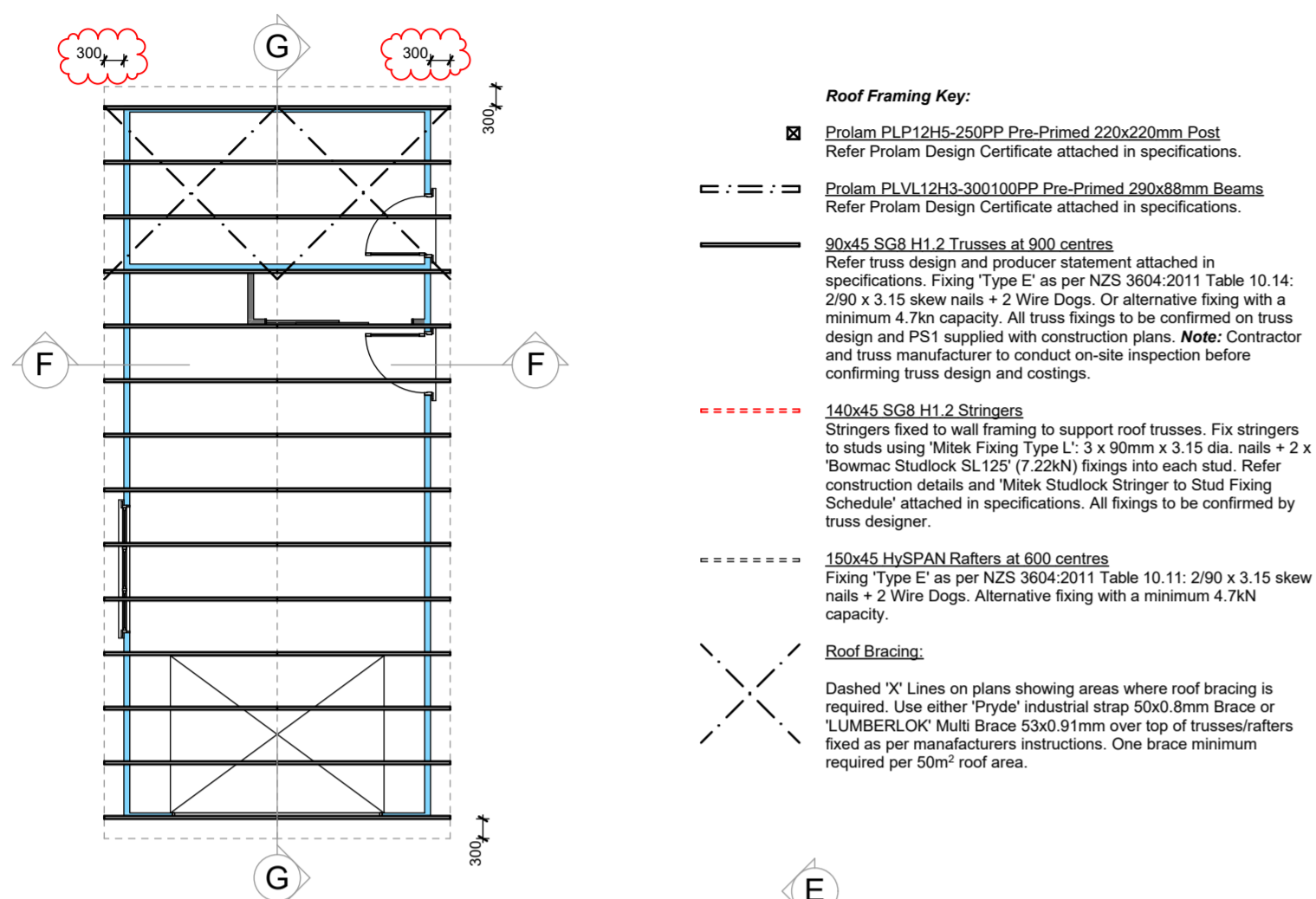
Design: S Kingsbeer Scale: 1:100 At A2  
Checked: S Kingsbeer Date Issued: 12/04/2022

Variation Number: 01 Sheet #: 06 of 24

All construction to be in accordance with N.Z.B.C handbook, NZS 3604: 2011 and local Territorial Authority requirements. All measurements to be checked and confirmed on site. Plans to be read in conjunction with Specifications, Engineering, other plans as required. Do not scale from plans. Contact designer on 03040042929 for any queries or before any alterations to original plans commence on site.

Dimensioned Floor Plan Scale 1:100

Bracing Plan Scale 1:100



**Project Status: Building Consent**

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

**Site Notes:**

Valuation Legal: LOT 3 DP 1679  
Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps  
Exposure Zone: Zone C  
Earthquake Zone: Zone 3

**Note Exposure Zone C:**

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

**Timber Treatment:**

Min H1.2	To all framing. All timber to be SG8.
-H3.2	Cavity Battens.
-H1.2	Bottom Plate.
-H1.2	Sill Trimmers.
-H3.2	All 'Wet Areas' timber, members surrounding and structural members supporting.
-H3.2	All exposed timber, and supporting members.
-H4	Timber where it is partially covered by earth and exposed to weather.
-H5	Treated timber in ground.

Members noted as 70mm or 90mm thick may be substituted with built-up members sized in accordance with NZS 3604:2011 8.5.1.2 and nailed together in accordance with NZS 3604:2011 2.4.4.7.

**Roof Framing Notes:**

All roof framing and hold-downs designed as per High wind zone.

Specific designed roof truss system as designed by truss manufacturer, refer to specifications for truss design & producer statement. Truss manufacturer to notify designer of any special up/down loading from roof trusses, or lintels greater than those designed and specified.

**Purlin Fixing:**

Fixing 'Type C' as per 'Lumberlok' Fixing Guide: 1 x 80mm x 10mm gauge 'Lumberlok' blue screw, or alternative fixing with a minimum 2.4kN capacity.

**Stud to top plate fixing:**

All top plates fixed with Fixing 'Type B' as per 'Lumberlok' Fixing Guide: 2 / 90 x 3.15 plain steel wire nails driven vertically into stud + 'Lumberlok' stud strap to one face only.

**Roof Plan Notes:**

All flashings to be 'COLORSTEEL Endura' 0.55 bmt minimum and must be grade G550 or G300 for curved and crimped flashings. Flashings to be selected for corrosion protection according to the intended exposure zone as shown in E2 / AS1 Table 20. All flashings to comply with E2 / AS1 table 7 metal flashings.

**Drawing Title:**

**Roof Framing Plan / Roof Plan**

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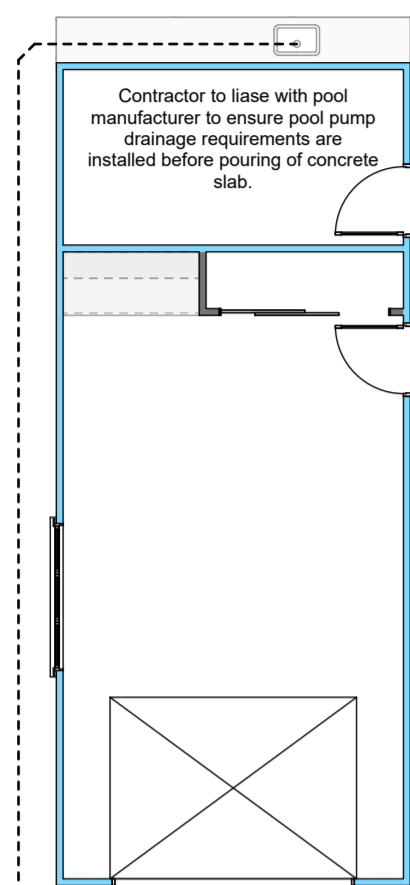
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Variation Number: 01 Sheet #: 07 of 24

All construction to be in accordance with N.Z.B.C handbook, NZS 3604: 2011 and local Territorial Authority requirements. All measurements to be checked and confirmed on site. Plans to be read in conjunction with Specifications, Engineering, other plans as required. Do not scale from plans. Contact designer on 03040042929 for any queries or before any alterations to original plans commence on site.

Roof Framing Plan Scale 1:100

Roof Plan Scale 1:100



**Plumbing Key:**

----- Proposed new sanitary plumbing- see min falls below

- IP Inspection Point
- IJ Inspection Joint
- GT 100mm dia. uPVC Gully Trap
- VP Vent Pipe
- AAV Air Admittance Valve

**GHW** Gas Hot Water System: New 'Rheem' Continuous Flow Water Heater installed by registered gasfitter, as per manufacturer's specification. Exact model TBC by Client.

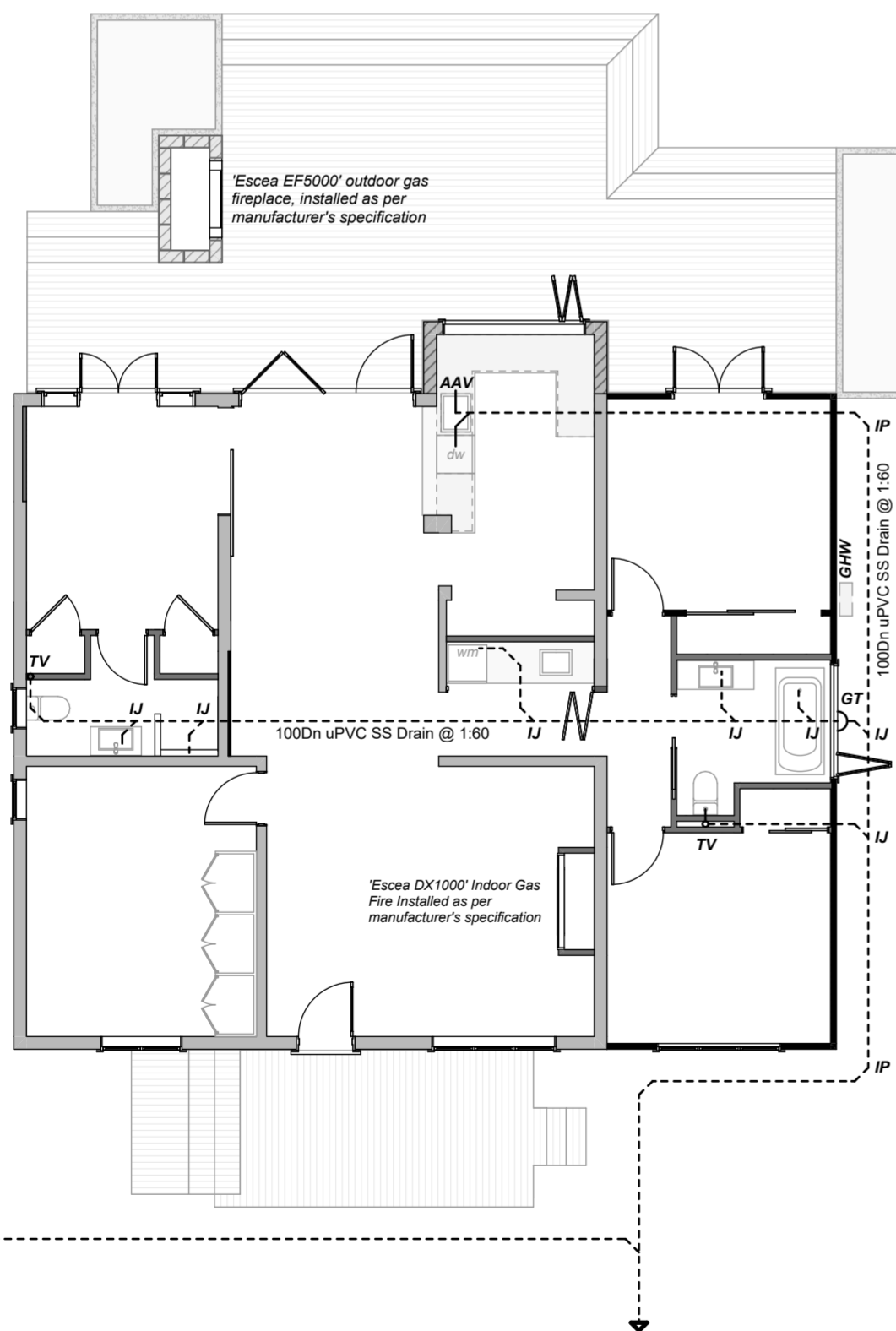
**Minimum Pipe Sizes and Falls:**

Basin	65mm 1:40 min. fall
Shower	65mm 1:40 min. fall
Sink	65mm 1:40 min. fall
Dishwasher	Discharge to sink drain
Bath	100mm 1:60 min. fall
Washing Machine	Discharge to tub
Laundry Tub	65mm 1:30 min. fall
W/C Pan	100mm 1:60 min. fall

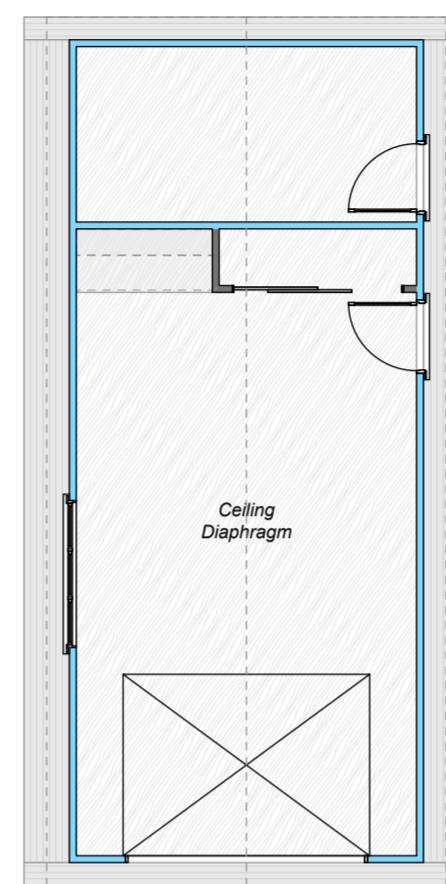
**Note:** Laundry tub shall be capable of fully containing a solid cylinder of 400mm diameter and 200mm depth as per NZBC G2.

**Plumbing Notes:**

1. New SS Drain to connect to existing SS Drain with connection to GDC wastewater system. Plumber to confirm exact location and discharge on site. Plumber to supply accurate as built drawing upon completion.

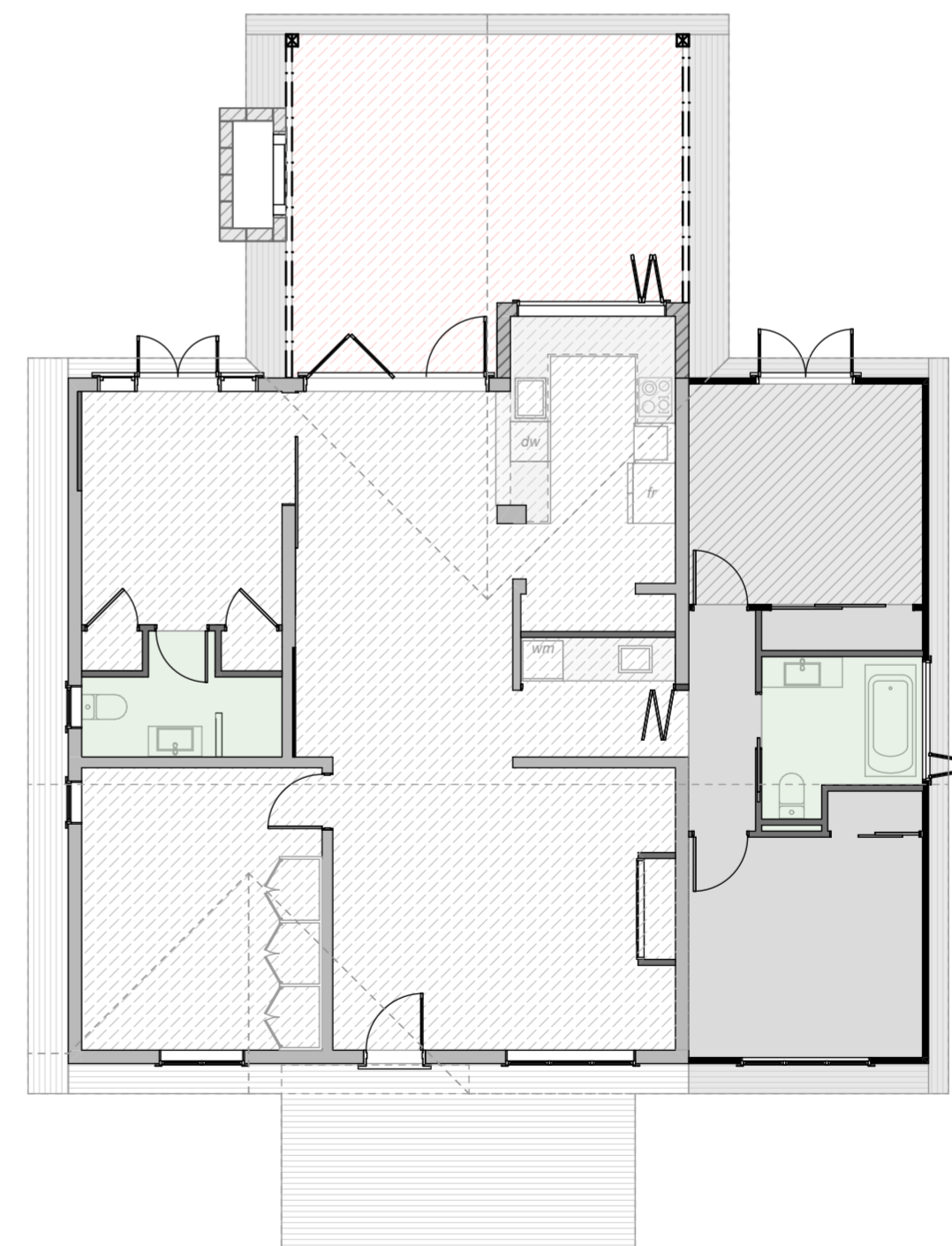


Plumbing / Drainage Plan Scale 1:100



**Ceiling / Soffit Finishes Key:**

- Existing Ceilings**  
Retain / make good existing linings where possible
- New Flat Ceilings**  
13mm 'GIB Standard' ceiling linings  
'GIB Rondo 310' ceiling battens at 450mm centres
- New Raking Ceilings**  
13mm 'GIB Standard' ceiling linings  
'GIB Rondo 310' ceiling battens at 450mm centres
- Ceiling Diaphragm**  
12mm 'CHH Ecoply' Structural Ceiling Diaphragm. Diaphragm and fixings to comply with 'Ecoply Specification and Installation Guide October 2021' (Section 3.6), attached in specifications.
- New Garage Ceilings**  
12mm 'CHH Ecoply' ceiling linings  
70x35mm H1.2 timber ceiling battens at 450mm centres
- New Flat Ceilings (Wet Areas)**  
13mm 'GIB Aqualine' ceiling linings  
'GIB Rondo 310' ceiling battens at 450mm centres
- Existing Raking Soffits**  
Retain / make good existing soffit linings where possible
- New Raking Soffits**  
Timber tongue and groove soffits to match existing
- New Covered Outdoor Area Flat Ceilings**  
7.5mm 'James Hardie HardieGroove' ceiling linings  
70x35mm H1.2 timber ceiling battens at 450 centres



Reflected Ceiling Plan Scale 1:100

**Project Status: Building Consent**

**Note:** DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

**Site Notes:**

Valuation Legal: LOT 3 DP 1679  
Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps  
Exposure Zone: Zone C  
Earthquake Zone: Zone 3

**Plumbing / Drainage Notes:**

Plumbing to AS/NZ:3500.2.2 (Min. 1:60 pipe gradient) by qualified tradespersons. 100mm dia. uPVC stormwater drains to rainwater tanks. 100 dia. Sanitary Sewer drains to septic system.

Construction to comply with New Zealand Building Code. Contractor to pay particular attention to Clause B1 - Structure, B2 Durability, E2, external Moisture. Construction to comply with NZS 3604:2011.

Acceptable materials for sanitary plumbing include:  
-Pipes and Fittings: copper (NZS 3501), PVC (AS/NZ 1260)  
-Traps: copper (AS 1589), PVC (AS 2887)  
-Expansion Joints: PVC (NZS 7643)

**Drains:**

- Contractor to check all invert levels, connections and inspection points to ensure sufficient fall can be incorporated.
- Check manufacturer's installation recommendation of plumbing of all fixtures to ensure sufficient depth. Ensure installation of plumbing and drainage meets the requirements set out in drainage codes and standards, these include:
- Pipe diameter and length
- Pipe gradients
- The amount of anticipated discharge from other fixtures
- The need for venting
- Restrictions on connection positions

50Dia. termination / branch vents to be installed where shown. Vents must be to open air, and must be vermin / bird proof. Contractor to locate all ground levels and service connections on site prior to commencement of any earth works. All waste pipes, venting, and discharge to be confirmed by a New Zealand qualified plumber. Confirm positions of existing services, cabling etc. on site prior to excavation or digging of drains.

**Air Admittance Valves MUST:**

- Be used strictly in accordance with manufacturers instructions.
- Not be used as a main vent, these must be vented to open external air.
- Only be used on a stack vent that is not acting as a drain vent.
- Be a minimum of 100mm above the weir of any trap they serve.
- Be installed in an accessible, ventilated space protected from vandalism, sun, and freezing.

**Plumbing Notes:**

- Hot and cold water reticulation to comply with NZBC G12/AS1.
- Hot and cold supply to tempering valve & showers all 20mm polybutylene min.
- Hot and cold supply to sink, laundry and bath 15mm polybutylene min.
- Hot and cold supply to all other fixtures 10mm polybutylene min.
- Hose tap positions confirmed by owner
- 25mm black & blue pipe for water supply feed. All sanitary drainage to AS/NZS 3500 Part 2.2

**Drawing Title:**

**Plumbing Plan / Reflected Ceiling Plan**

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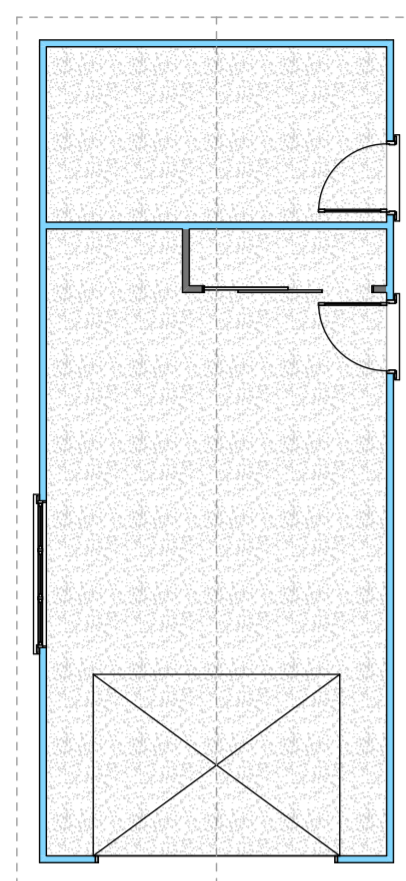
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Variation Number: 01 Sheet #: 08 of 24

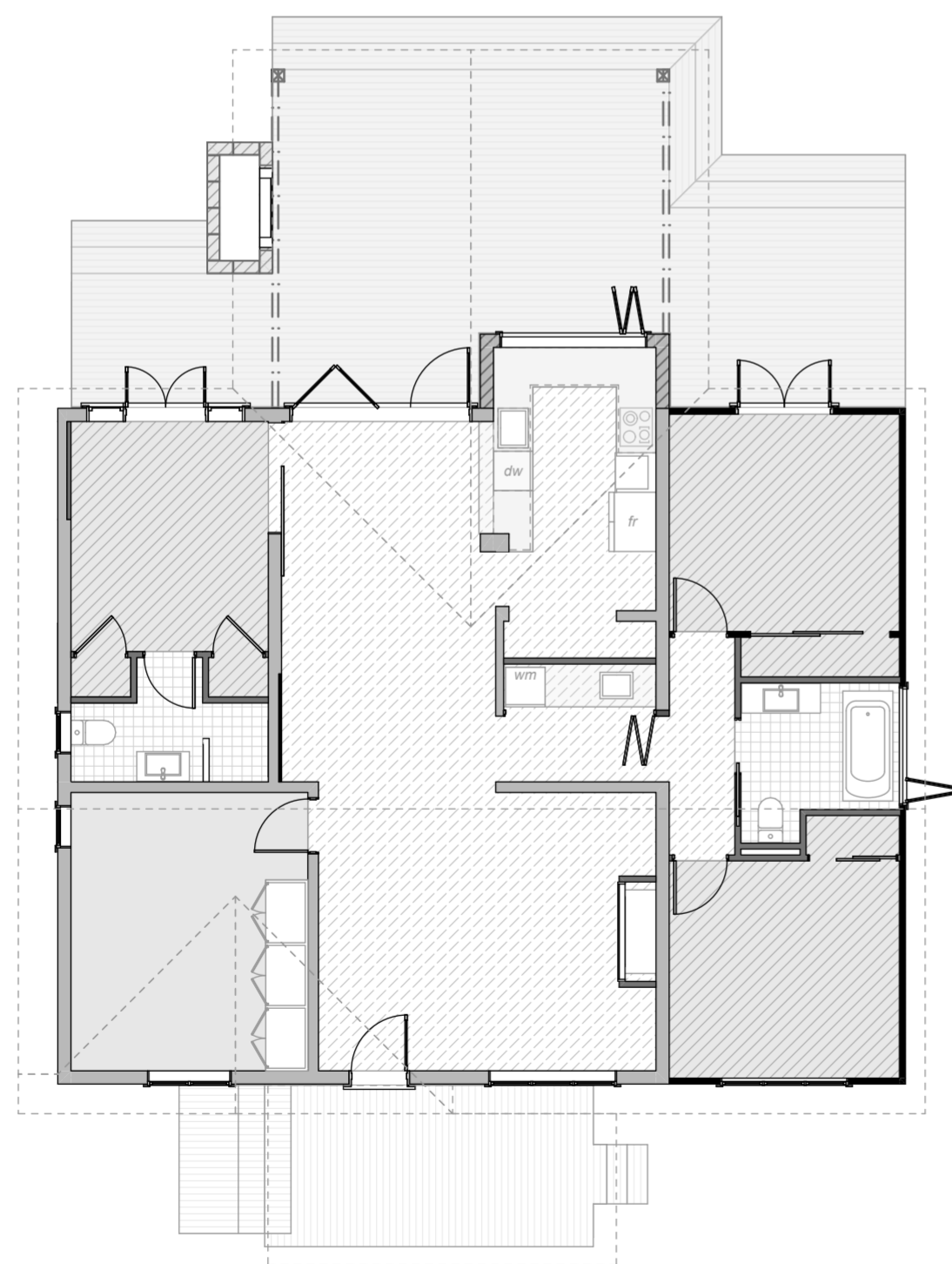
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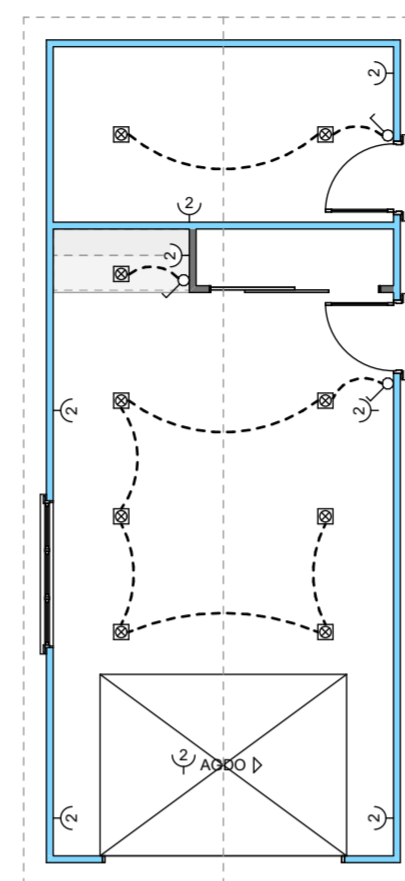


**Floor Finishes Key:**

- 'Forte Moda Altro Verona' Flooring (55.0m<sup>2</sup> approx)  
15mm thick x 220mm wide engineered timber flooring planks  
Installed as per manufacturers' specification
- Existing Carpet to Master Bedroom to remain (13.4m<sup>2</sup> approx)  
'Rhino Rhode Island Charismatic' Carpet  
Installed over 11mm 'Dreamwalk Royal' carpet underlay
- 'Rhino Rhode Island Charismatic' Carpet (37.5m<sup>2</sup> approx)  
Installed over 11mm 'Dreamwalk Royal' carpet underlay  
Installed as per manufacturers' specification
- 'Tilospace Icone Blanc Matt' Floor Tiles (9.0m<sup>2</sup> approx)  
60x60 Floor Tiles (Product Code ITA279)  
Installed as per manufacturers' specification
- Concrete Slab on Grade Floor (48.2m<sup>2</sup> approx)  
Sealed concrete slab to Garage and Store/Pump Room  
Seal using 'SikaGlaze PU' matt finish polyurethane gloss sealer
- Existing Decking to Porch area to remain (15.9m<sup>2</sup> approx)  
Pine 120x25mm or similar timber decking  
Installed over existing timber joists / bearers
- 90x19mm 'Kwila' Decking (55.7m<sup>2</sup> approx)  
Installed over new timber joists / bearers



Floor Finishes Plan Scale 1:100

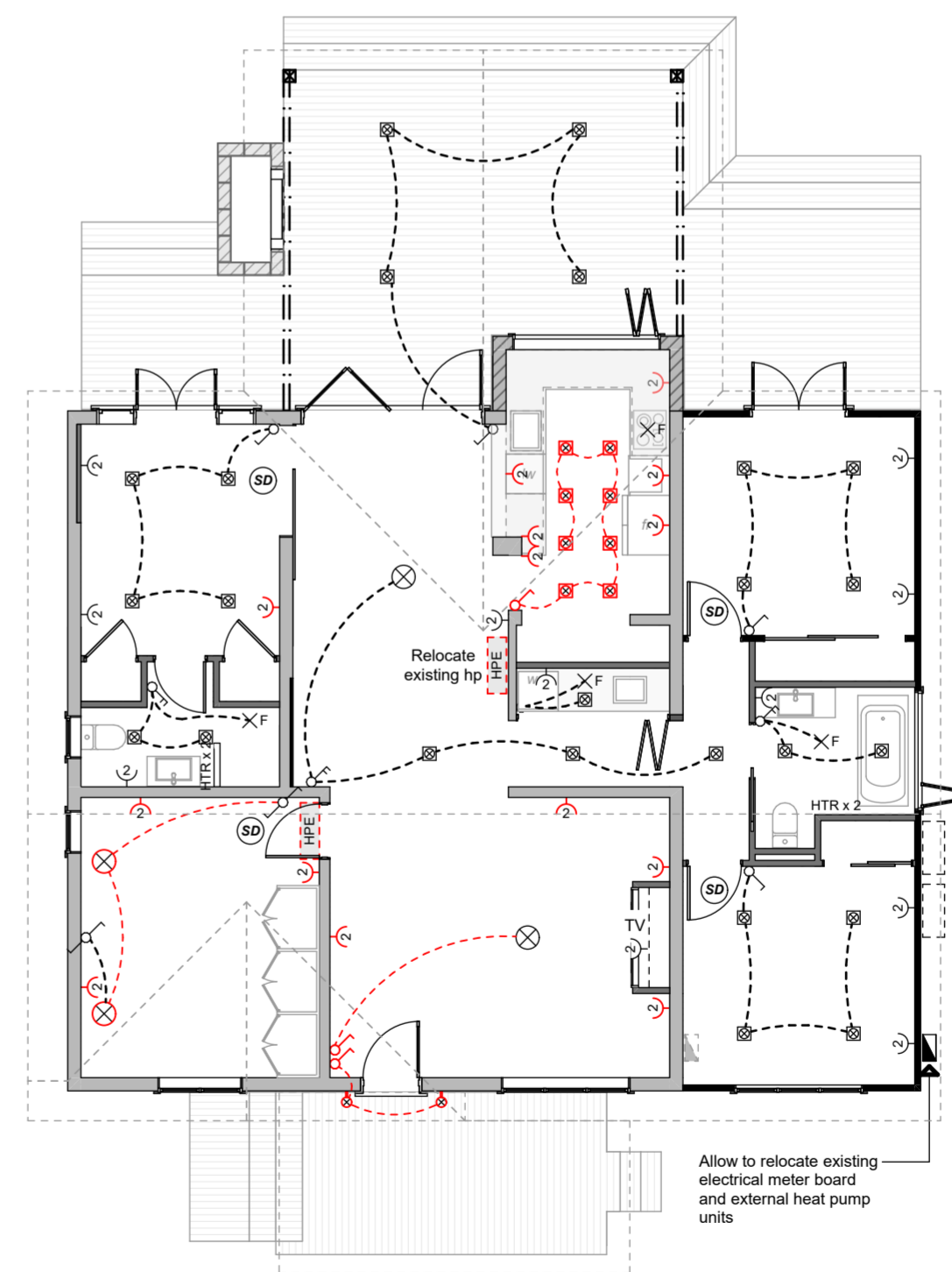


**Electrical Schedule**

- Distribution Board
- Electrical Meter Board
- Extractor Fan
- Smoke Detector
- HTR Vertical Heated Towel Rail
- Single Power Point
- Double Power Point
- AGDO Auto Garage Door Opener
- Recessed LED Downlight
- Pendant Light Fitting
- External LED Up / Down Wall Light
- Single Gang Switch
- Double Gang Switch
- Two-way Switch
- TV Recessed double power point ,  
Cat6a from router, Sky Digital television outlet.

**Electrical Notes:**

1. Red symbols indicate existing electrical fixtures to remain.
2. Security system to be provided by 'Securetech'. Electrician to liaise with Securetech to establish installation requirements.
3. TV to be recessed into wall framing above gas fire. Existing television external dimensions 1450x825mm approx.
4. Allow to provide power to LED backlit mirrors above vanity units in bathroom and ensuite.



Electrical Plan Scale 1:100

**Project Status: Building Consent**

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

**Site Notes:**

Valuation Legal: LOT 3 DP 1679  
Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps  
Exposure Zone: Zone C  
Earthquake Zone: Zone 3

**Electrical Notes:**

1. All electrical fittings / locations to be confirmed and organised with owner prior to wiring out.
2. Final kitchen power requirements to be confirmed by owner and kitchen designer prior to wiring out.
3. All standard power / data points to be located 300mm above FFL, unless otherwise stated. All kitchen power points to be located 1100mm above FFL unless otherwise stated.
4. Electrical Installations to comply with NZECP 51. Registered electrician to provide energy works certificate at completion of electrical work to local Territorial Authority.

**Smoke Alarms:**

Type 1 Domestic Smoke Alarm Systems shall comply with F7/AS1 and shall be located in every sleeping space. Smoke alarms shall be installed on or near the ceiling, with placement in accordance with NZS 4514. Smoke alarms shall be maintained in accordance with the maintenance requirements of NZS 4514.

**Electrical Notes:**

1. All electrical fittings / locations to be confirmed and organised with owner prior to wiring out.
2. Final kitchen power requirements to be confirmed by owner and kitchen designer prior to wiring out.
3. All standard power / data points to be located 300mm above FFL, unless otherwise stated. All kitchen power points to be located 1100mm above FFL unless otherwise stated.
4. Electrical Installations to comply with NZECP 51. Registered electrician to provide energy works certificate at completion of electrical work to local Territorial Authority.

**Smoke Alarms:**

Type 1 Domestic Smoke Alarm Systems shall comply with F7/AS1 and shall be located in every sleeping space. Smoke alarms shall be installed on or near the ceiling, with placement in accordance with NZS 4514. Smoke alarms shall be maintained in accordance with the maintenance requirements of NZS 4514.

**Drawing Title:**

Floor Finishes Plan / Electrical Plan

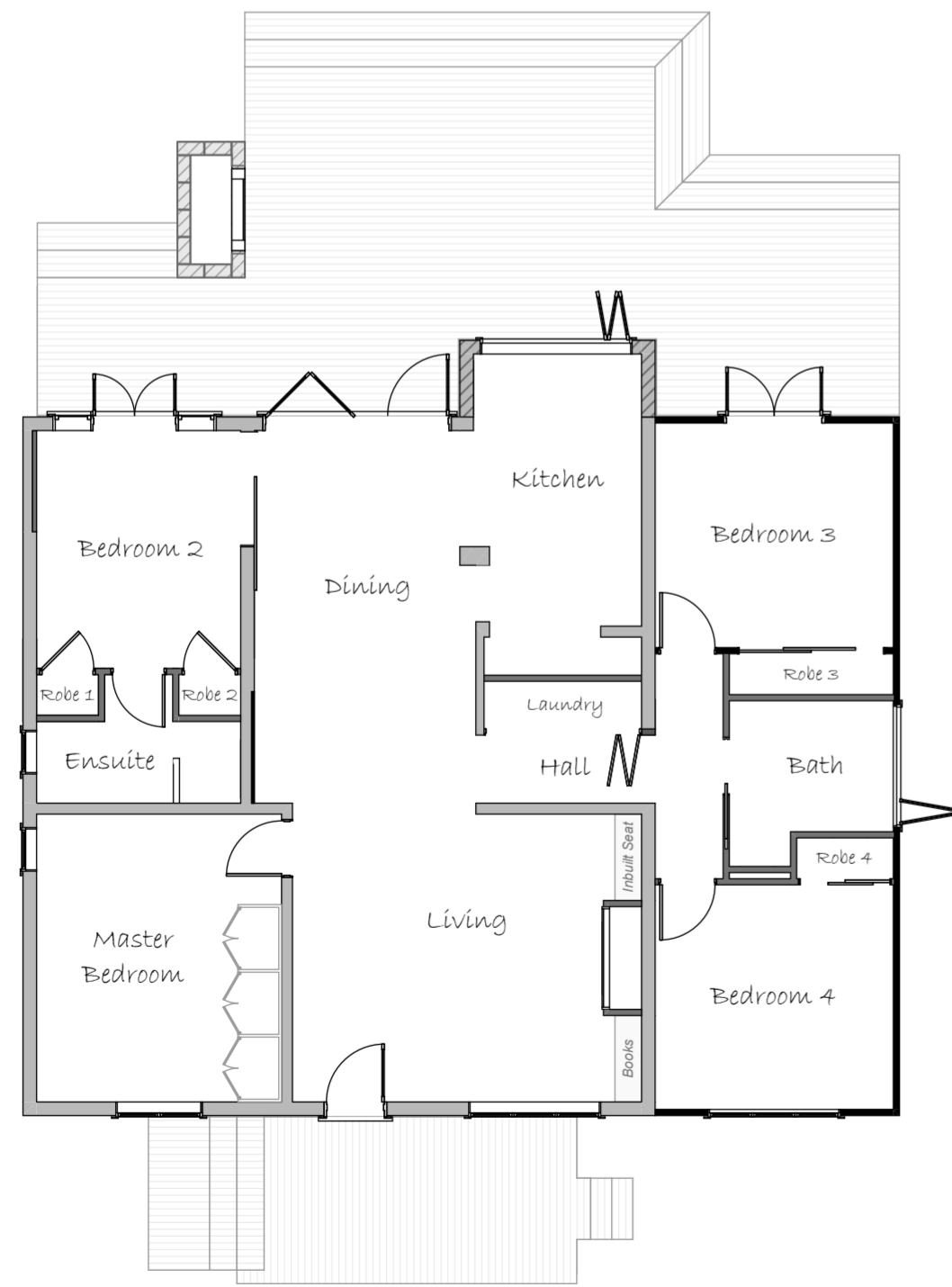
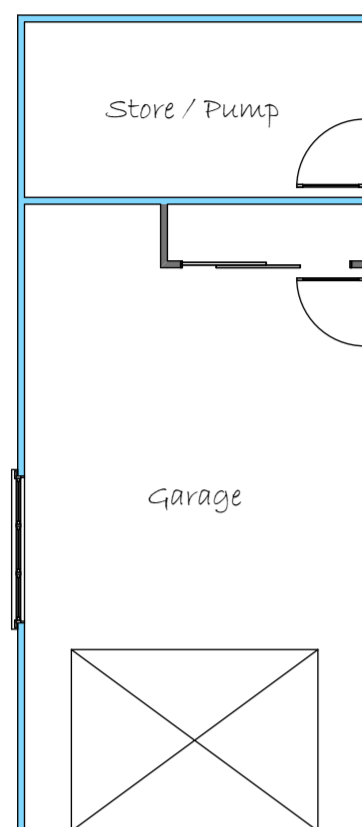
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Variation Number: 01 Sheet #: 09 of 24

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Materials		
	Reference	Description
Flooring	<b>CPT ex</b>	Existing 'Rhino Rhode Island Charismatic' carpet to remain
	<b>CPT-01</b>	New 'Rhino Rhode Island Charismatic' carpet 11mm 'Dreamwalk Royal' carpet underlay
	<b>TFL-01</b>	'Forte Moda Altro Verona' timber flooring planks
	<b>FTIL-01</b>	'Tilespace Icone Blanc Matt' 600x600 (ITA279)
	<b>CON-01</b>	'SikaGlaze PU' matt finish sealer to concrete slab
Mouldings	<b>SKT Ex</b>	Existing timber skirting to remain
	<b>ARC Ex</b>	Existing timber architraves to remain
	<b>CRN Ex</b>	Existing timber cornices to remain
	<b>SKT-01</b>	Timber skirting- to match existing Master Bedroom, paint finish
	<b>ARC-01</b>	Timber architrave- to match existing Master Bedroom, paint finish
	<b>CRN-01</b>	Timber cornice- to match existing Master Bedroom, paint finish
Paint	<b>PNT Ex</b>	Existing painted walls, mouldings, window frames, ceiling to remain
	<b>PNT-01</b>	'Dulux Okarito / Cardrona' paint to walls, ceiling
	<b>PNT-02</b>	'Resene Alabaster' paint to timber mouldings / window frames
	<b>PNT-03</b>	'Resene Black White' paint to walls
	<b>SLR-01</b>	'Resene Aquaclear' waterborne urethane interior varnish
Tiles	<b>FTIL-01</b>	'Tilespace Icone Blanc Matt' 600x600 (ITA279)
	<b>WTIL-01</b>	'Tilespace Magma White Matt' 132x132 (EQU075) Wall Tiles to bathroom / ensuite / laundry and kitchen splashback
Window Coverings	<b>SHU ex</b>	Existing 'Santa Fe' shutters to remain (Teal Tree Interiors)
	<b>SHU-01</b>	New 'Santa Fe' shutters to match existing (Teal Tree Interiors)
	<b>CUR ex</b>	Existing curtains to remain
	<b>CUR-01</b>	New curtains- to be confirmed by client

Fixtures / Remarks	
	Description
Living	Inbuilt reading seat with custom made squab and storage under
	Inbuilt book shelving full height and over reading seat
	'Escea DX1000' Indoor Gas Fire
	Existing 'Panasonic' television recessed into framing
	50x25mm 'Hermpac' American White Oak interior screening feature wall
<b>Note:</b> Contractor to allow to install all appliances	
Kitchen	Kitchen fitout by 'Cherrywood Joinery'
	'Fisher and Paykel' Extraction Fan- to be confirmed by client
	Reuse existing dishwasher- to be confirmed by client
	'Fisher and Paykel Minimal Range' oven- to be confirmed by client
	Gas stovetop- to be confirmed by client
	'Fisher and Paykel' Refrigerator- - to be confirmed by client
<b>Note:</b> Contractor to allow to install all appliances	
Ensuite & Bathroom	'Plumblin Oli 316' Shower Column Brushed S/S x2
	'Plumblin Grab 90' Vertical Heated Towel Rail Brushed S/S x4
	'Plumblin Oli 316' Toilet Roll Holder Brushed S/S x2
	'Plumblin Falper' 7.0 1200 2-drawer Vanity White (bathroom)
	'Plumblin Falper' 7.0 800 1-drawer Vanity White (ensuite)
	'Plumblin Oli 316' Basin Mixer (OL003) Brushed S/S x2
	'Plumblin Oli 316' Pop up Basin Waste 32mm Brushed S/S x3
	'Plumblin Progetto' Evo 70 Ceramic White Toilet Suite x2
	'Plumblin Progetto' Pure 1670 Inset Bath
	'Plumblin Oli 316' Wall Mount Bath Mixer (OL005) Brushed S/S
	'Plumblin Progetto' Galaxy 1000 Round LED Backlit Mirror (bathroom)
	'Plumblin Progetto' Galaxy 600 Round LED Backlit Mirror (ensuite)
	Allow to install ceiling mounted shower curtain rail and curtain over bath (bathroom)
	<b>Note:</b> Contractor to allow to install all appliances
Laundry	Laundry fitout by 'Cherrywood Joinery'
	'Fisher and Paykel' Drier wall mounted. To be confirmed by client
	'Fisher and Paykel' front loading Washing Machine. To be confirmed by client
	'Ikon' 50x40 Arctic White S/S Laundry Sink (IK730003)
	'Plumblin Oli 316' Mixer Round Spout with Pull Out Spray (OL046) Brushed S/S
'Plumblin Oli 316' Pop up Basin Waste 32mm Brushed S/S	
<b>Note:</b> Contractor to allow to install all appliances	
Robes 1-4	Wardrobe fitout by 'Cherrywood Joinery'
	<b>Note:</b> Contractor to allow to install all appliances

Schedule of Interior Finishes										
Space	Floor	Skirting	Architrave	Cornice	Walls				Ceiling	Window Coverings
					A	B	C	D		
Living	TFL-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-01	PNT-01	PNT-01	PNT-01	PNT-01	SHU ex
Dining	TFL-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-01	PNT-01	PNT-01	PNT-01	PNT-01	CUR-01
Kitchen	TFL-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-01	WTIL-01	PNT-01	PNT-01	PNT-01	-
Hall	TFL-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-01	PNT-01	PNT-01	PNT-01	PNT-01	-
Master Bedroom	CPT ex	SKT Ex / PNT Ex	ARC Ex / PNT Ex	CRN Ex / PNT Ex	PNT Ex	PNT Ex	PNT Ex	PNT Ex	PNT Ex	SHU 01
Bedroom 2	CPT-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-03	PNT-03	PNT-03	PNT-03	PNT-02	CUR-01
Robe 1	CPT-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-03	PNT-03	PNT-03	PNT-03	PNT-02	-
Robe 2	CPT-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-03	PNT-03	PNT-03	PNT-03	PNT-02	-
Ensuite	FTIL-01	-	-	-	WTIL-01	WTIL-01	WTIL-01	WTIL-01	PNT-02	SHU-01
Laundry	TFL-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-01	PNT-01	PNT-01	PNT-01	PNT-01	-
Bedroom 3	CPT-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-03	PNT-03	PNT-03	PNT-03	PNT-02	CUR-01
Robe 3	CPT-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-03	PNT-03	PNT-03	PNT-03	PNT-02	-
Bedroom 4	CPT-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-03	PNT-03	PNT-03	PNT-03	PNT-02	SHU-01
Robe 4	CPT-01	SKT-01 / PNT-02	ARC-01 / PNT-02	CRN-01 / PNT-02	PNT-03	PNT-03	PNT-03	PNT-03	PNT-02	-
Bath	FTIL-01	-	-	-	WTIL-01	WTIL-01	WTIL-01	WTIL-01	PNT-02	SHU-01
Garage	CON-01	-	-	-	SLR-01	SLR-01	SLR-01	SLR-01	SLR-01	-
Store / Pump	CON-01	-	-	-	SLR-01	SLR-01	SLR-01	SLR-01	SLR-01	-

**Project Status:** Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

**Site Notes:**

Valuation Legal: LOT 3 DP 1679  
Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps  
Exposure Zone: Zone C  
Earthquake Zone: Zone 3

**Note Exposure Zone C:**

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

**Construction Detail Notes:**

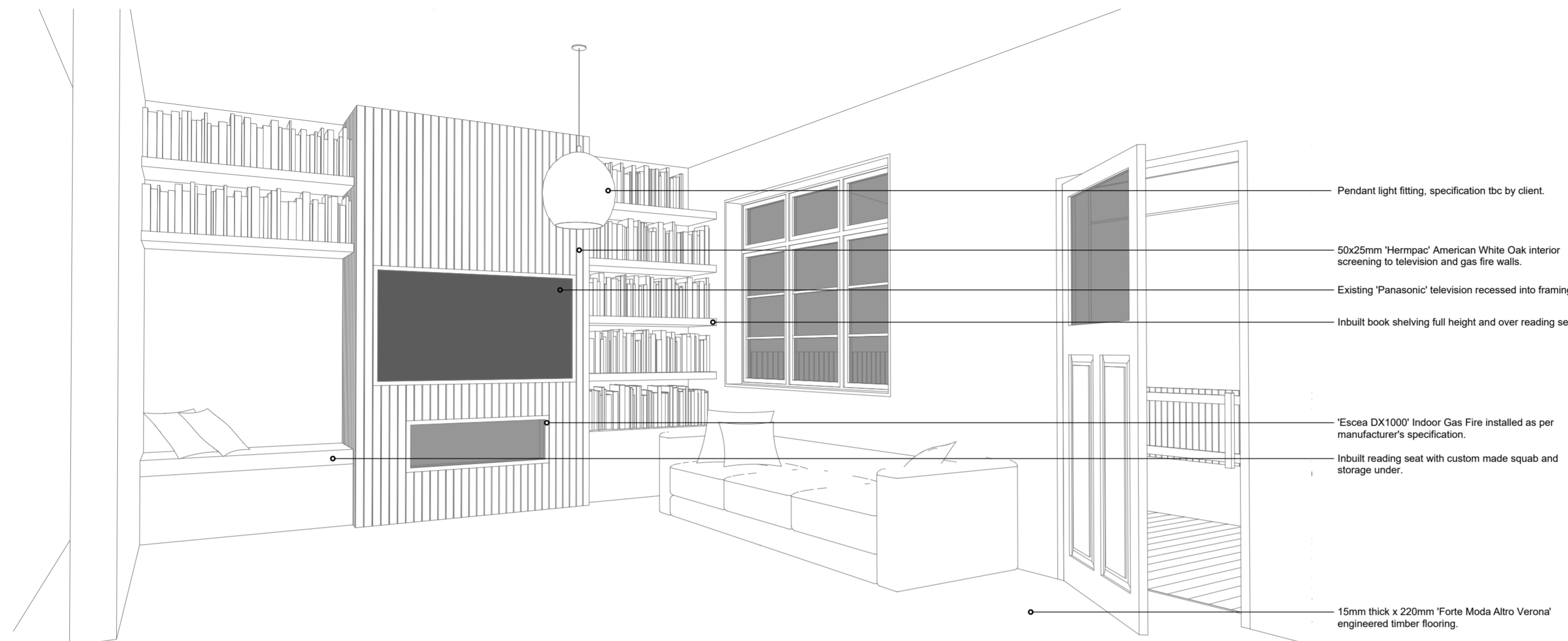
- All Work shall comply with NZS 3604:2011
- All Work shall comply with New Zealand Building Code.
- Builder to notify council inspector when stages of work are reached.
- Check detail working plans for accurate dimensions.  
"If you do not know ASK"
- All subcontractors or their management are required to have their work inspected and checked by the building contractor for the practical completion and standard of workmanship.
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- O.S.H. regulations must be implemented on site to minimize the risk of serious harm in the work place.

**Drawing Title:**  
Schedule of Interior Finishes

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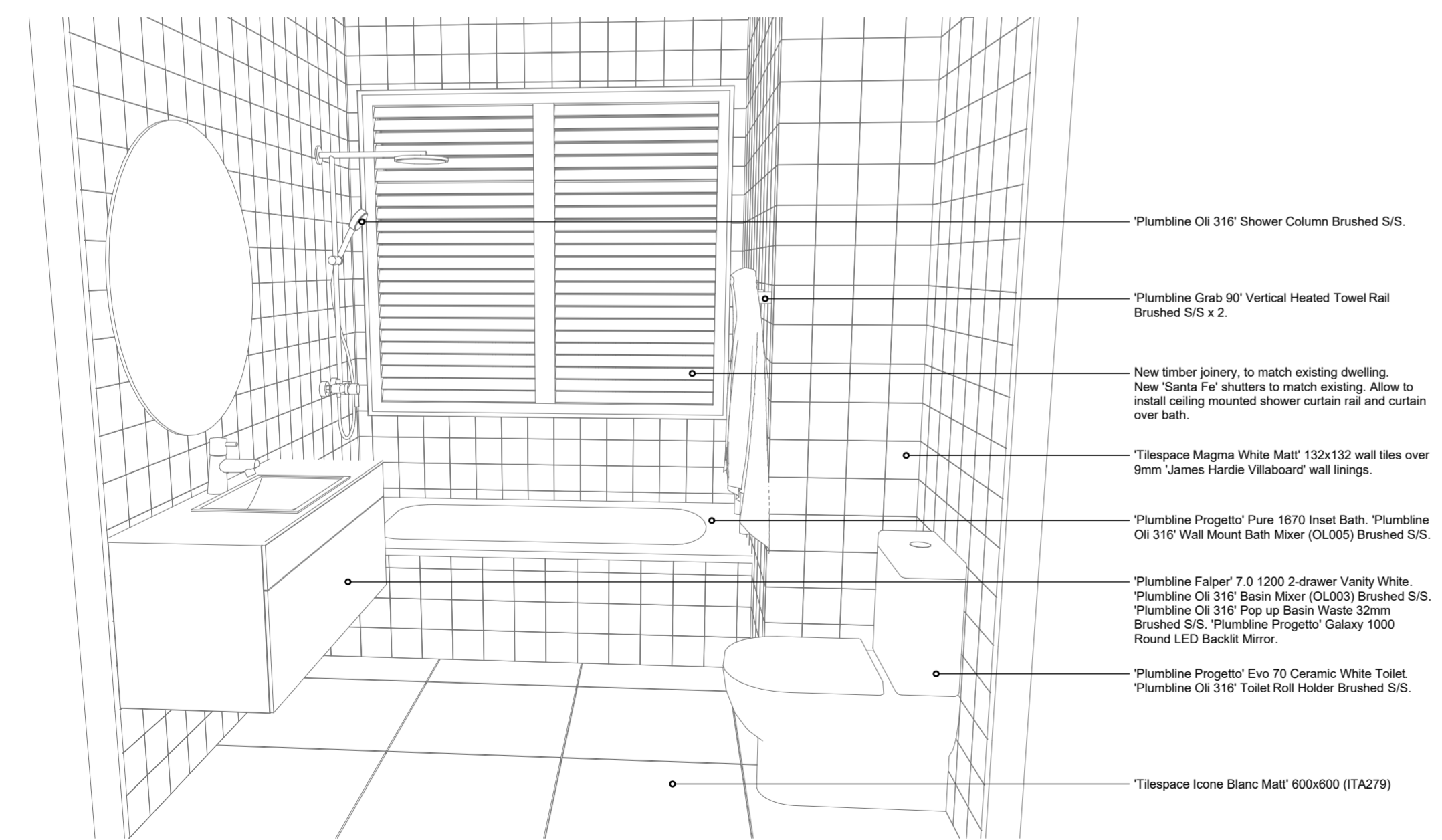
Design:	S Kingsbeer	Scale:	1:100 At A2
Checked:	S Kingsbeer	Date Issued:	12/04/2022
Variation Number:	01	Sheet #:	10 of 24

All construction to be in accordance with N.Z.B.C handbook, NZS 3604: 2011 and local Territorial Authority requirements. All measurements to be checked and confirmed on site. Plans to be read in conjunction with Specifications, Engineering, other plans as required. Do not scale from plans. Contact designer on 02040042929 for any queries or before any alterations to original plans commence on site.



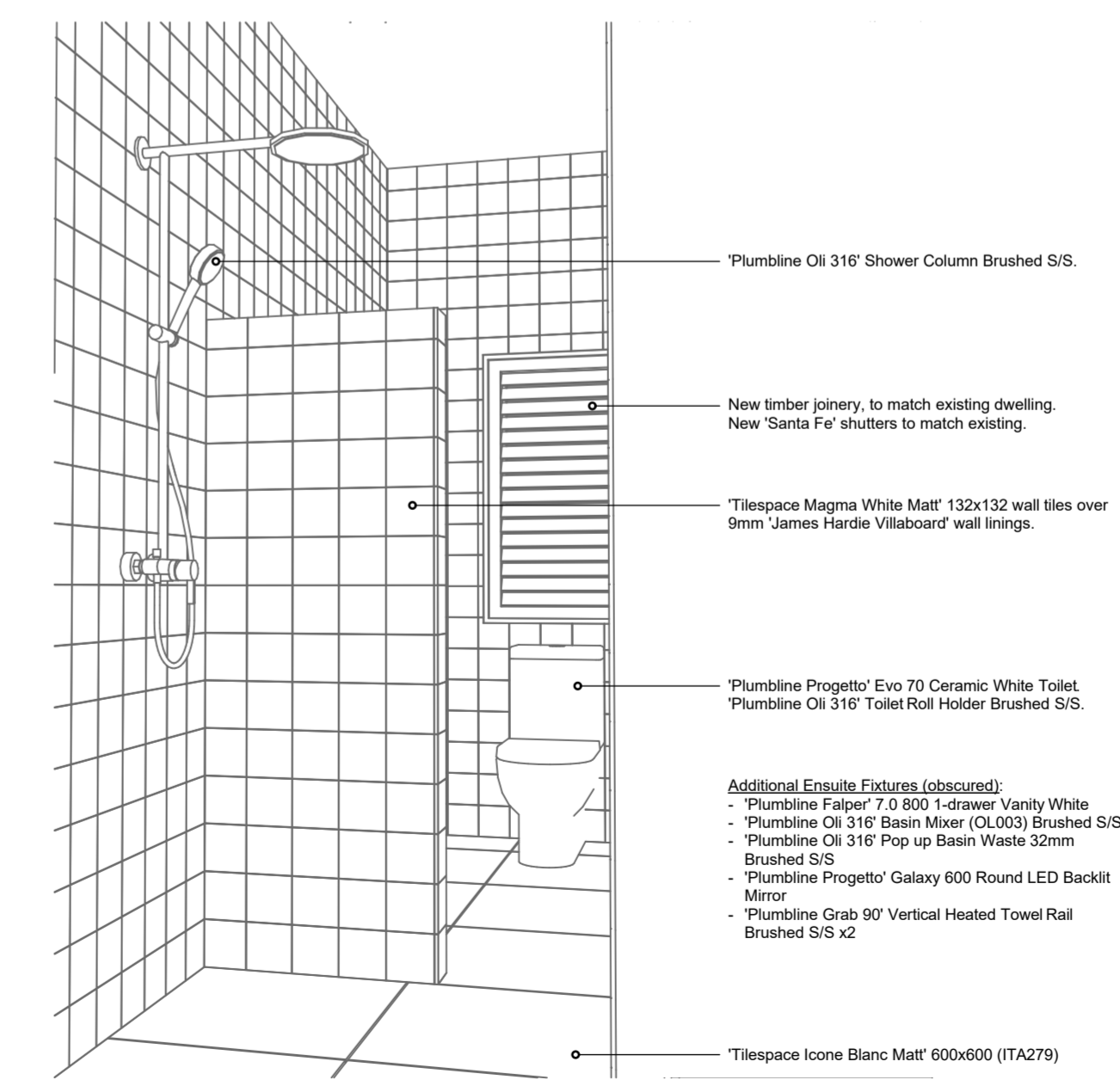
- Pendant light fitting, specification tbc by client.
- 50x25mm 'Hermpac' American White Oak interior screening to television and gas fire walls.
- Existing 'Panasonic' television recessed into framing.
- Inbuilt book shelving full height and over reading seat.
- 'Escea DX1000' Indoor Gas Fire installed as per manufacturer's specification.
- Inbuilt reading seat with custom made squab and storage under.
- 15mm thick x 220mm 'Forte Moda Altro Verona' engineered timber flooring.

Living Room 3D Document Scale 1:50



- 'Plumblin Oli 316' Shower Column Brushed S/S.
- 'Plumblin Grab 90' Vertical Heated Towel Rail Brushed S/S x 2.
- New timber joinery, to match existing dwelling. New 'Santa Fe' shutters to match existing. Allow to install ceiling mounted shower curtain rail and curtain over bath.
- 'Tiespace Magma White Matt' 132x132 wall tiles over 9mm 'James Hardie Villaboard' wall linings.
- 'Plumblin Progetto' Pure 1670 Inset Bath, 'Plumblin Oli 316' Wall Mount Bath Mixer (OL005) Brushed S/S.
- 'Plumblin Falper' 7.0 1200 2-drawer Vanity White, 'Plumblin Oli 316' Basin Mixer (OL003) Brushed S/S, 'Plumblin Oli 316' Pop up Basin Waste 32mm Brushed S/S, 'Plumblin Progetto' Galaxy 1000 Round LED Backlit Mirror.
- 'Plumblin Progetto' Evo 70 Ceramic White Toilet, 'Plumblin Oli 316' Toilet Roll Holder Brushed S/S.
- 'Tiespace Icone Blanc Matt' 600x600 (ITA279)

Bathroom 3D Document Scale 1:50



- 'Plumblin Oli 316' Shower Column Brushed S/S.
- New timber joinery, to match existing dwelling. New 'Santa Fe' shutters to match existing.
- 'Tiespace Magma White Matt' 132x132 wall tiles over 9mm 'James Hardie Villaboard' wall linings.
- 'Plumblin Progetto' Evo 70 Ceramic White Toilet, 'Plumblin Oli 316' Toilet Roll Holder Brushed S/S.
- Additional Ensuite Fixtures (obscured):**
  - 'Plumblin Falper' 7.0 800 1-drawer Vanity White
  - 'Plumblin Oli 316' Basin Mixer (OL003) Brushed S/S
  - 'Plumblin Oli 316' Pop up Basin Waste 32mm Brushed S/S
  - 'Plumblin Progetto' Galaxy 600 Round LED Backlit Mirror
  - 'Plumblin Grab 90' Vertical Heated Towel Rail Brushed S/S x 2
- 'Tiespace Icone Blanc Matt' 600x600 (ITA279)

Ensuite 3D Document Scale 1:50

**Project Status:** Building Consent

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**Site Notes:**

Valuation Legal: LOT 3 DP 1679  
Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps  
Exposure Zone: Zone C  
Earthquake Zone: Zone 3

**Note Exposure Zone C:**

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

**Construction Detail Notes:**

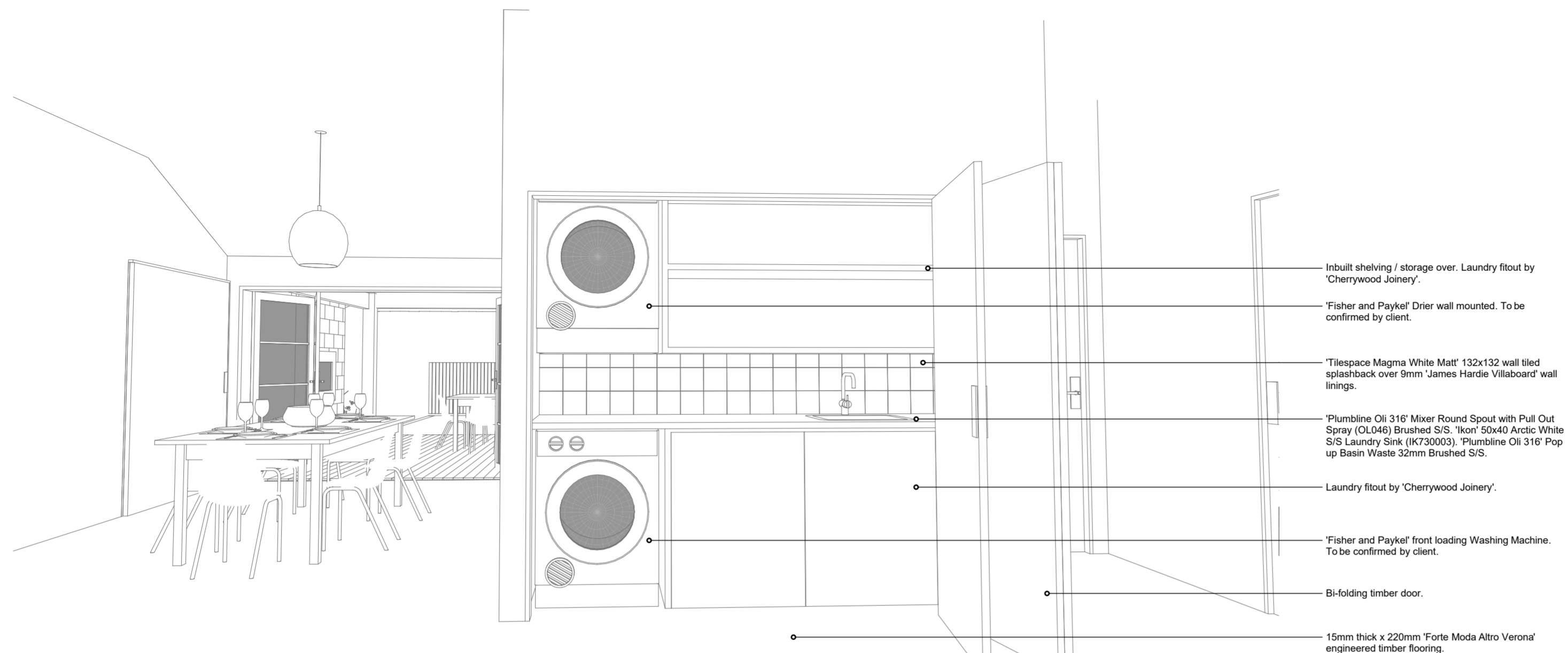
1. All Work shall comply with NZS 3604:2011
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**Drawing Title:**  
3D Documents

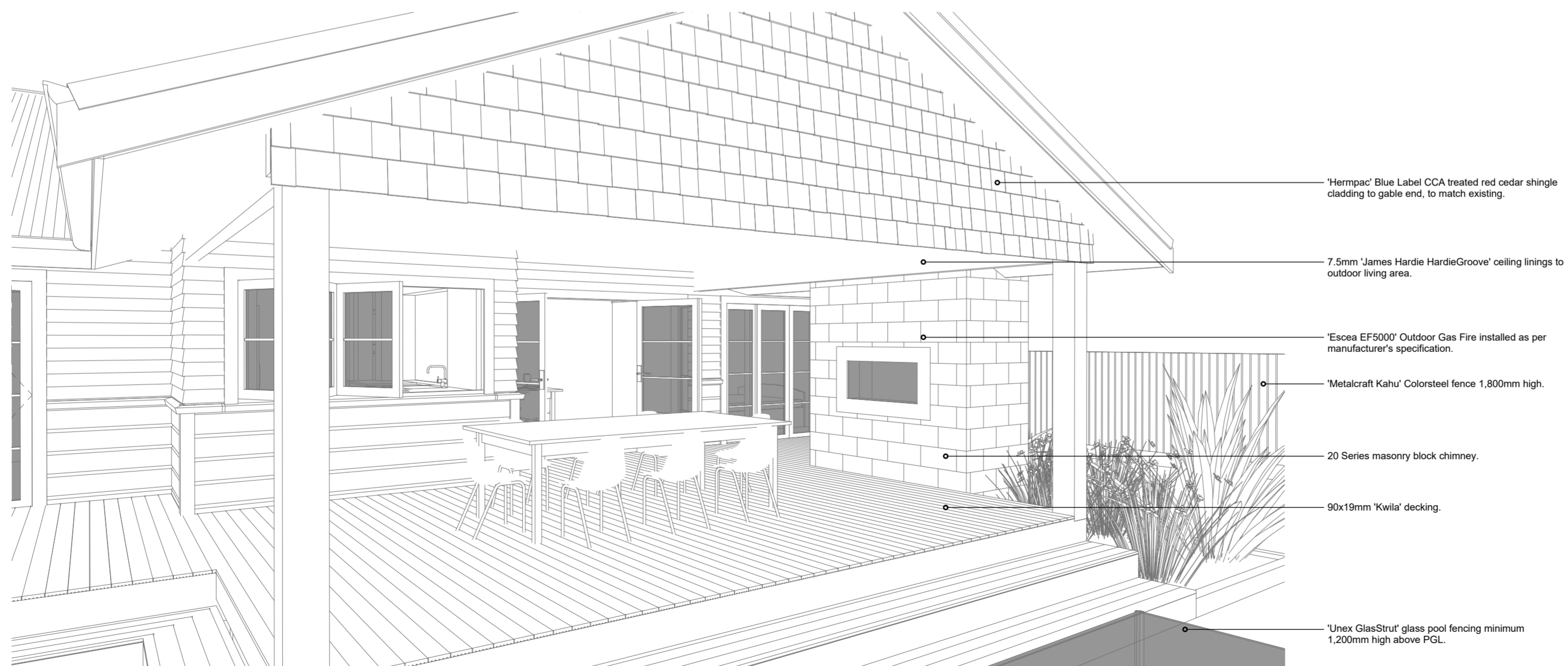
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Variation Number:	01	Sheet #:	11 of 24

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Laundry 3D Document Scale 1:50



Outdoor Living 3D Document Scale 1:50

**Project Status:** Building Consent

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**Site Notes:**

**Valuation Legal:** LOT 3 DP 1679  
**Valuation Address:** 6 Tukura Road Inner Kaiti

**Wind Zone:** High as per Branz Maps  
**Exposure Zone:** Zone C  
**Earthquake Zone:** Zone 3

**Note Exposure Zone C:**

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

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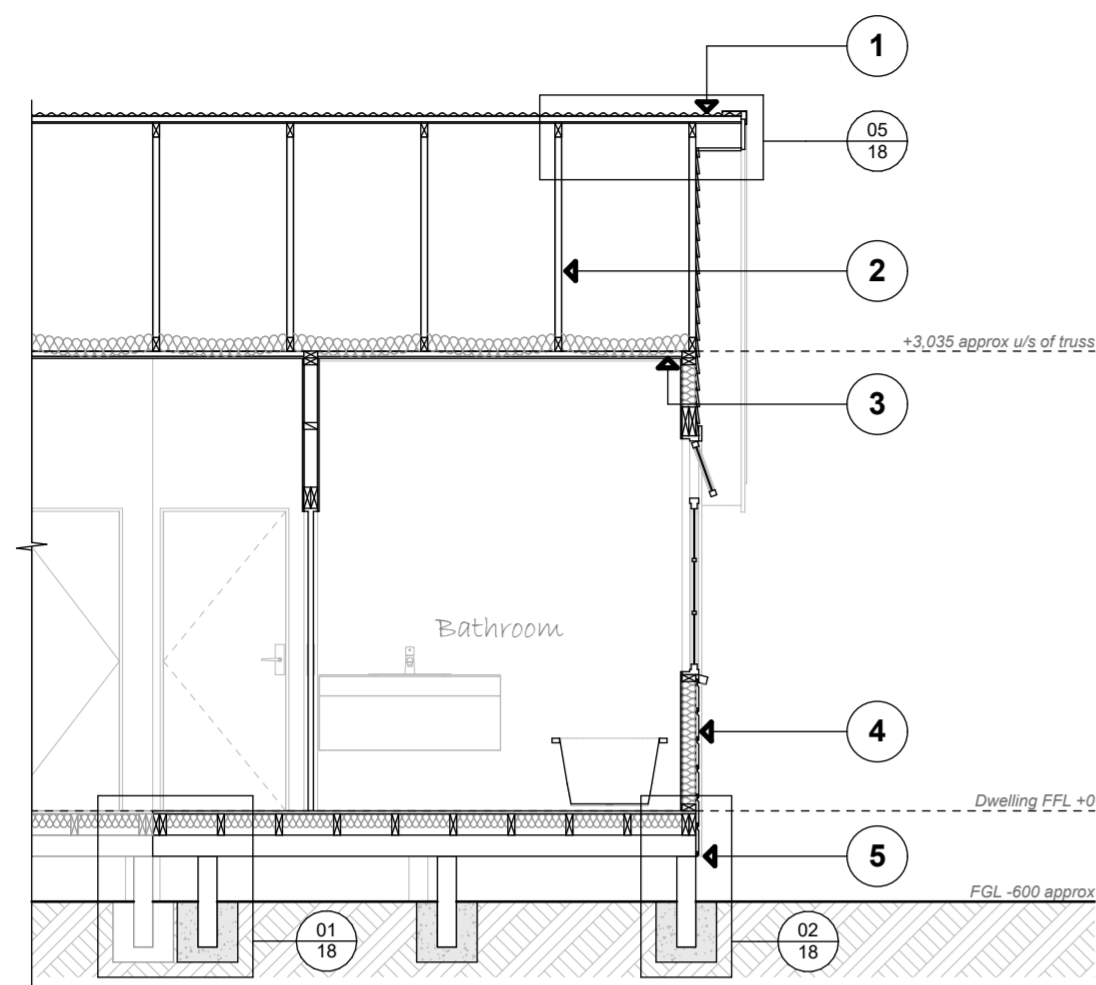
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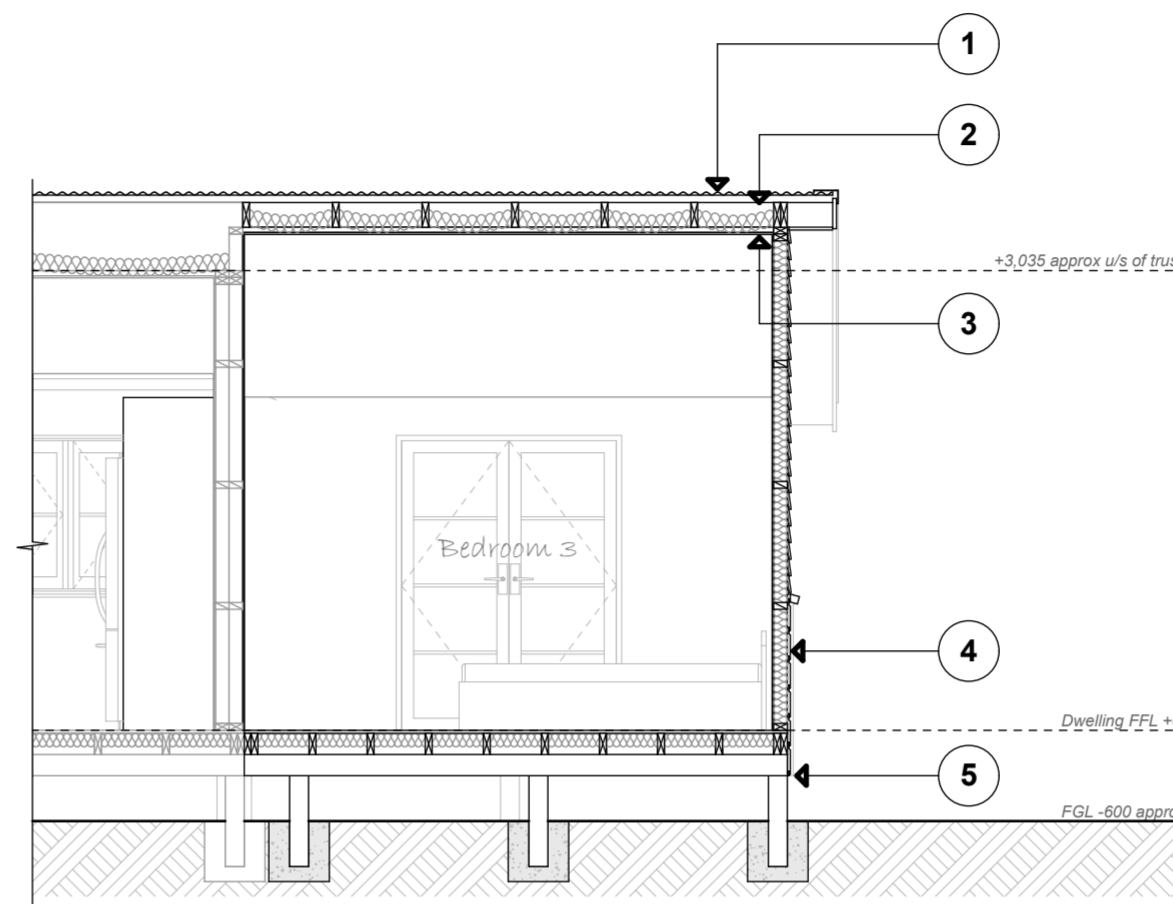
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Variation Number: 01 Sheet #: 12 of 24

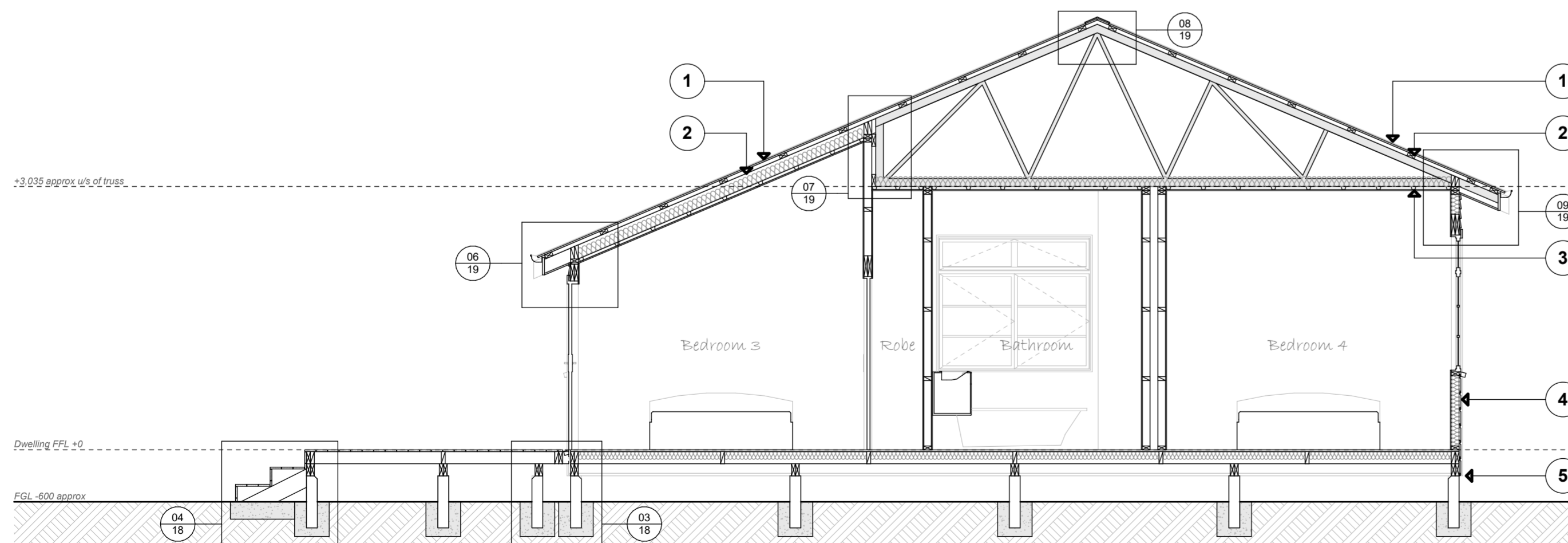
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Cross Section A-A Scale 1:50



Cross Section B-B Scale 1:50



Cross Section C-C Scale 1:50

**Project Status:** Building Consent

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All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

**Site Notes:**

Valuation Legal: LOT 3 DP 1679  
Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps  
Exposure Zone: Zone C  
Earthquake Zone: Zone 3

**Note Exposure Zone C:**

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

**Cross Section Notes:**

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**Dwelling Cross Section Key:**

- New Roof Cladding:**  
Colorsteel Endura 0.4bmt corrugated cladding to match existing  
ThermaKraft CoverTek 407 roofing underlay  
Continuous Quartz 135mm 0.55bmt quarter round gutter  
Pre-primed timber fascia  
Timber tongue and groove soffits to match existing
- New Roof Framing:**  
90x45mm H1.2 purlins on flat (outriggers) at 750 max centres  
90x45 SG8 H1.2 Trusses at 900 centres  
140x45 SG8 H1.2 Stringers for truss fixing  
150x45 HySPAN Rafters at 600 centres
- New Ceilings / Internal Wall Linings:**  
13mm GIB Plasterboard ceiling linings- Refer Reflected Ceiling Plan  
GIB Rondo 310 ceiling battens at 450mm centres  
115mm Mammoth R2.9 Skillion Ceiling Insulation to new raked ceilings  
200mm Mammoth R3.2 Ceiling Insulation Blanket to new flat ceilings  
10mm GIB Plasterboard wall linings  
9mm James Hardie Villaboard wall linings to wet areas to be tiled
- New Walls / Building Envelope:**  
Horizontal bevelback and rusticated timber cladding to match existing  
Wall cladding direct fixed to wall framing  
ThermaKraft CoverTek 407 wall underlay  
Double glazed timber joinery to match existing  
90mm Mammoth R2.2 wall insulation sections to new areas
- New Foundations:**  
19mm CHH Ecoply plywood flooring (H3.2 to wet areas) with selected finish  
140x45 H3.2 floor joists at 400mm centres  
2/140x45 H3.2 bearers, 125x125 H5 piles / anchor piles  
25mm H3.2 baseboards with 20mm gap between  
90mm Mammoth R1.9 Underfloor Insulation Sections to new areas
- New Covered Outdoor Area Roof Cladding:**  
Colorsteel Endura 0.4bmt corrugated cladding to match existing  
ThermaKraft CoverTek 407 roofing underlay  
Continuous Quartz 135mm 0.55bmt quarter round gutter  
Pre-primed timber fascia  
Timber tongue and groove soffits to match existing
- New Covered Outdoor Area Roof Framing:**  
90x45mm H1.2 purlins on flat (outriggers) at 750 max centres  
90x45 SG8 H1.2 Trusses at 900 centres  
Prolam PLP12H5-250PP appearance grade 220x220mm posts  
Prolam PLV12H3-300100PP appearance grade 290x88mm beams
- New Covered Outdoor Area Ceiling:**  
7.5mm James Hardie HardieGroove ceiling linings  
70x35mm H1.2 timber ceiling battens at 450 centres
- New Covered Outdoor Area Fireplace:**  
Escea EF5000 outdoor gas fireplace  
20 Series masonry block chimney- refer separate Construction Details

**Drawing Title:**

Dwelling Cross Sections

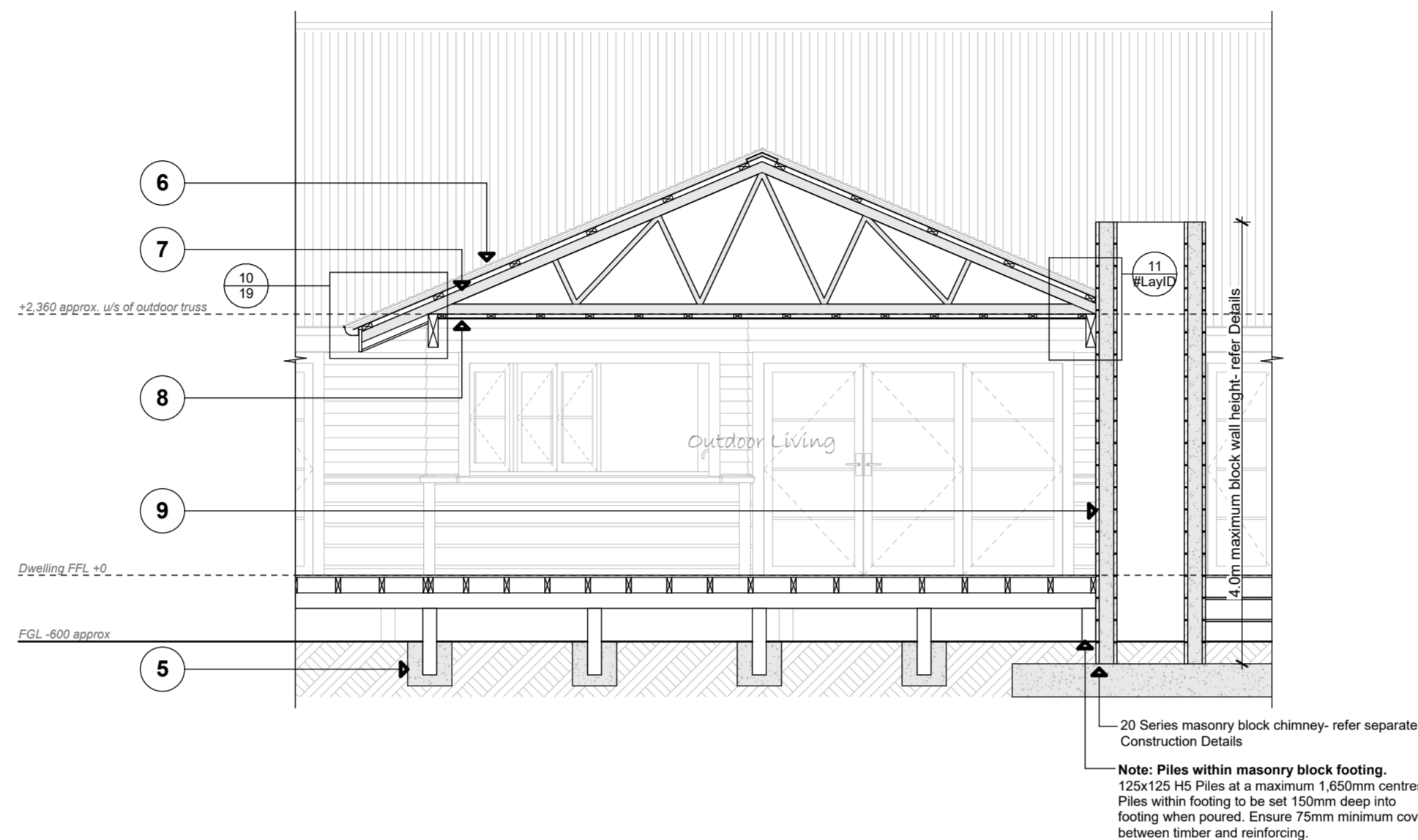
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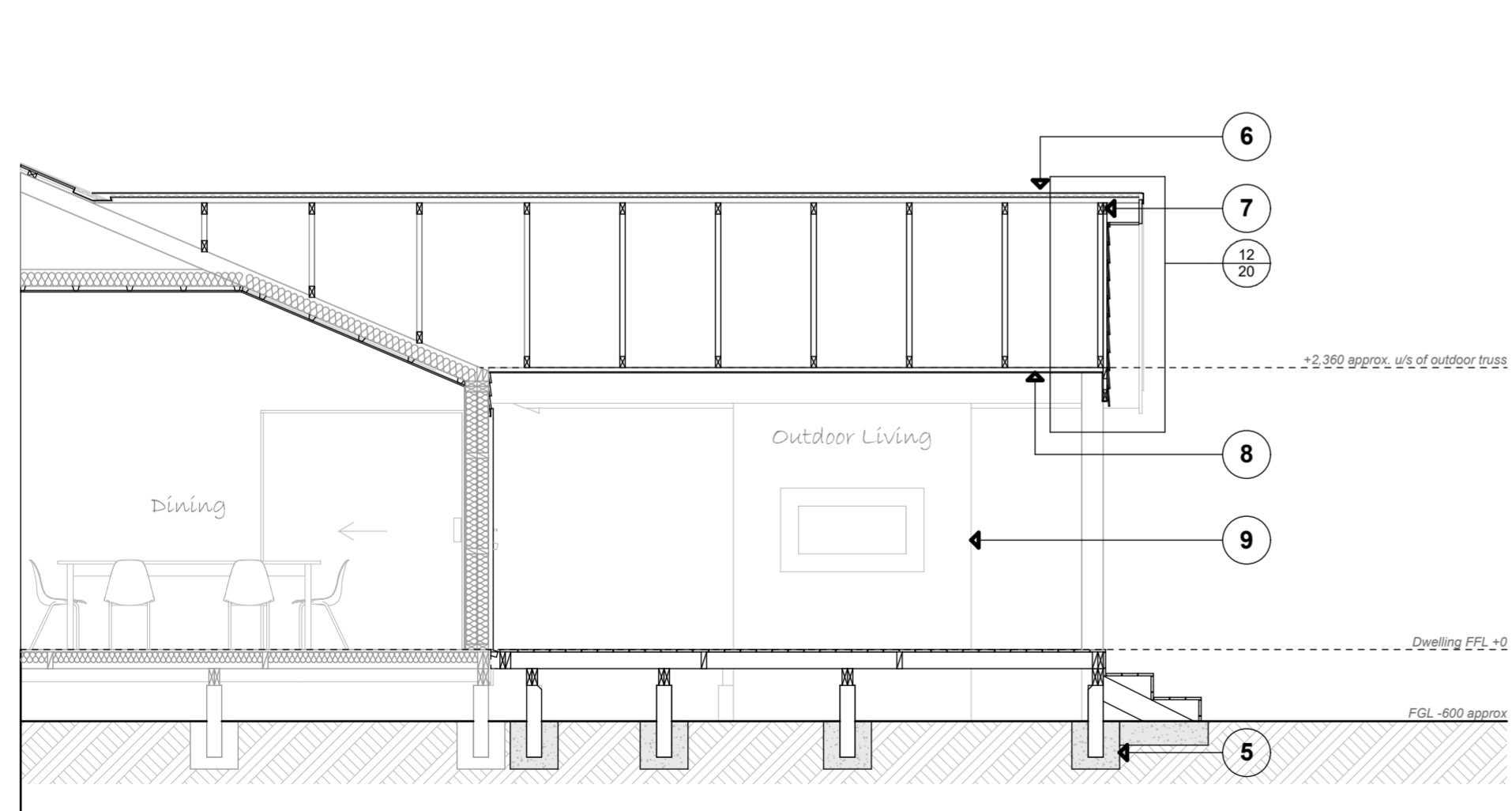
Checked: S Kingsbeer Date Issued: 12/04/2022

Variation Number: 01 Sheet #: 13 of 24

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Cross Section D-D Scale 1:50



Cross Section E-E Scale 1:50

**Dwelling Cross Section Key:**

- 1 New Roof Cladding:**  
*'Colorsteel Endura' 0.4bmt corrugated cladding to match existing*  
*'ThermaKraft CoverTek 407' roofing underlay*  
*'Continuous Quartz' 135mm 0.55bmt quarter round gutter*  
*Pre-primed timber fascia*  
*Timber tongue and groove soffits to match existing*
- 2 New Roof Framing:**  
*90x45mm H1.2 purlins on flat (outriggers) at 750 max centres*  
*90x45 SG8 H1.2 Trusses at 900 centres*  
*140x45 SG8 H1.2 Stringers for truss fixing*  
*150x45 HySPAN Rafters at 600 centres*
- 3 New Ceilings / Internal Wall Linings:**  
*13mm 'GIB Plasterboard' ceiling linings- Refer Reflected Ceiling Plan*  
*'GIB Rondo 310' ceiling battens at 450mm centres*  
*115mm 'Mammoth' R2.9 Skillion Ceiling Insulation to new raked ceilings*  
*200mm 'Mammoth' R3.2 Ceiling Insulation Blanket to new flat ceilings*  
*10mm 'GIB Plasterboard' wall linings*  
*9mm 'James Hardie Villaboard' wall linings to wet areas to be tiled*
- 4 New Walls / Building Envelope:**  
*Horizontal bevelback and rusticated timber cladding to match existing*  
*Wall cladding direct fixed to wall framing*  
*'ThermaKraft CoverTek 407' wall underlay*  
*Double glazed timber joinery to match existing*  
*90mm 'Mammoth' R2.2 wall insulation sections to new areas*
- 5 New Foundations:**  
*19mm 'CHH Ecopy' plywood flooring (H3.2 to wet areas) with selected finish*  
*140x45 H3.2 floor joists at 400mm centres*  
*2/140x45 H3.2 bearers, 125x125 H5 piles / anchor piles*  
*25mm H3.2 baseboards with 20mm gap between*  
*90mm 'Mammoth' R1.9 Underfloor Insulation Sections to new areas*
- 6 New Covered Outdoor Area Roof Cladding:**  
*'Colorsteel Endura' 0.4bmt corrugated cladding to match existing*  
*'ThermaKraft CoverTek 407' roofing underlay*  
*'Continuous Quartz' 135mm 0.55bmt quarter round gutter*  
*Pre-primed timber fascia*  
*Timber tongue and groove soffits to match existing*
- 7 New Covered Outdoor Area Roof Framing:**  
*90x45mm H1.2 purlins on flat (outriggers) at 750 max centres*  
*90x45 SG8 H1.2 Trusses at 900 centres*  
*Prolam PLL12H5-250PP appearance grade 220x220mm posts*  
*Prolam PVL12H3-300100PP appearance grade 290x88mm beams*
- 8 New Covered Outdoor Area Ceiling:**  
*7.5mm 'James Hardie HardieGroove' ceiling linings*  
*70x35mm H1.2 timber ceiling battens at 450 centres*
- 9 New Covered Outdoor Area Fireplace:**  
*'Escea EF5000' outdoor gas fireplace*  
*20 Series masonry block chimney- refer separate Construction Details*

**Project Status: Building Consent**

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

**Site Notes:**

Valuation Legal: LOT 3 DP 1679  
Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps  
Exposure Zone: Zone C  
Earthquake Zone: Zone 3

**Note Exposure Zone C:**

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

**Cross Section Notes:**

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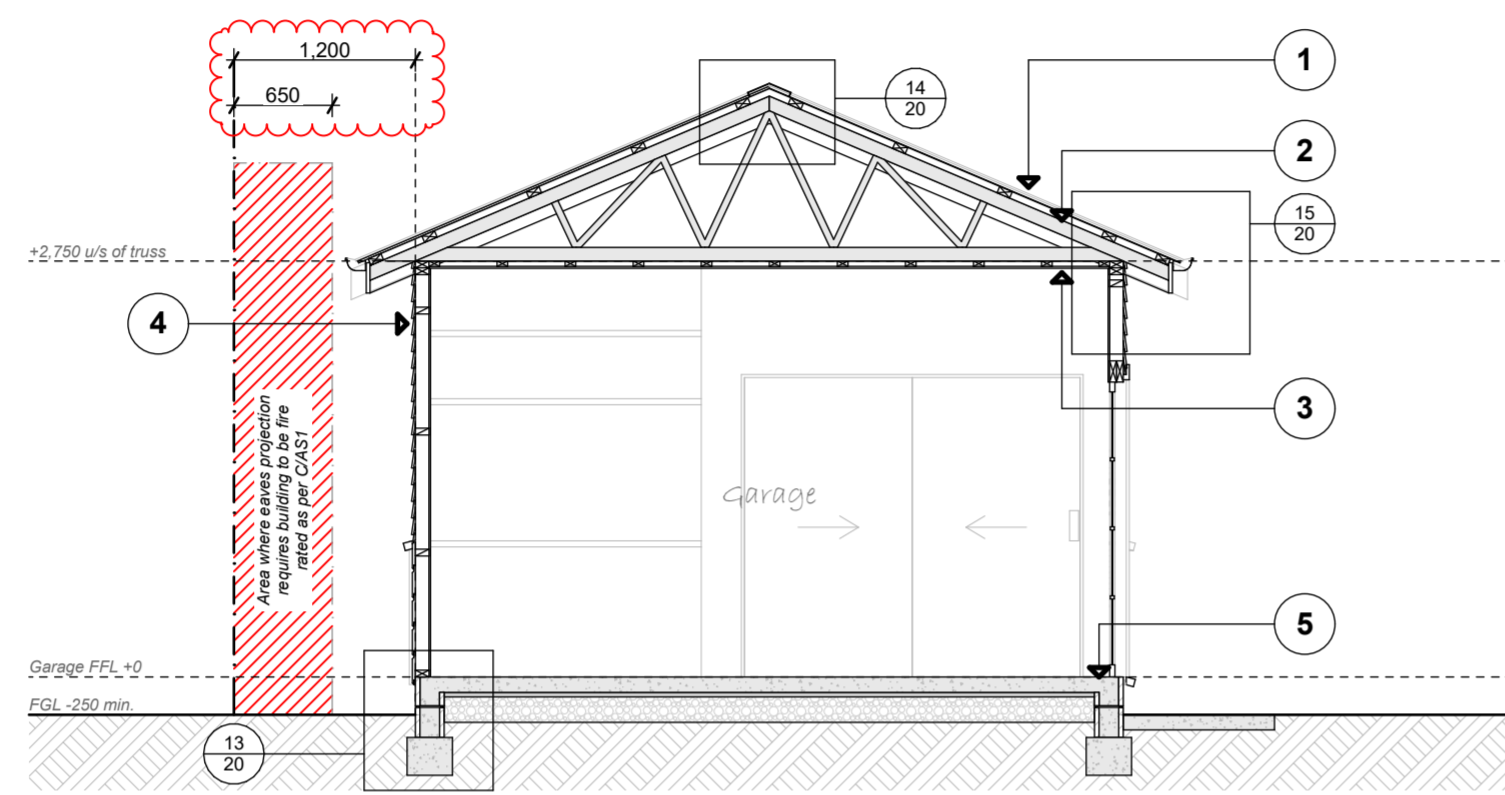
**Drawing Title:**

**Dwelling Cross Sections**

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Cross Section F-F Scale 1:50

- Garage Cross Section Key:**
- 1 **New Garage Roof Cladding:**  
 'Colorsteel Endura' 0.4mt corrugated cladding to match existing  
 'ThermaKraft CoverTek 407' roofing underlay  
 'Continuous Quartz' 135mm 0.55mt quarter round gutter  
 Pre-primed timber fascia  
 Timber tongue and groove soffits to match existing
  - 2 **New Garage Roof Framing:**  
 90x45mm H1.2 purlins on flat (outriggers) at 750 max centres  
 90x45 SG6 H1.2 Trusses at 900 centres
  - 3 **New Garage Ceilings:**  
 12mm 'CHH Ecoply' Structural Ceiling Diaphragm to main Garage  
 12mm 'CHH Ecoply' ceiling linings to Garage Store / Pump Room  
 70x35mm H1.2 timber ceiling battens at 450mm centres
  - 4 **New Garage Walls / Building Envelope:**  
 Horizontal bevelback and rusticated timber cladding to match existing  
 Wall cladding direct fixed to wall framing  
 'ThermaKraft CoverTek 407' wall underlay  
 Double glazed timber joinery to match existing
  - 5 **New Garage Foundations:**  
 100mm thick concrete slab-on-grade floor  
 20 Series masonry block foundation

**Project Status:** Building Consent

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**Site Notes:**

Valuation Legal: LOT 3 DP 1679  
 Valuation Address: 6 Tukura Road Inner Kaiti

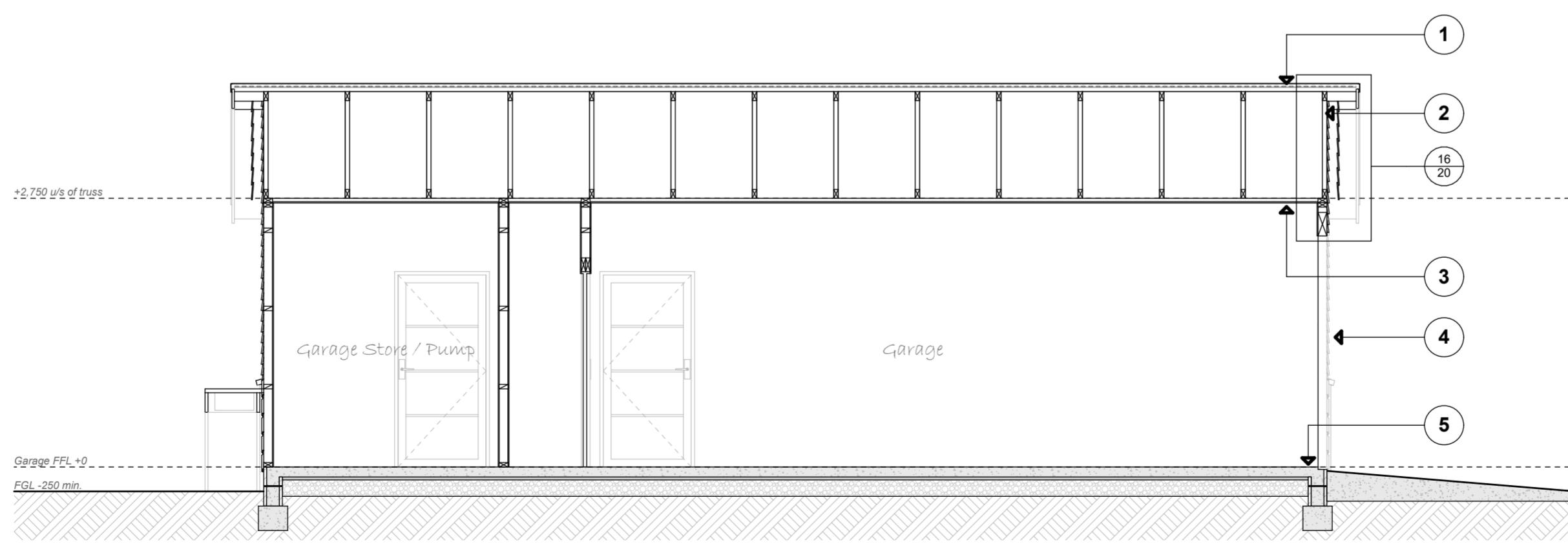
Wind Zone: High as per Branz Maps  
 Exposure Zone: Zone C  
 Earthquake Zone: Zone 3

**Note Exposure Zone C:**

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Cross Section G-G Scale 1:50

**Drawing Title:**

**Garage Cross Sections**

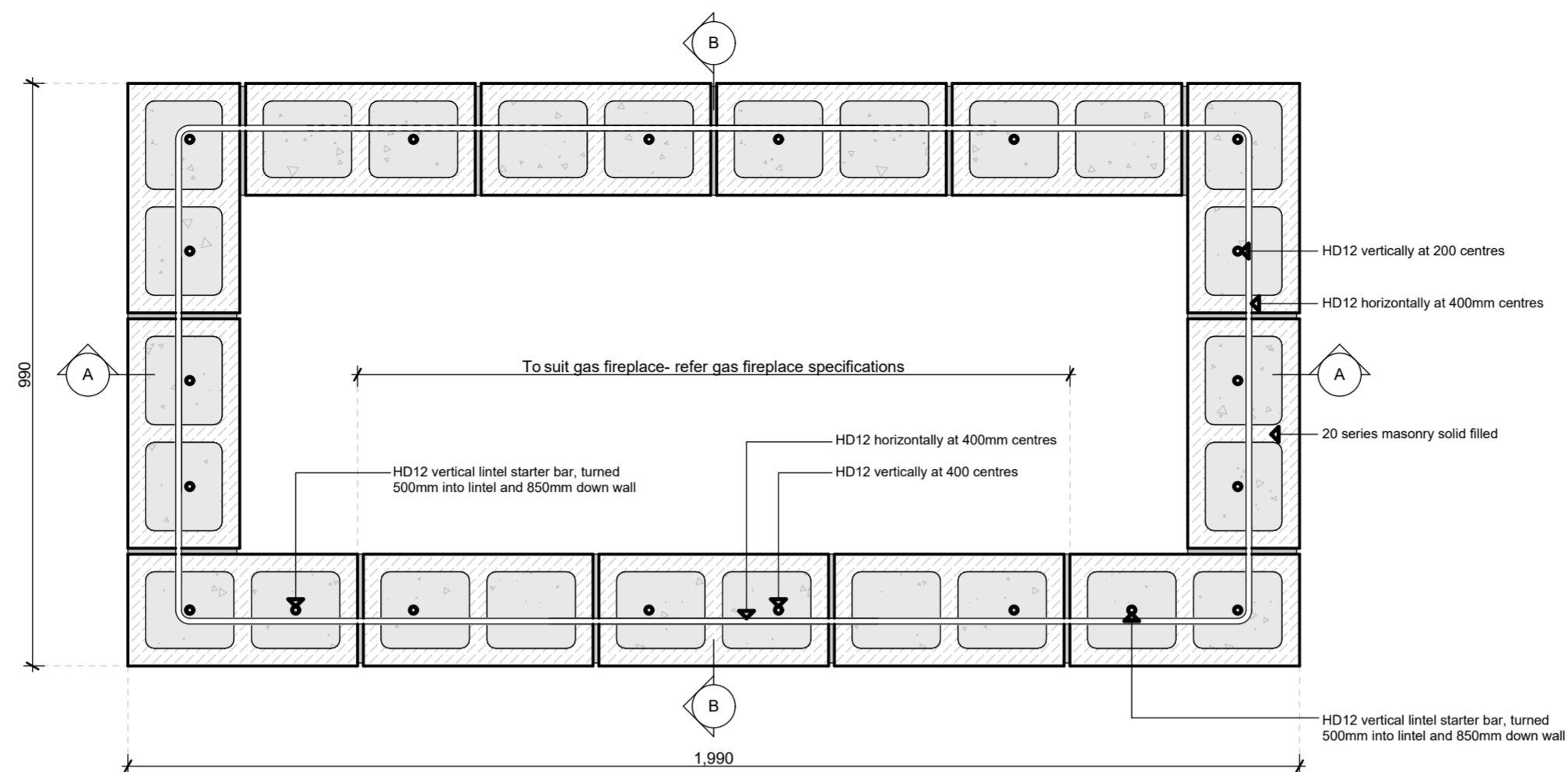
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Design: S Kingsbeer Scale: 1:50 At A2

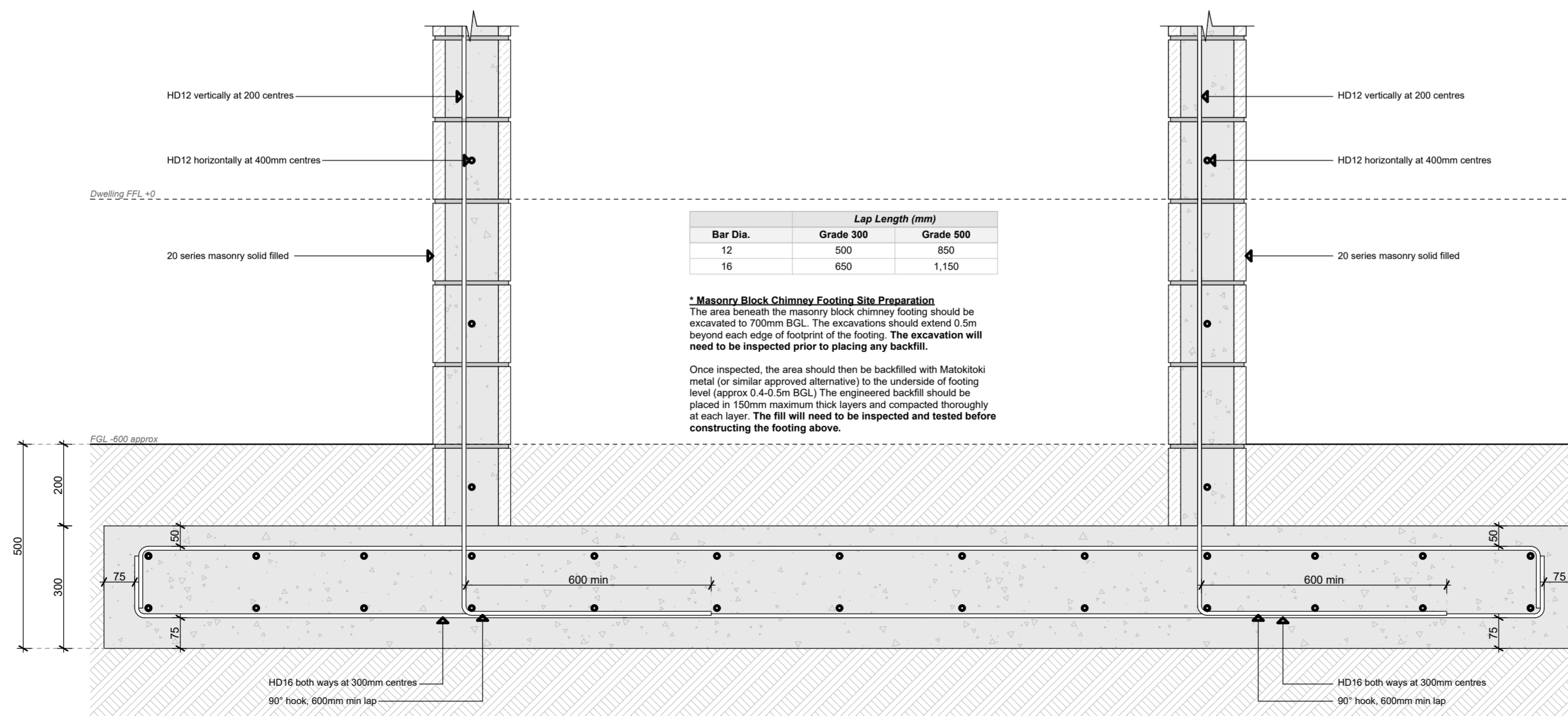
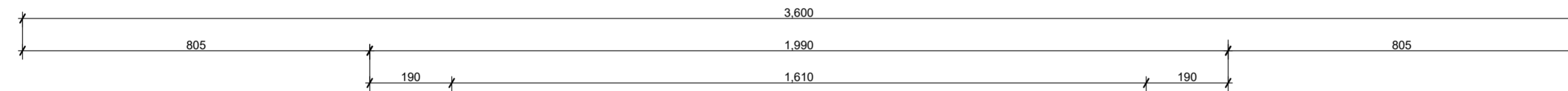
Checked: S Kingsbeer Date Issued: 12/04/2022

Variation Number: 01 Sheet #: 15 of 24

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Fireplace Construction Plan Scale 1:10



Bar Dia.	Lap Length (mm)	
	Grade 300	Grade 500
12	500	850
16	650	1,150

**\* Masonry Block Chimney Footing Site Preparation**  
The area beneath the masonry block chimney footing should be excavated to 700mm BGL. The excavations should extend 0.5m beyond each edge of footprint of the footing. **The excavation will need to be inspected prior to placing any backfill.**  
Once inspected, the area should then be backfilled with Matokitiki metal (or similar approved alternative) to the underside of footing level (approx 0.4-0.5m BGL). The engineered backfill should be placed in 150mm maximum thick layers and compacted thoroughly at each layer. **The fill will need to be inspected and tested before constructing the footing above.**

Fireplace Construction Cross Section A-A Scale 1:10

**Project Status:** Building Consent

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

**Site Notes:**

Valuation Legal: LOT 3 DP 1679  
Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps  
Exposure Zone: Zone C  
Earthquake Zone: Zone 3

**Note Exposure Zone C:**

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

**Construction Detail Notes:**

- All Work shall comply with NZS 3604:2011
- All Work shall comply with New Zealand Building Code.
- Builder to notify council inspector when stages of work are reached.
- Check detail working plans for accurate dimensions.  
"If you do not know ASK"
- All subcontractors or their management are required to have their work inspected and checked by the building contractor for the practical completion and standard of workmanship.
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- O.S.H. regulations must be implemented on site to minimize the risk of serious harm in the work place.

**Drawing Title:**

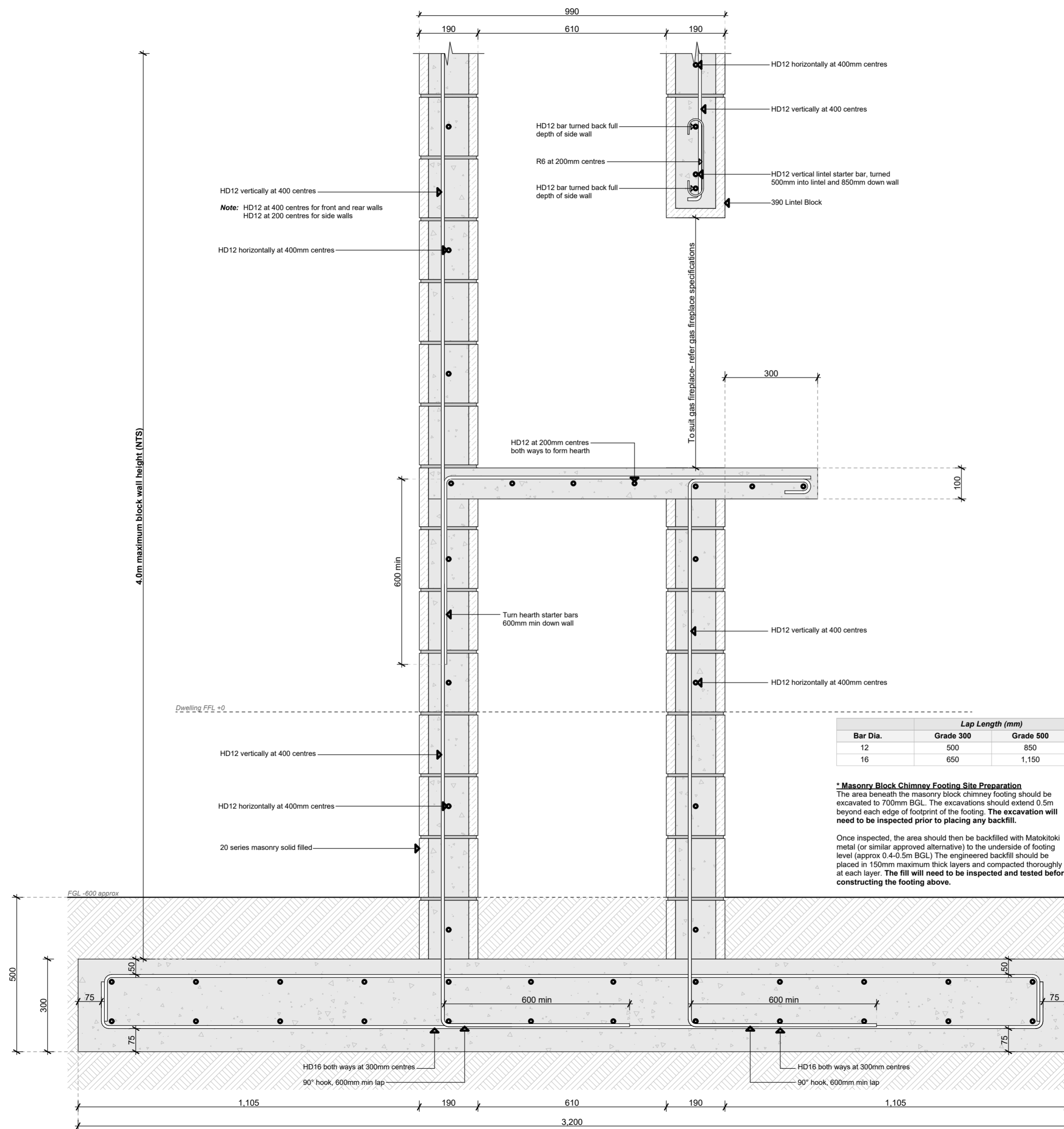
**Fireplace Construction Details**

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Design: S Kingsbeer Scale: 1:10 At A2  
Checked: S Kingsbeer Date Issued: 12/04/2022  
Variation Number: 01 Sheet #: 16 of 24

All construction to be in accordance with N.Z.B.C handbook, NZS 3604: 2011 and local Territorial Authority requirements. All measurements to be checked and confirmed on site. Plans to be read in conjunction with Specifications, Engineering, other plans as required. Do not scale from plans. Contact designer on 0304042929 for any queries or before any alterations to original plans commence on site.





Fireplace Construction Cross Section B-B Scale 1:10

**Project Status: Building Consent**

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

Site Notes:

Valuation Legal: LOT 3 DP 1679  
Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps  
Exposure Zone: Zone C  
Earthquake Zone: Zone 3

Note Exposure Zone C:

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

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Fireplace Construction Details

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Design: S Kingsbeer Scale: 1:10 At A2

Checked: S Kingsbeer Date Issued: 12/04/2022

Variation Number: 01 Sheet #: 17 of 24

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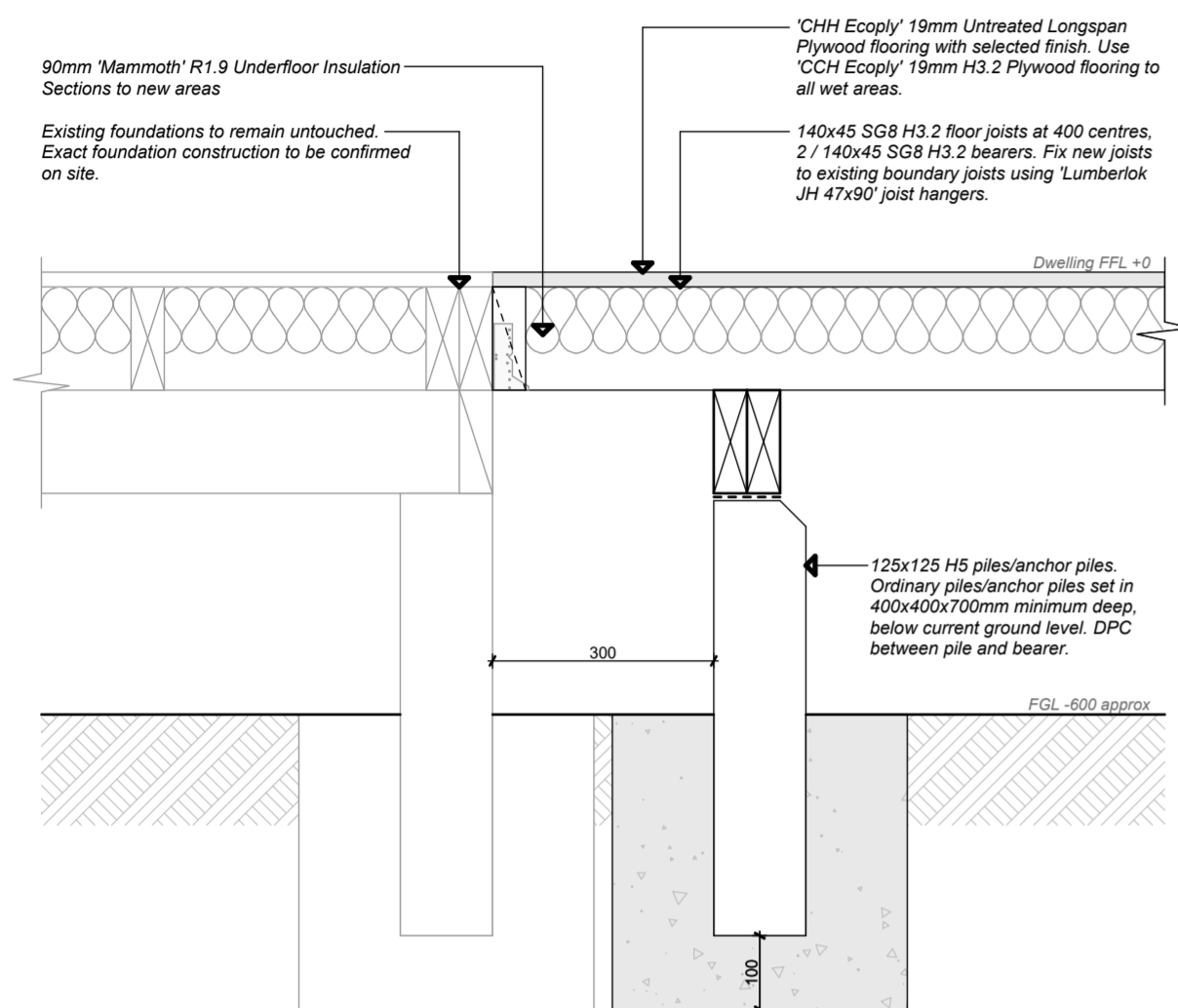
Wind Zone: High as per Branz Maps  
Exposure Zone: Zone C  
Earthquake Zone: Zone 3

Note Exposure Zone C:

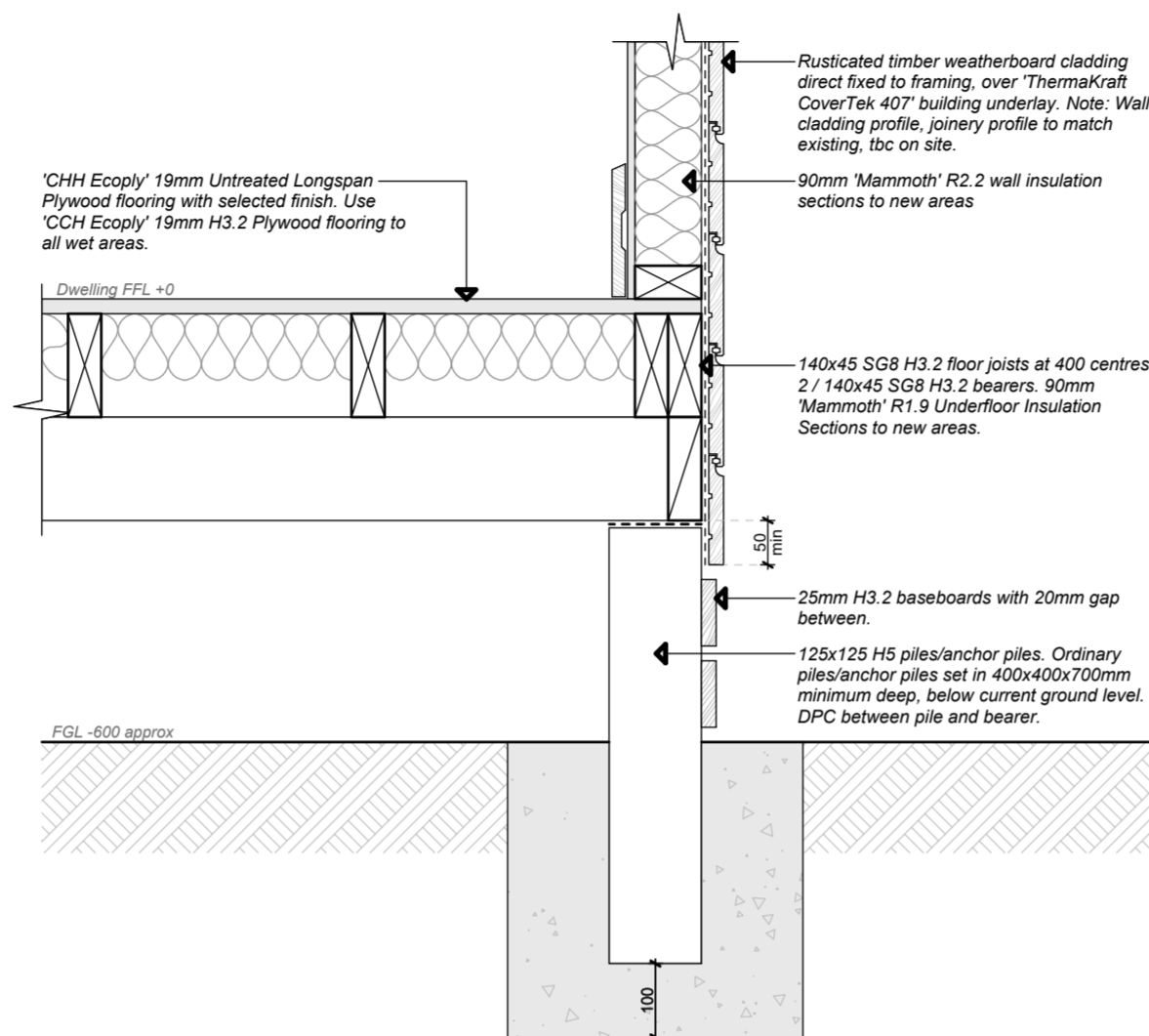
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**Construction Detail Notes:**

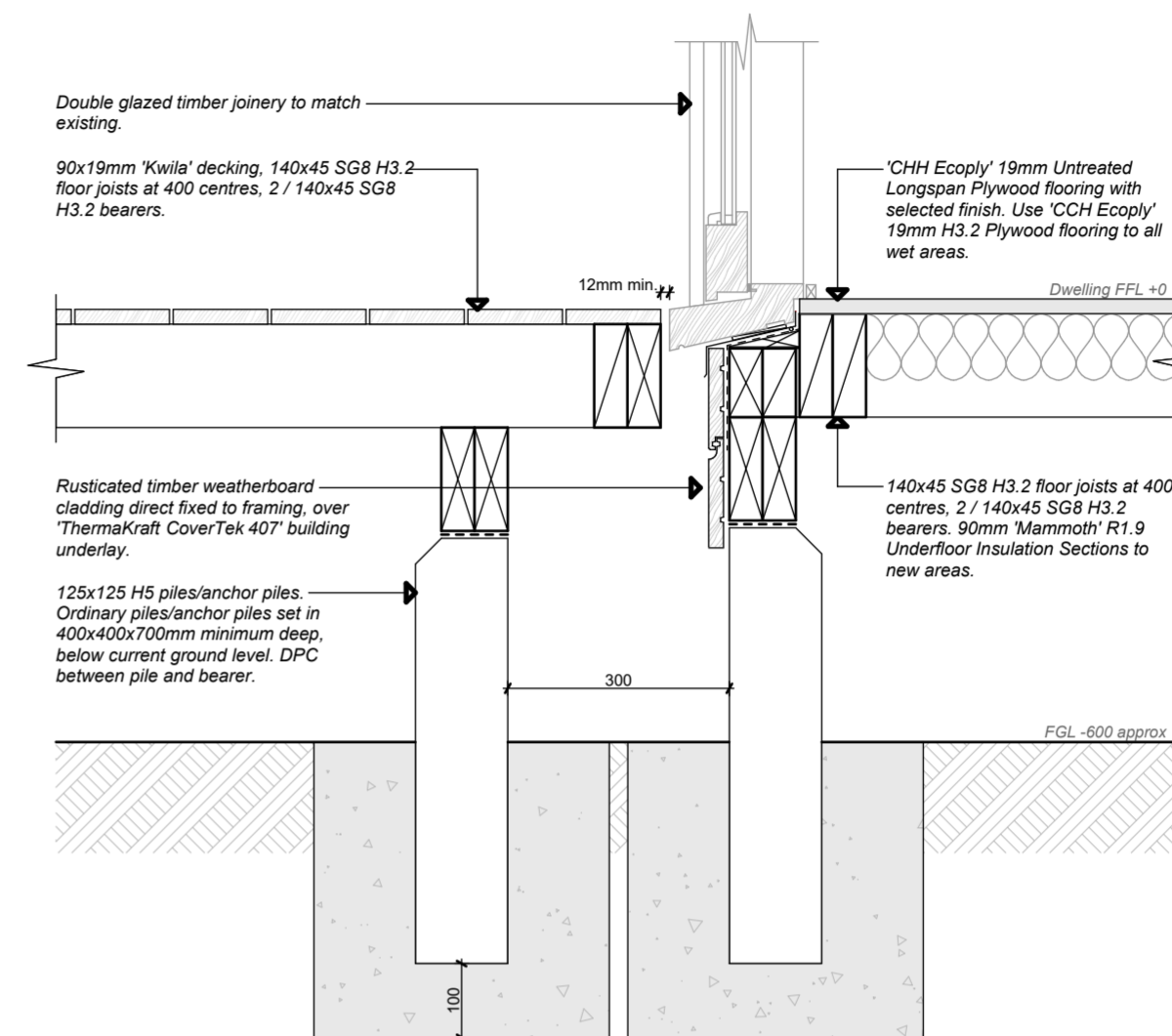
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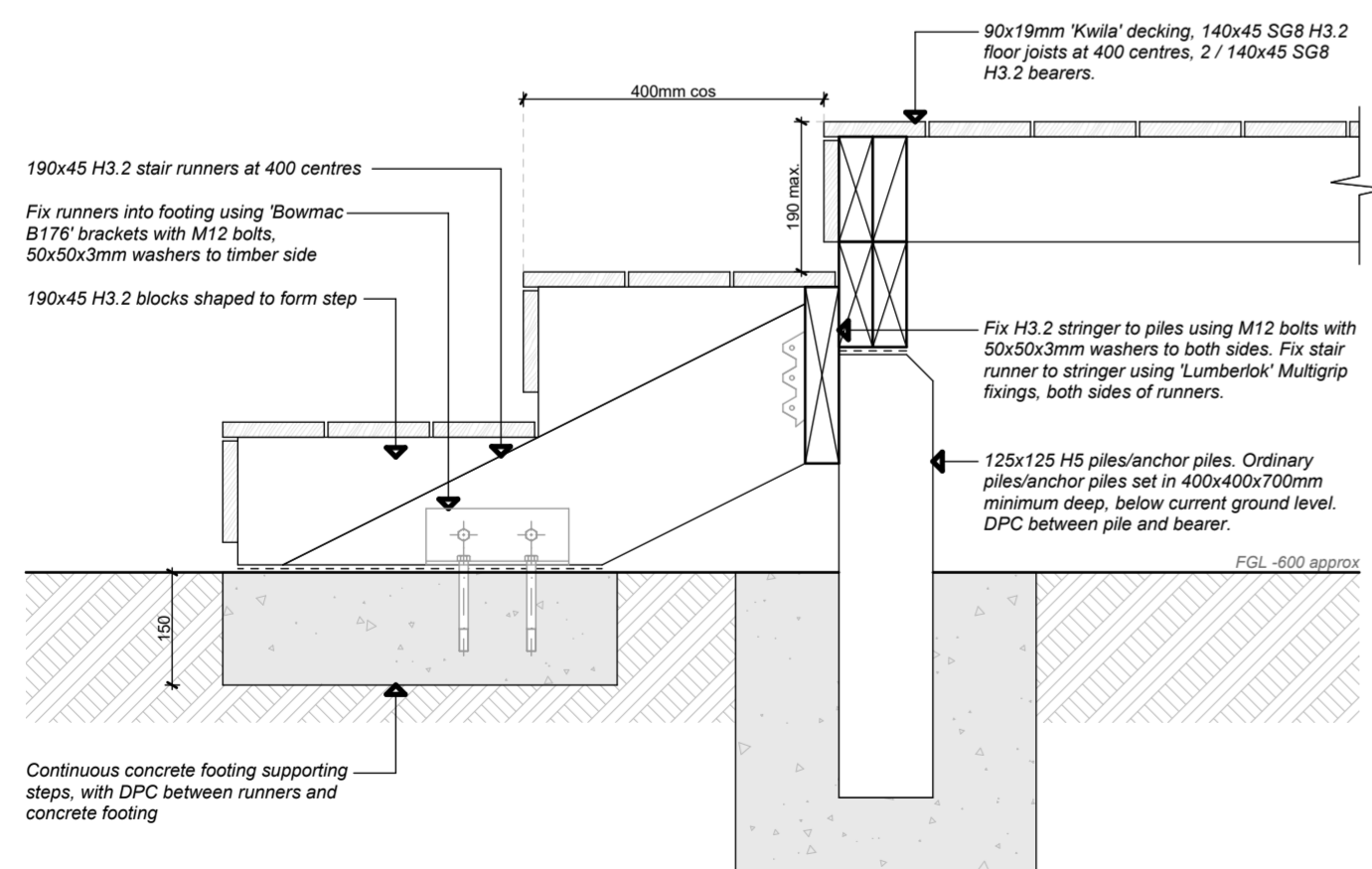
Detail 01 Scale 1:10



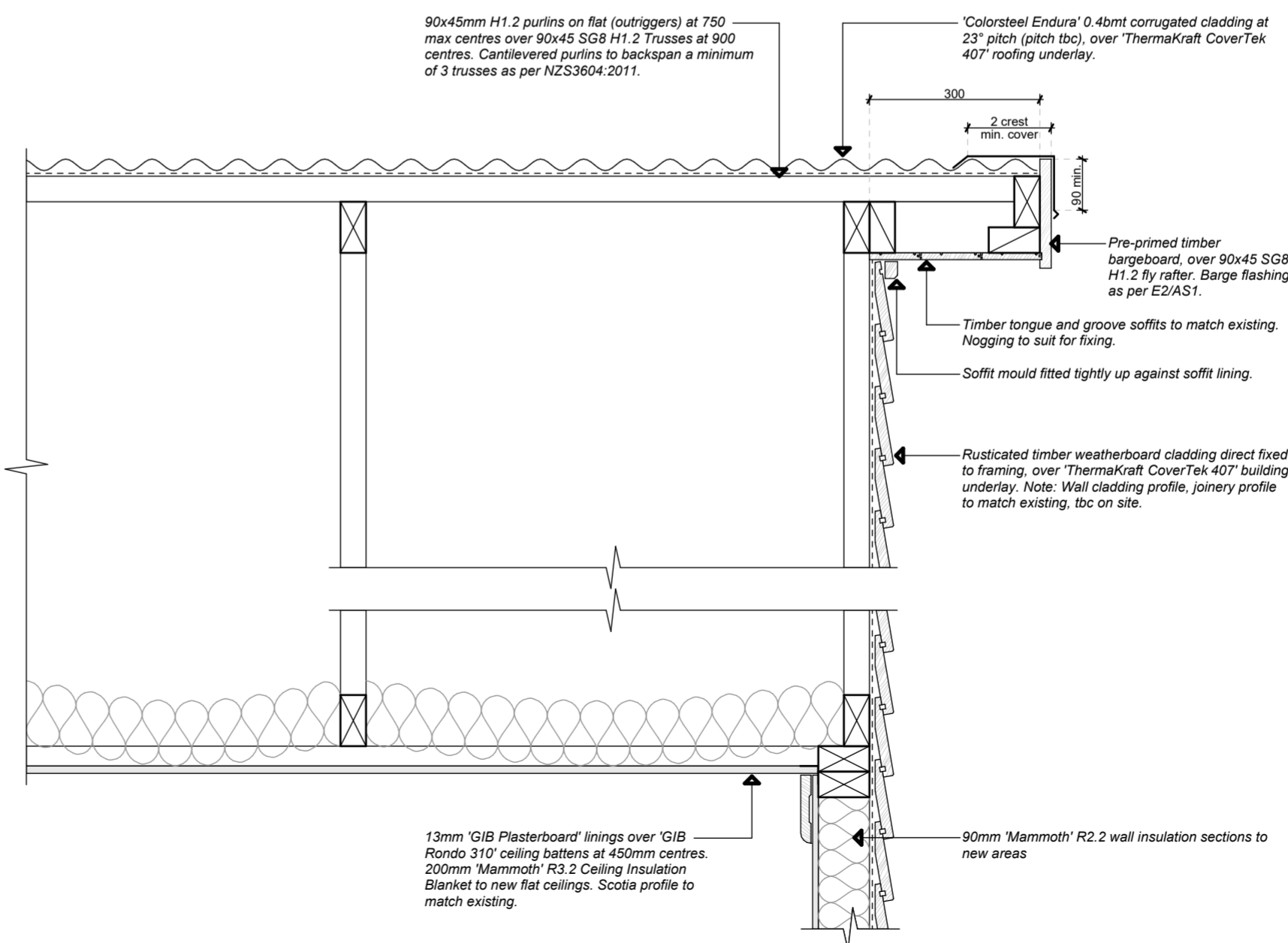
Detail 02 Scale 1:10



Detail 03 Scale 1:10



Detail 04 Scale 1:10



Detail 05 Scale 1:10

**Drawing Title:**

**Construction Details**

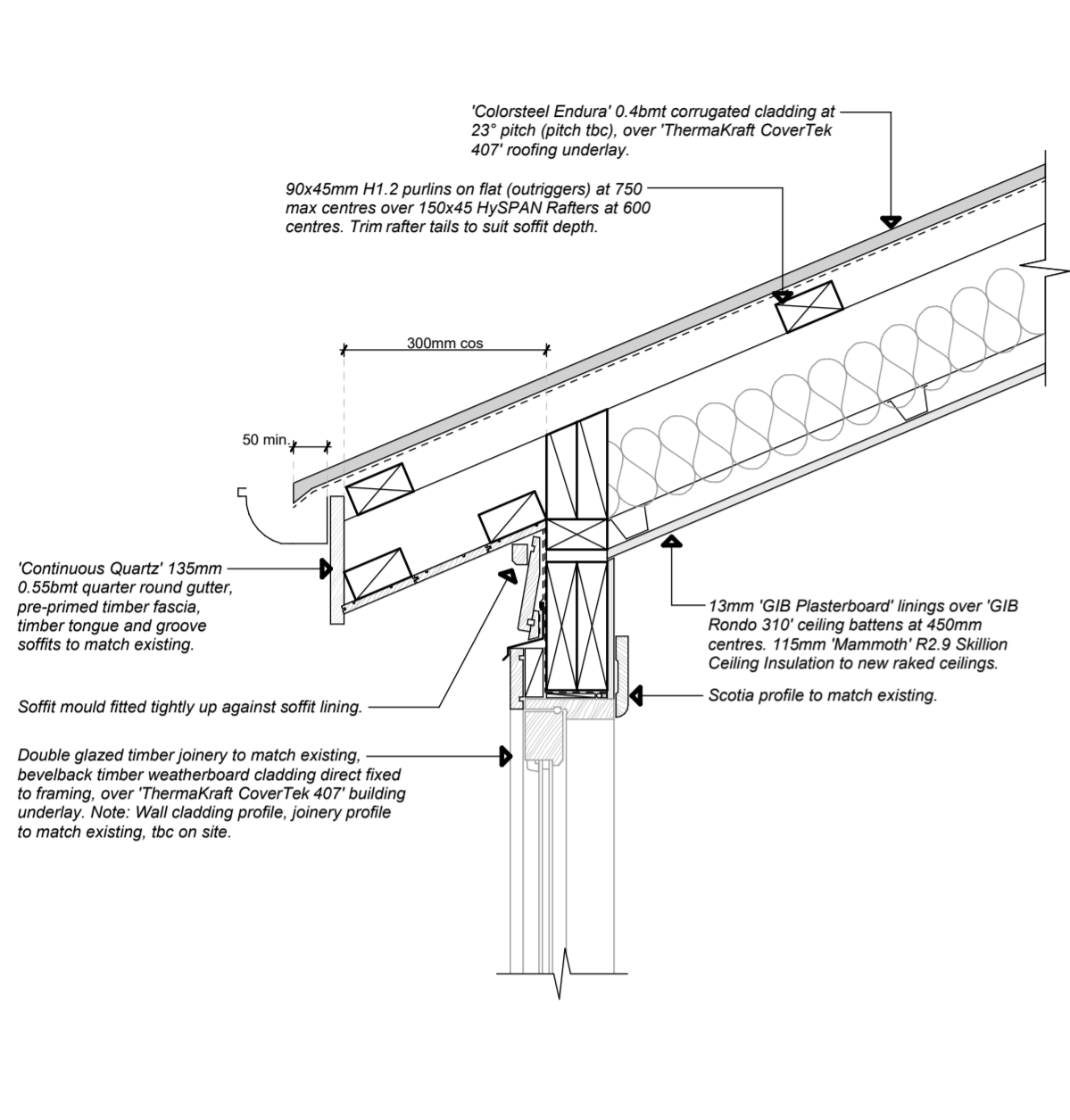
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Design: S Kingsbeer Scale: 1:10 At A2

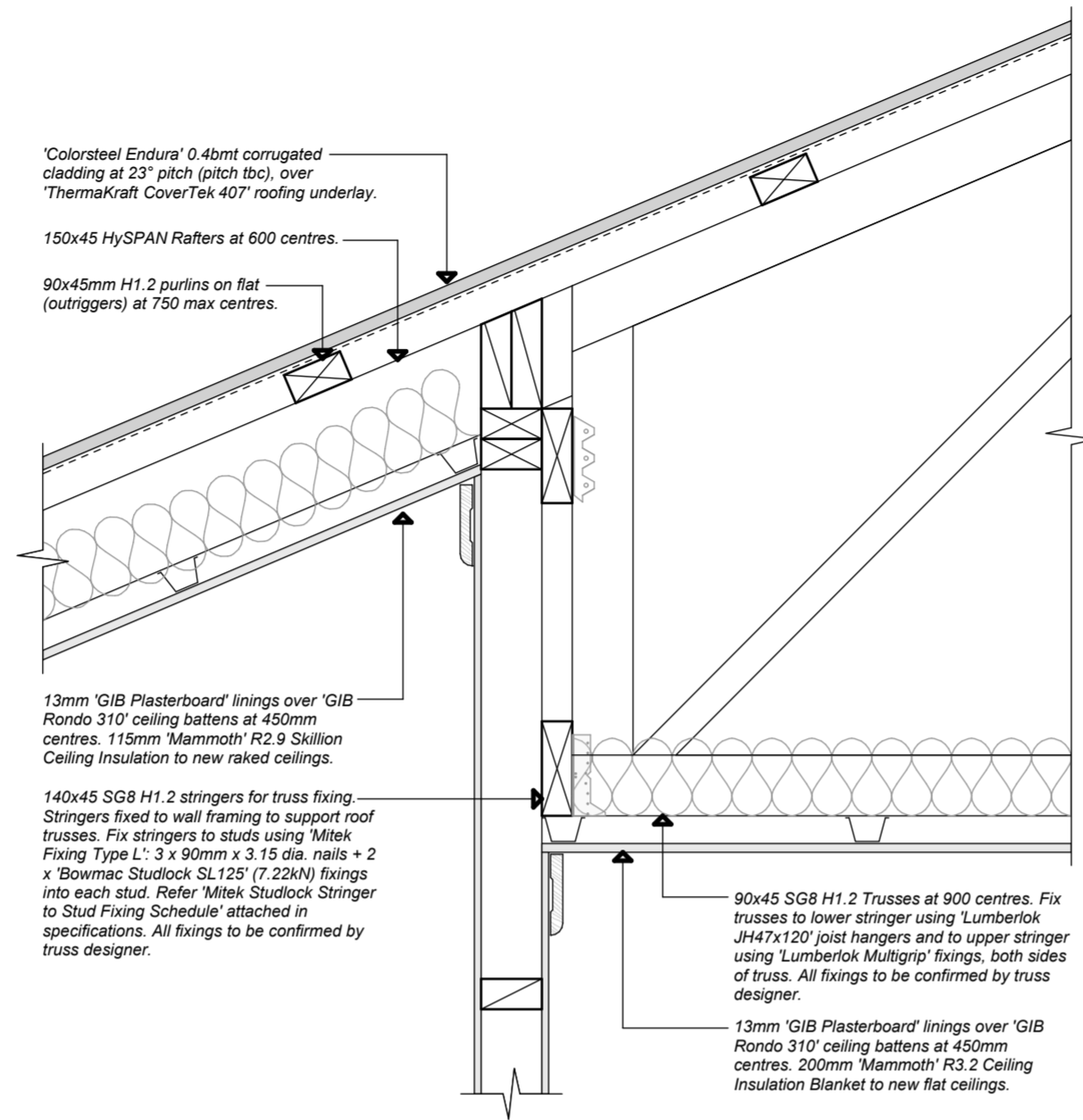
Checked: S Kingsbeer Date Issued: 12/04/2022

Variation Number: 01 Sheet #: 18 of 24

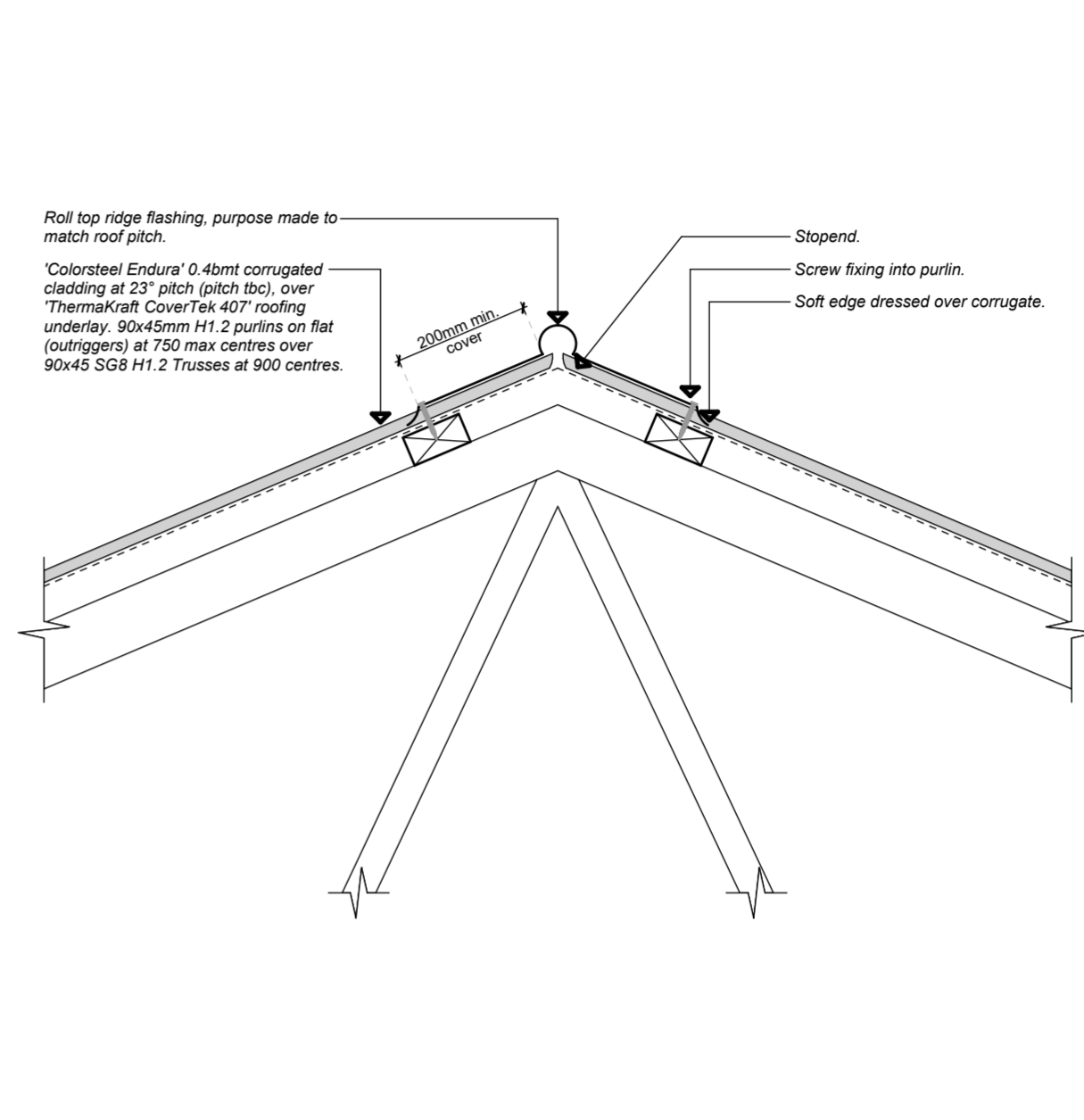
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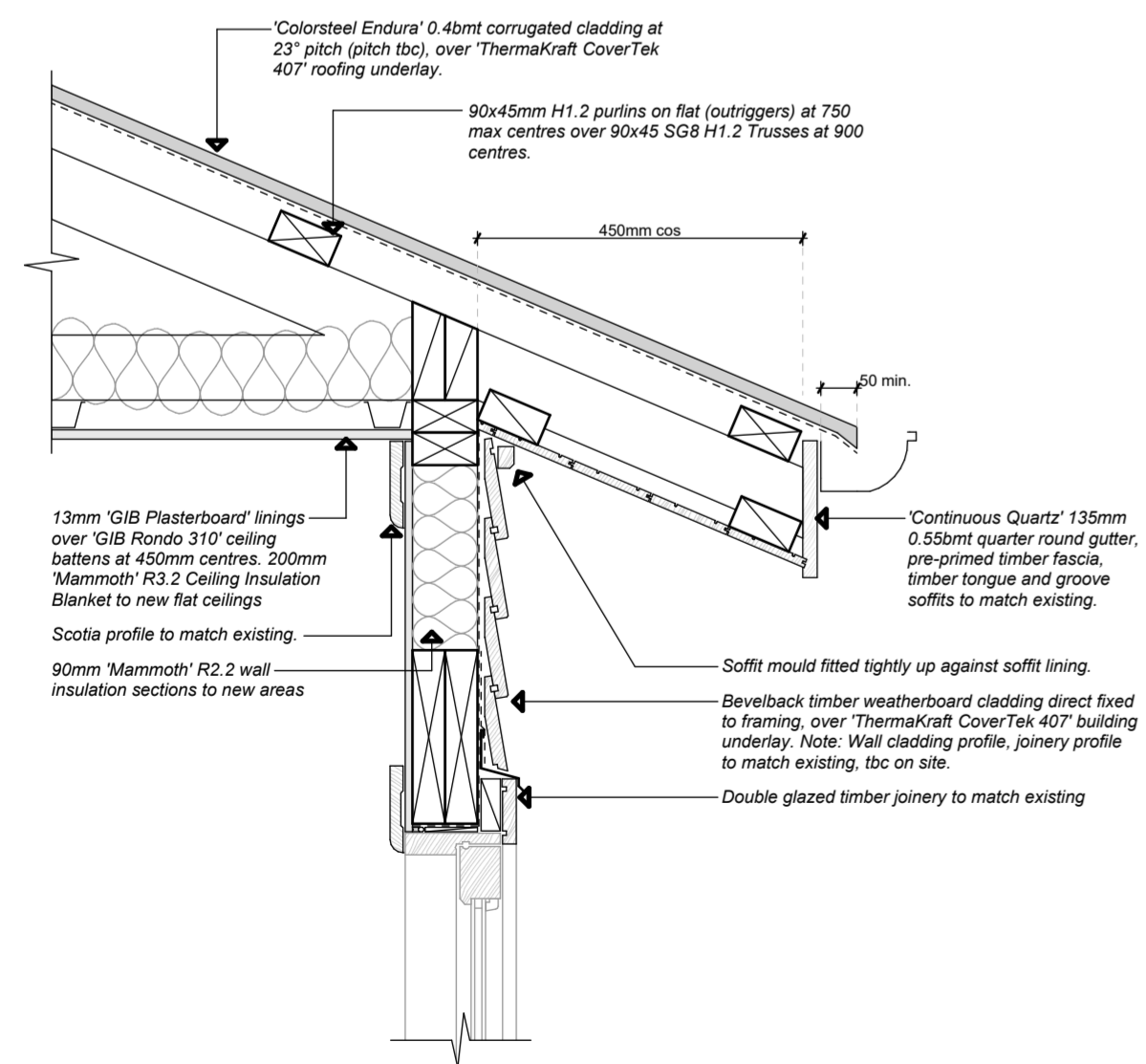
Detail 06 Scale 1:10



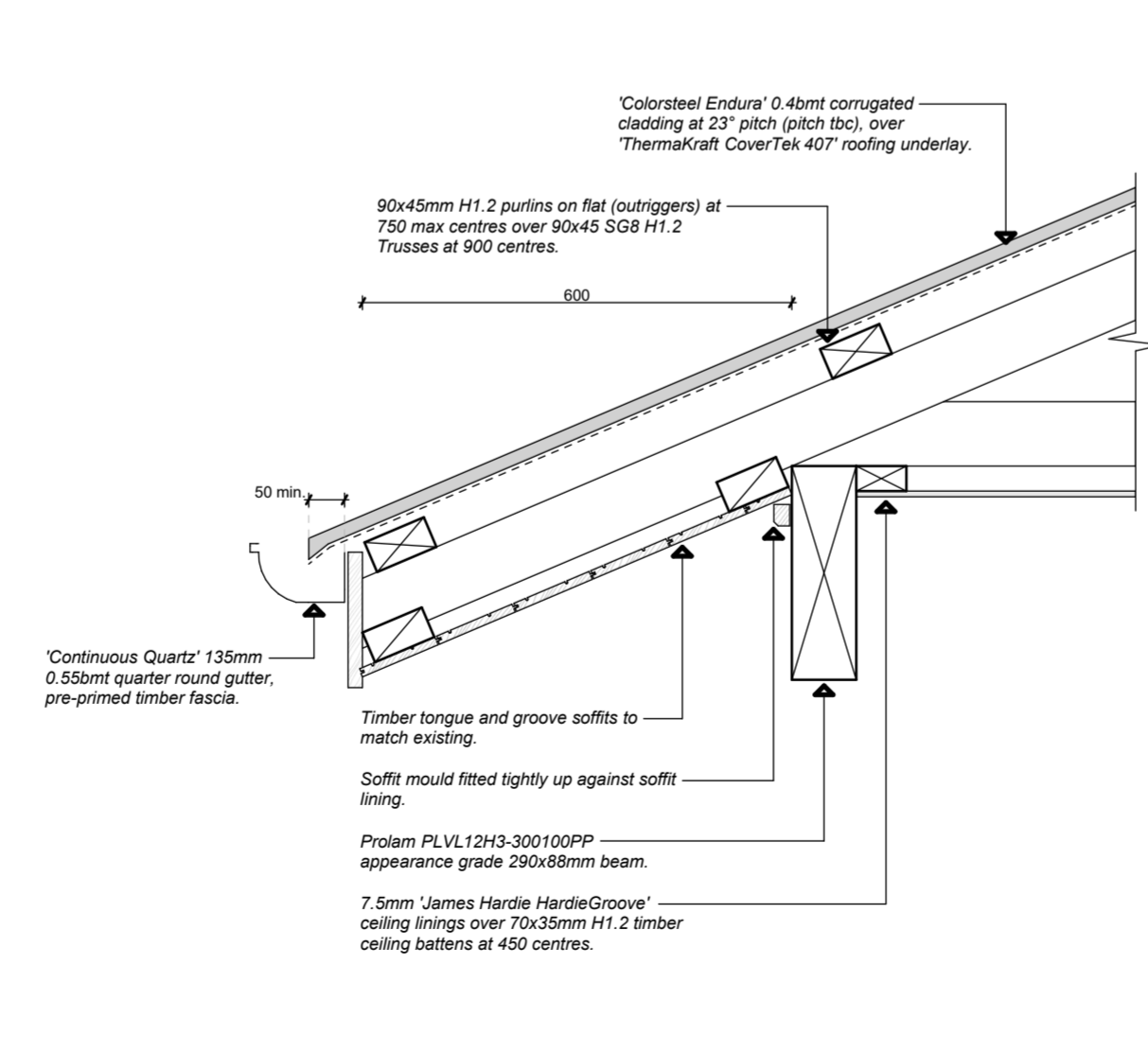
Detail 07 Scale 1:10



Detail 08 Scale 1:10



Detail 09 Scale 1:10



Detail 10 Scale 1:10

**Project Status: Building Consent**

Note: DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

**Site Notes:**

Valuation Legal: LOT 3 DP 1679  
Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps  
Exposure Zone: Zone C  
Earthquake Zone: Zone 3

**Note Exposure Zone C:**

All structural fixings (brackets, bolts, etc.) in 'Exposed' situations (Refer NZS 3604:2011 Figure 4.3(a), 4.3(b) are to be Grade 304 Stainless Steel. All structural brackets in 'Sheltered' external situations are to be Hot-Dipped Galvanised.

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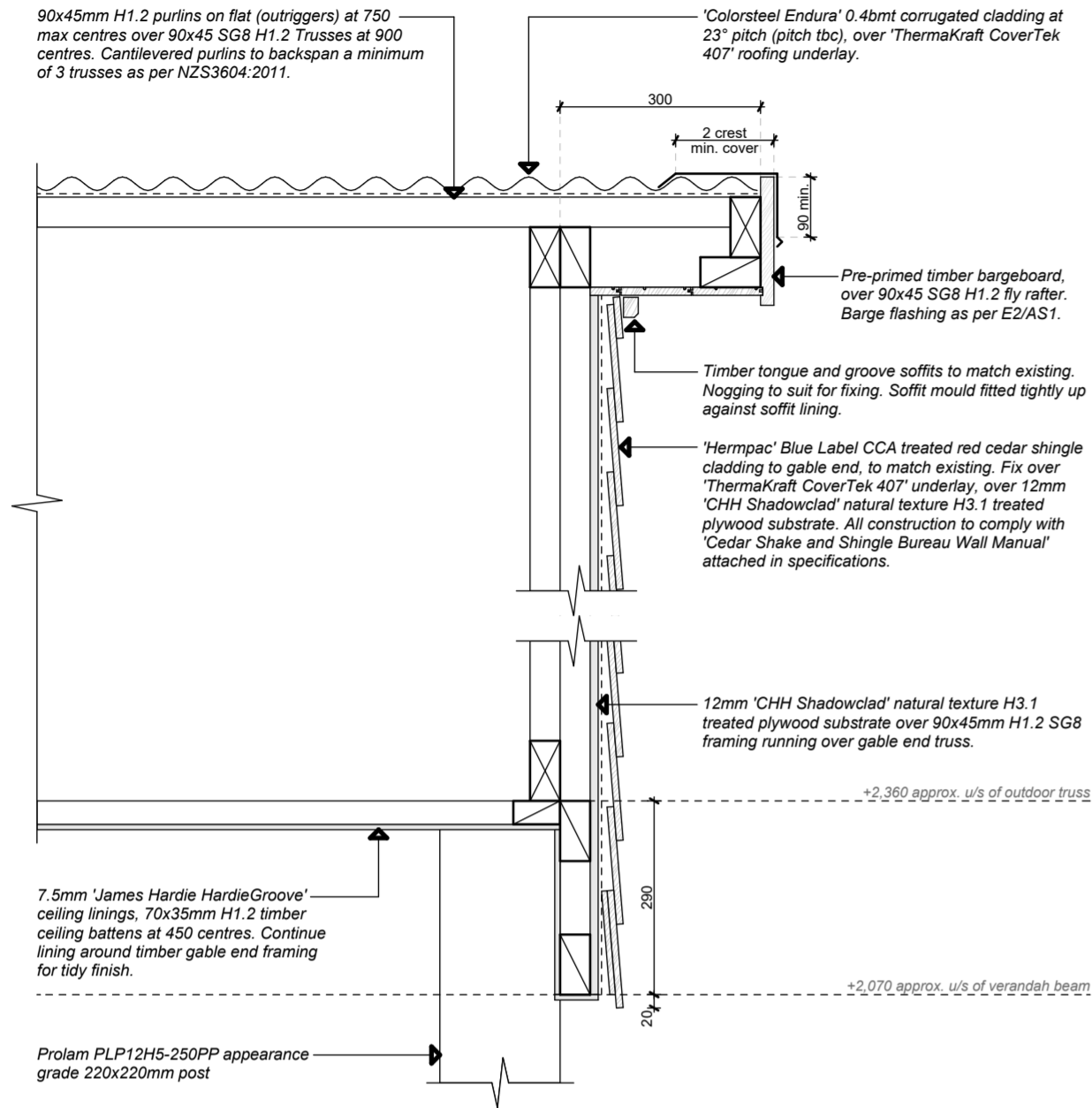
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**Construction Details**

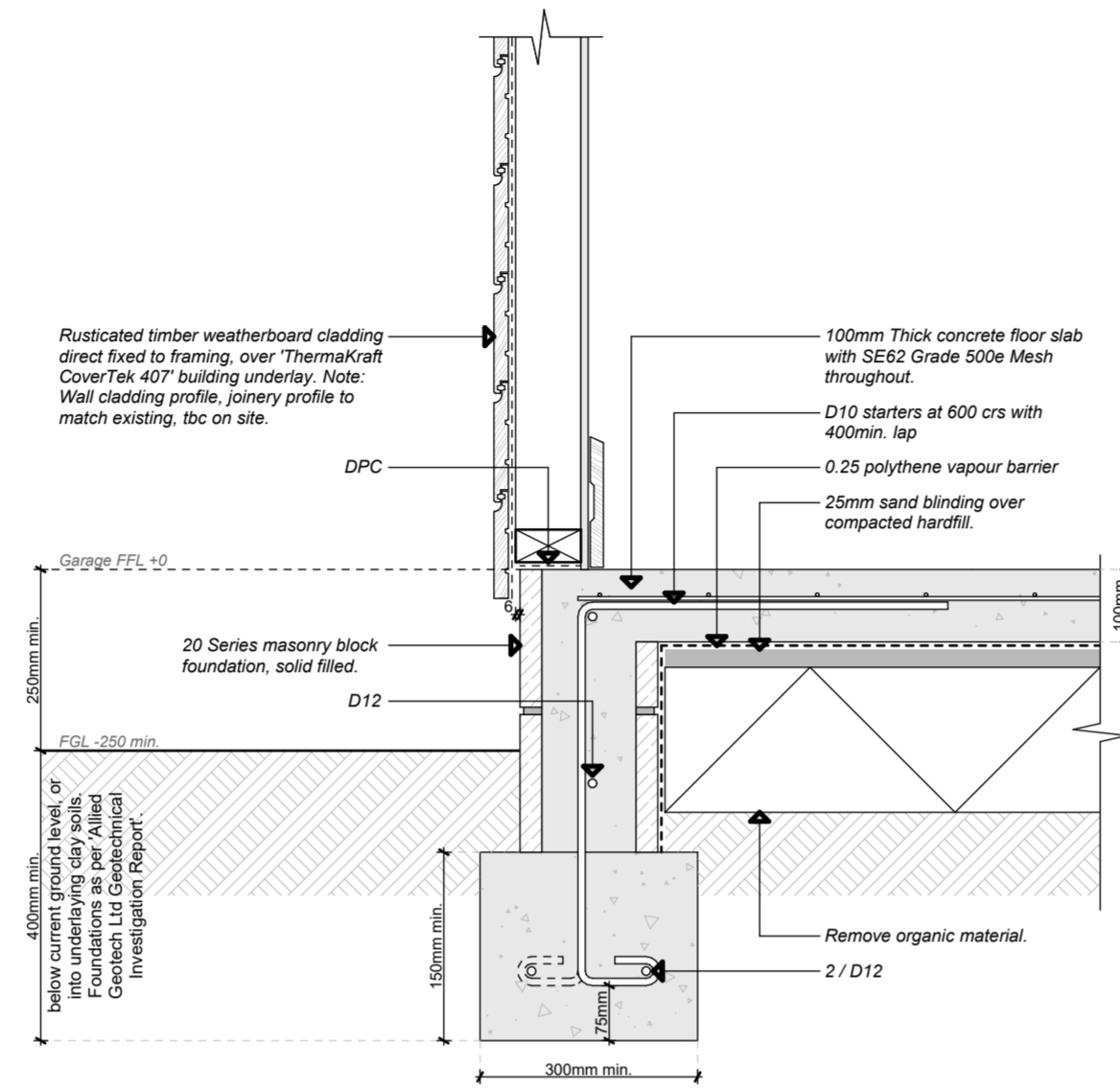
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Design:	S Kingsbeer	Scale:	1:10 A1/A2
Checked:	S Kingsbeer	Date Issued:	12/04/2022
Variation Number:	01	Sheet #:	19 of 24

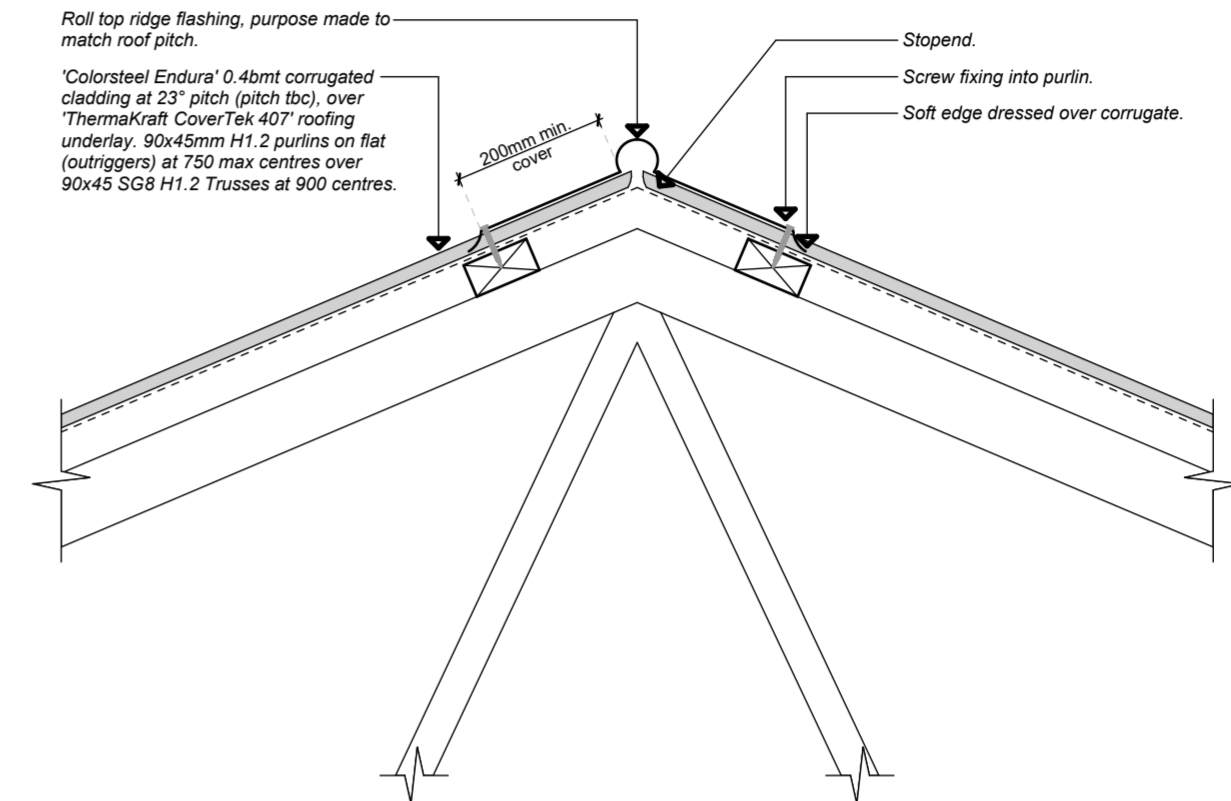
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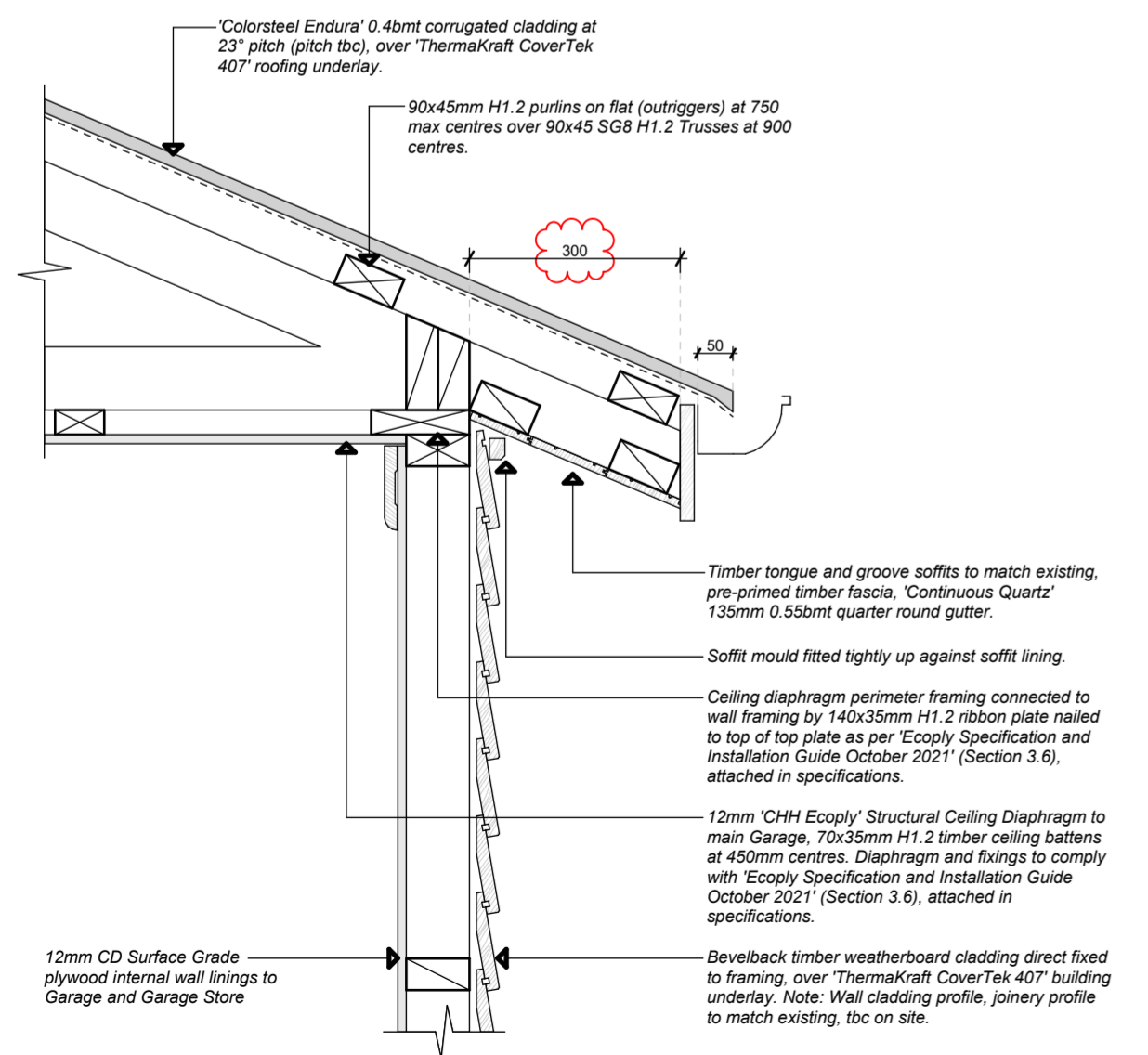
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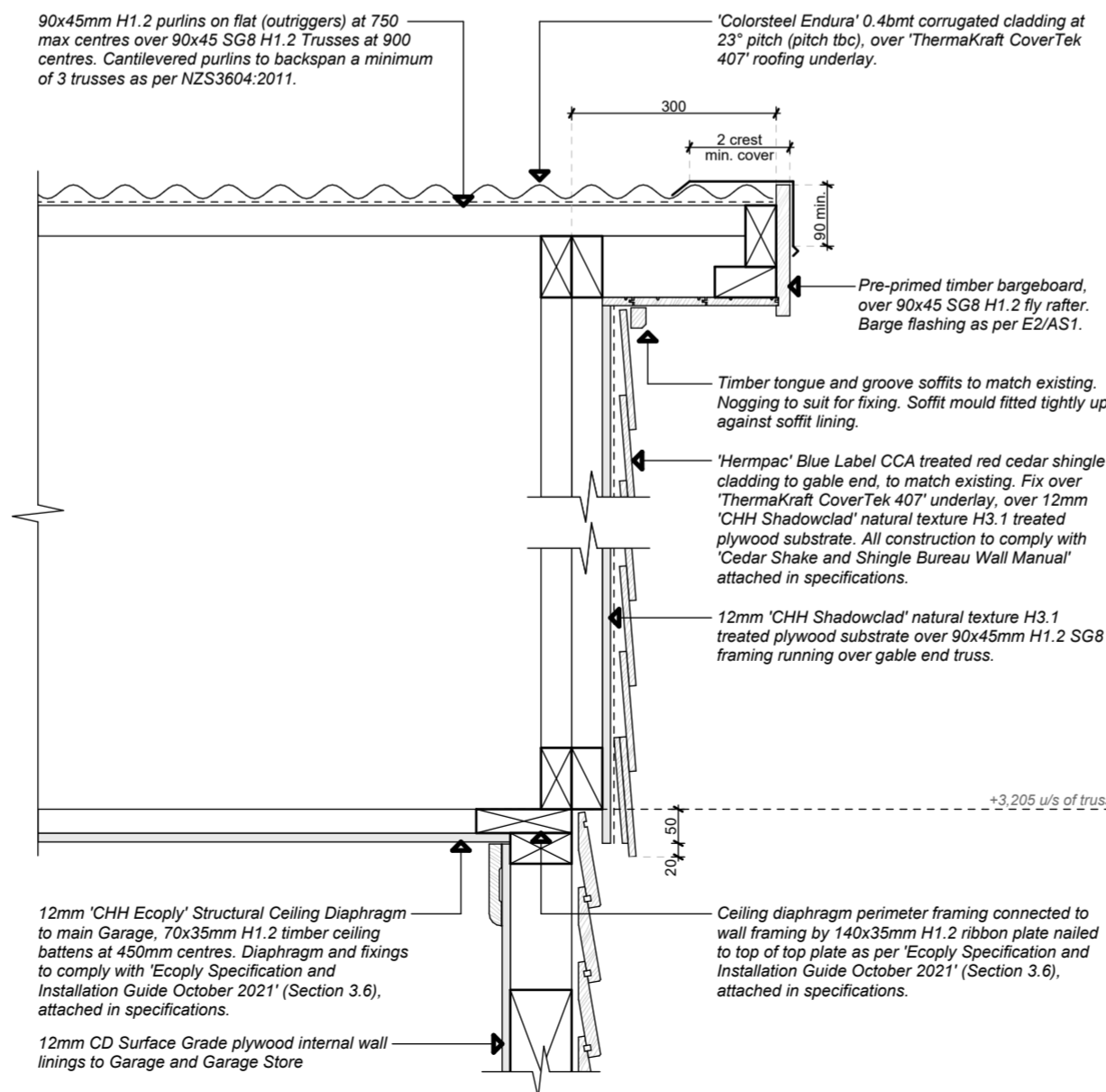
Detail 13 Scale 1:10



Detail 14 Scale 1:10



Detail 15 Scale 1:10



Detail 16 Scale 1:10

Project Status: Building Consent

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Site Notes:

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Exposure Zone: Zone C  
Earthquake Zone: Zone 3

Note Exposure Zone C:

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Drawing Title:

Construction Details

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Design:	S Kingsbeer	Scale:	1:10 At A2
Checked:	S Kingsbeer	Date Issued:	12/04/2022
Variation Number:	01	Sheet #:	20 of 24

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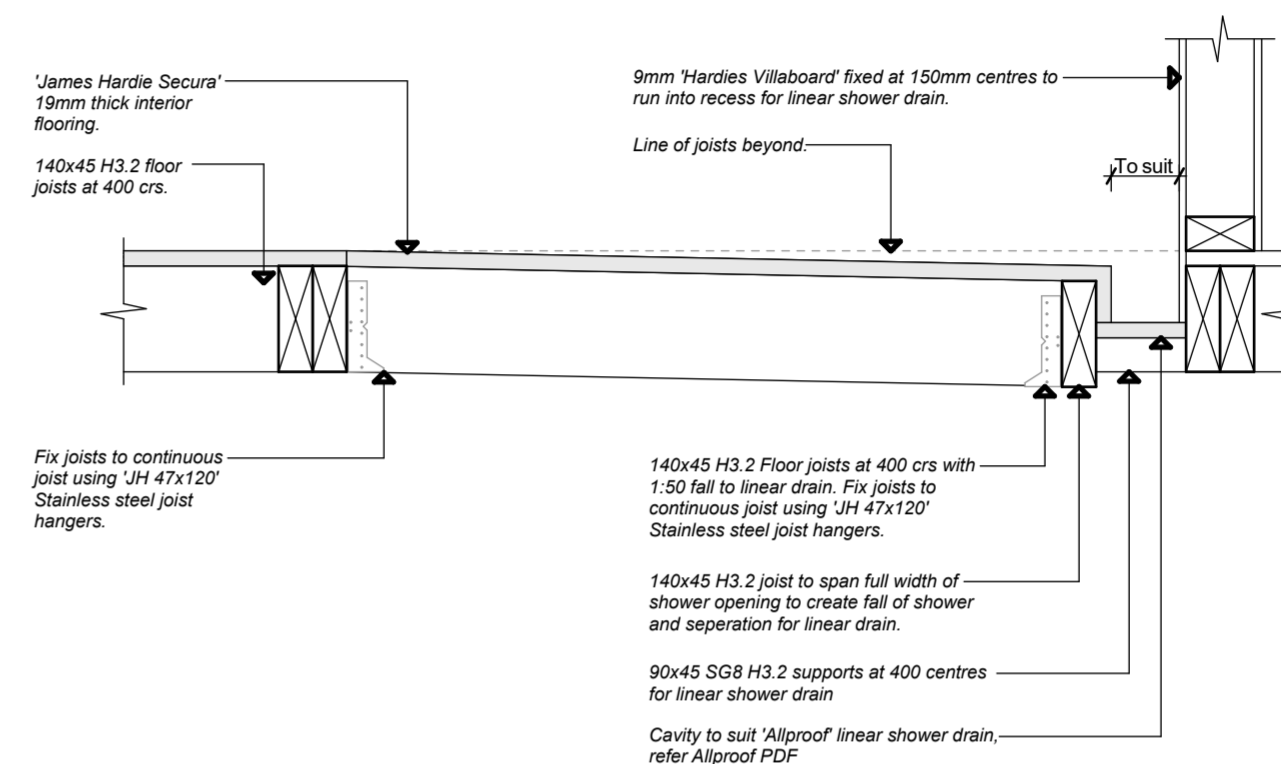
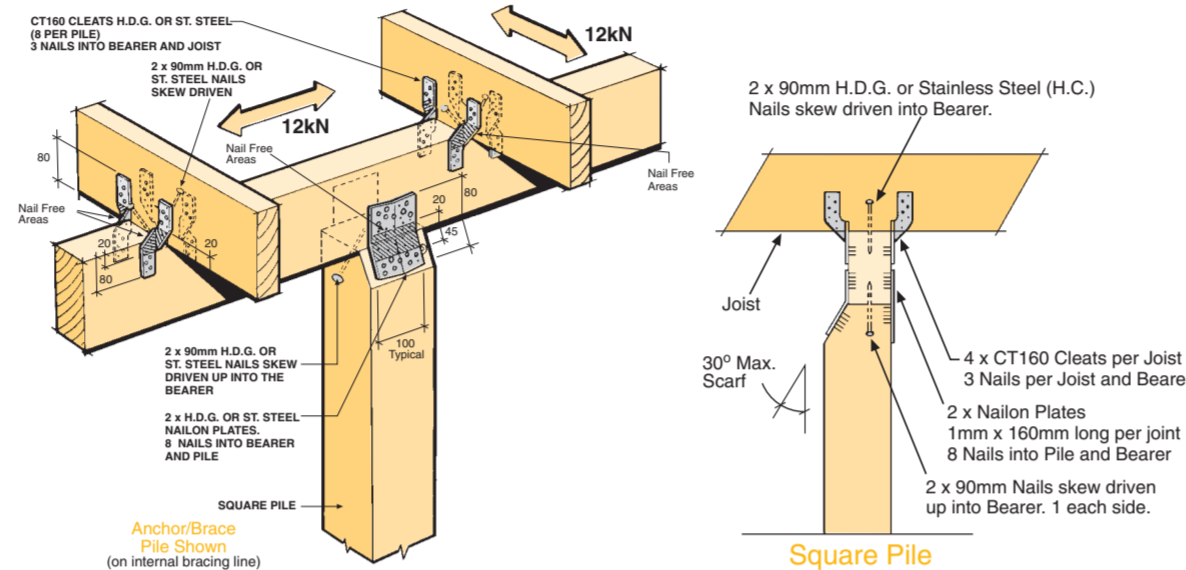
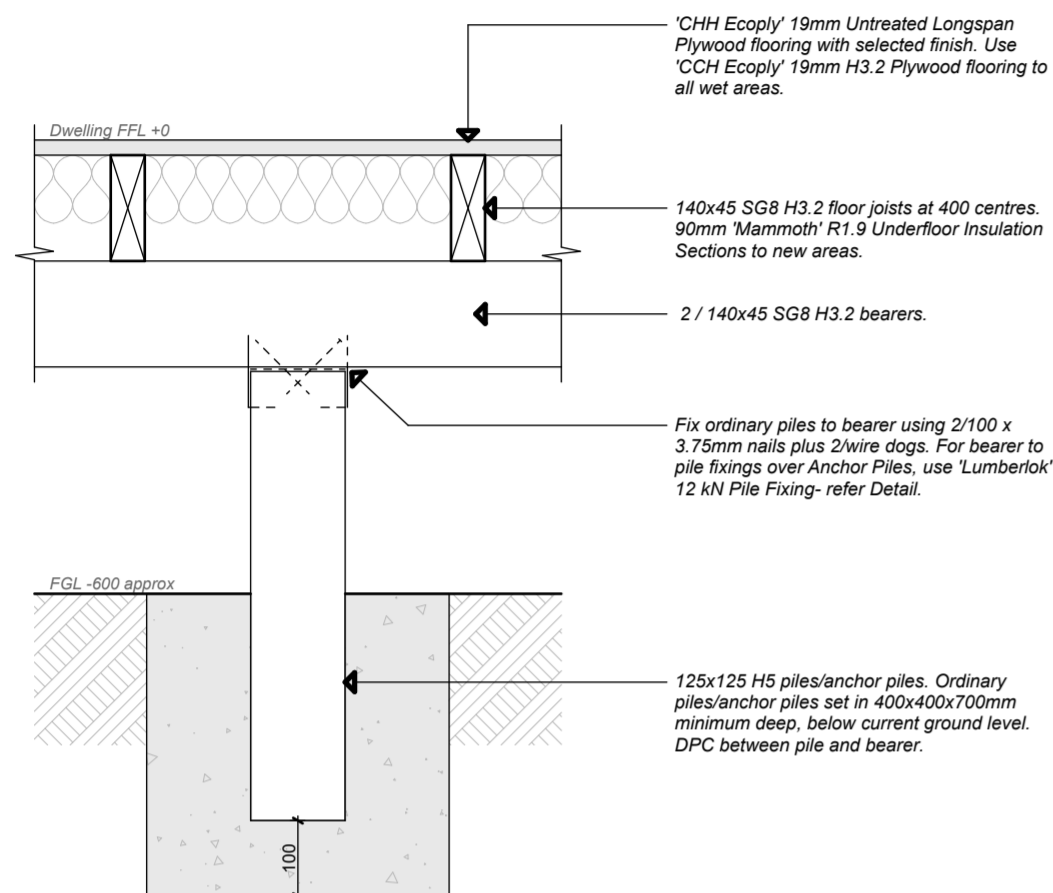
Wind Zone: High as per Branz Maps  
Exposure Zone: Zone C  
Earthquake Zone: Zone 3

Note Exposure Zone C:

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**Construction Detail Notes:**

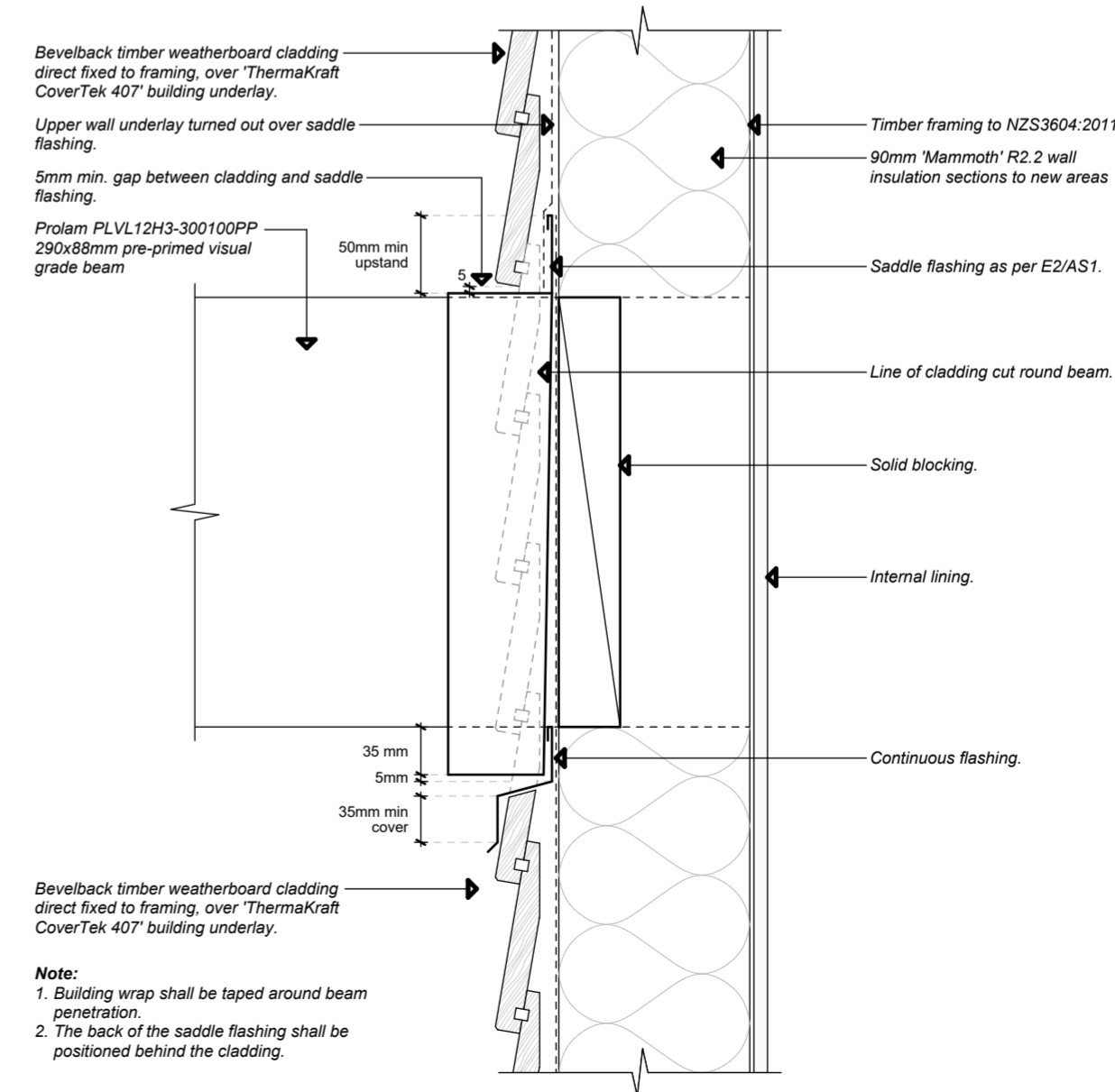
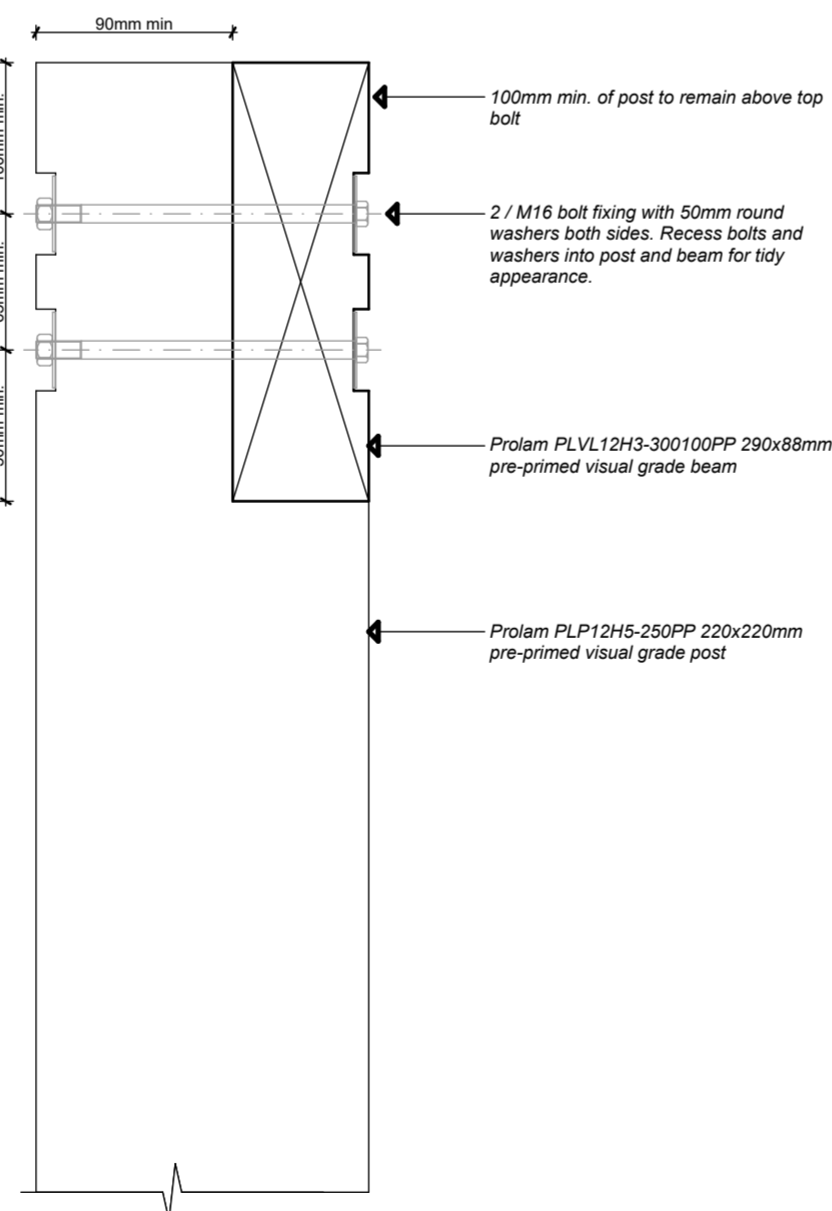
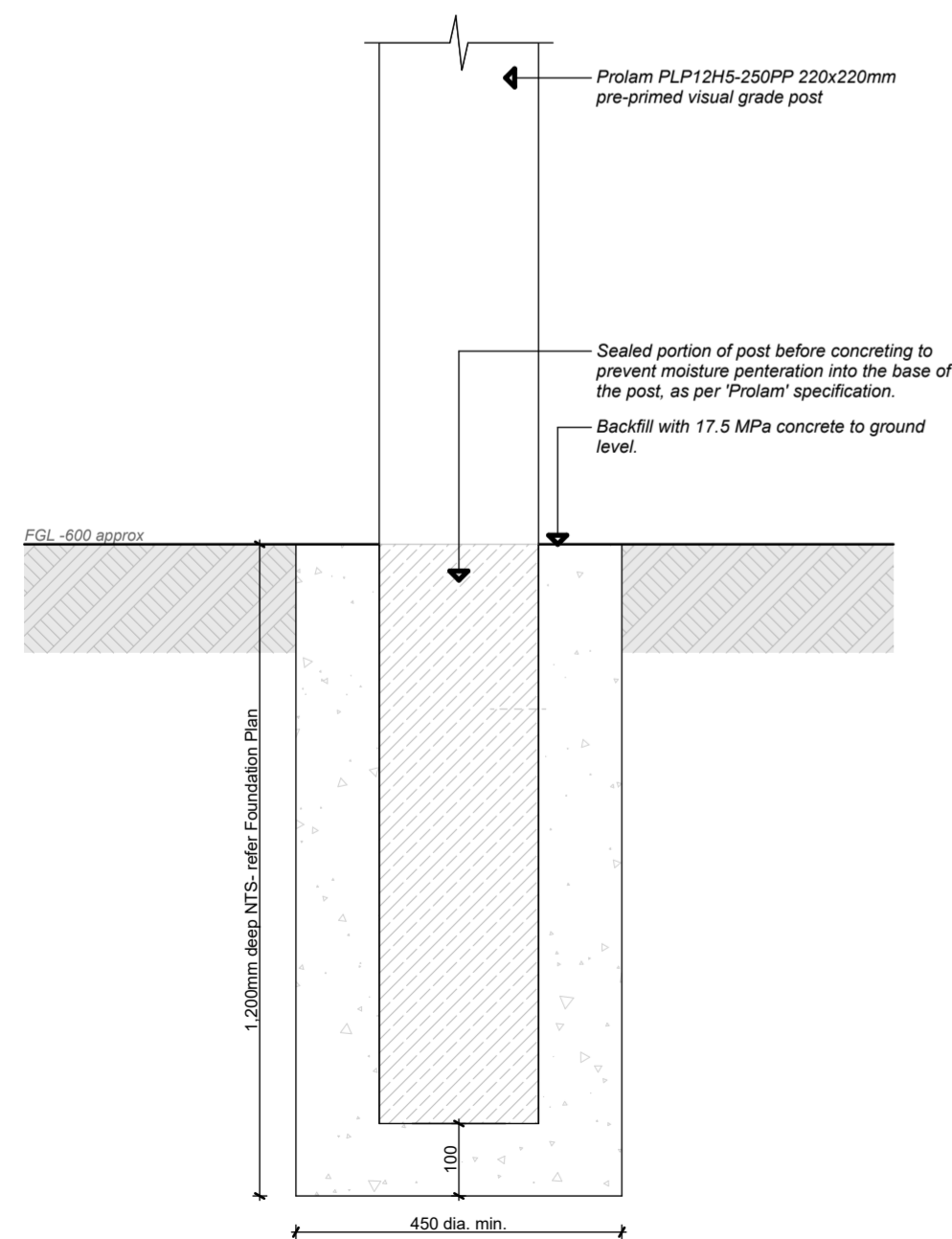
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Ordinary Pile to Bearer Fixing Detail Scale 1:10

Anchor Pile to Bearer Fixing Detail Scale 1:10

Shower Framing Detail Scale 1:10



'Prolam' Post Footing Detail Scale 1:10

'Prolam' Post to Beam Connection Detail Scale 1:5

Verandah Beam Saddle Flashing Detail Scale 1:5

**Drawing Title:**

**Construction Details**

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Design: S Kingsbeer Scale: Varies At A2

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Variation Number: 01 Sheet #: 21 of 24

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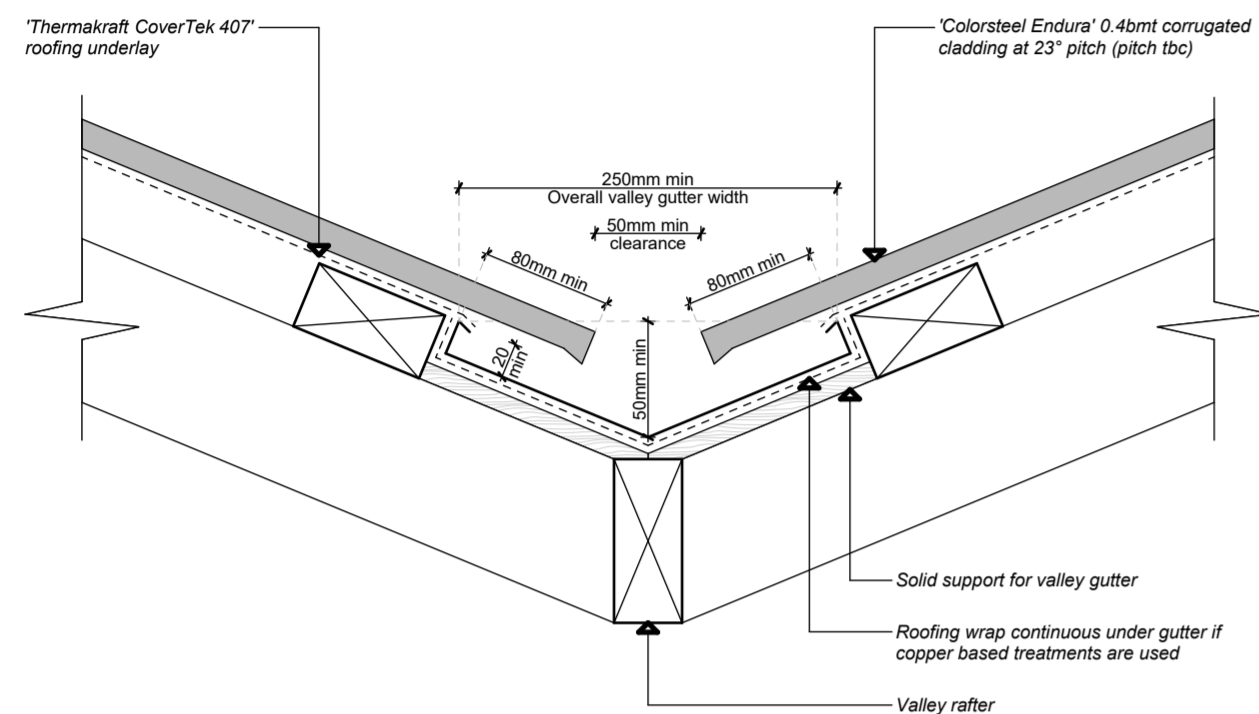
Wind Zone: High as per Branz Maps  
Exposure Zone: Zone C  
Earthquake Zone: Zone 3

**Note Exposure Zone C:**

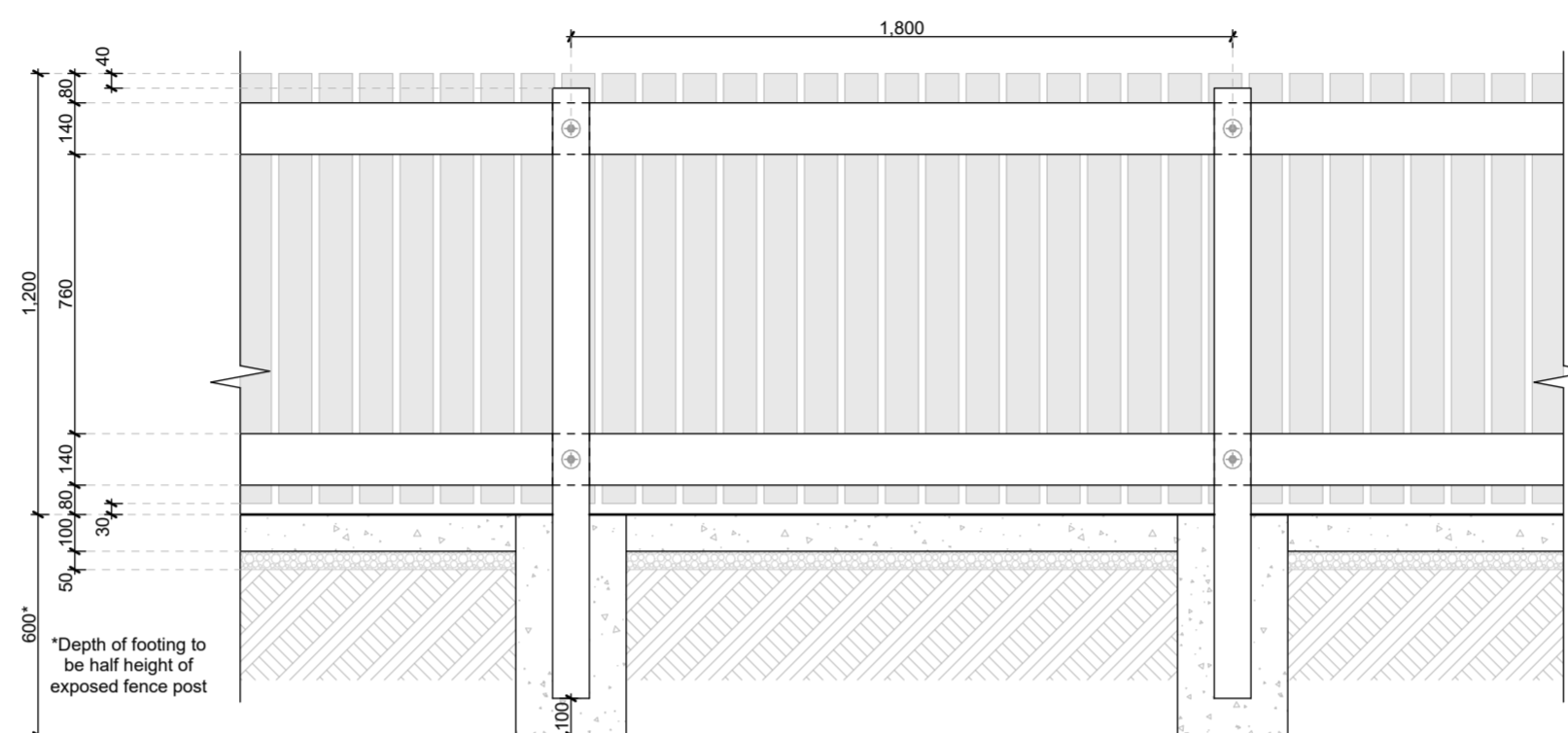
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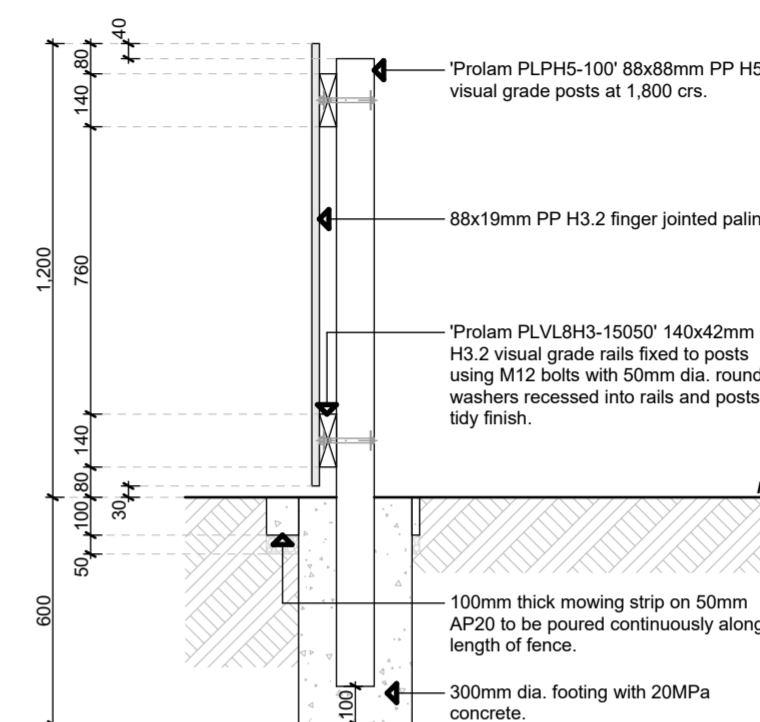
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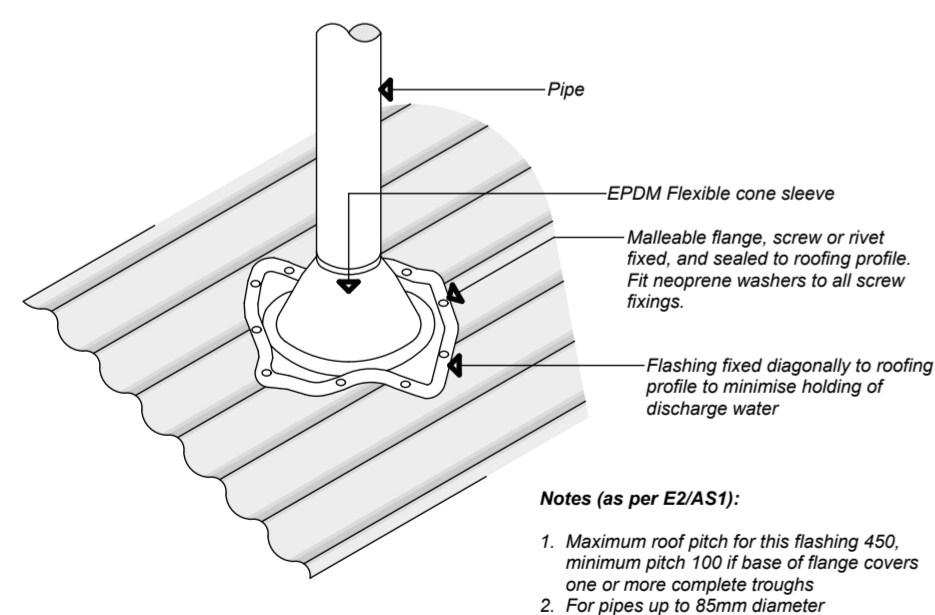
Valley Gutter Detail- Profiled Metal Roofing Scale 1:5



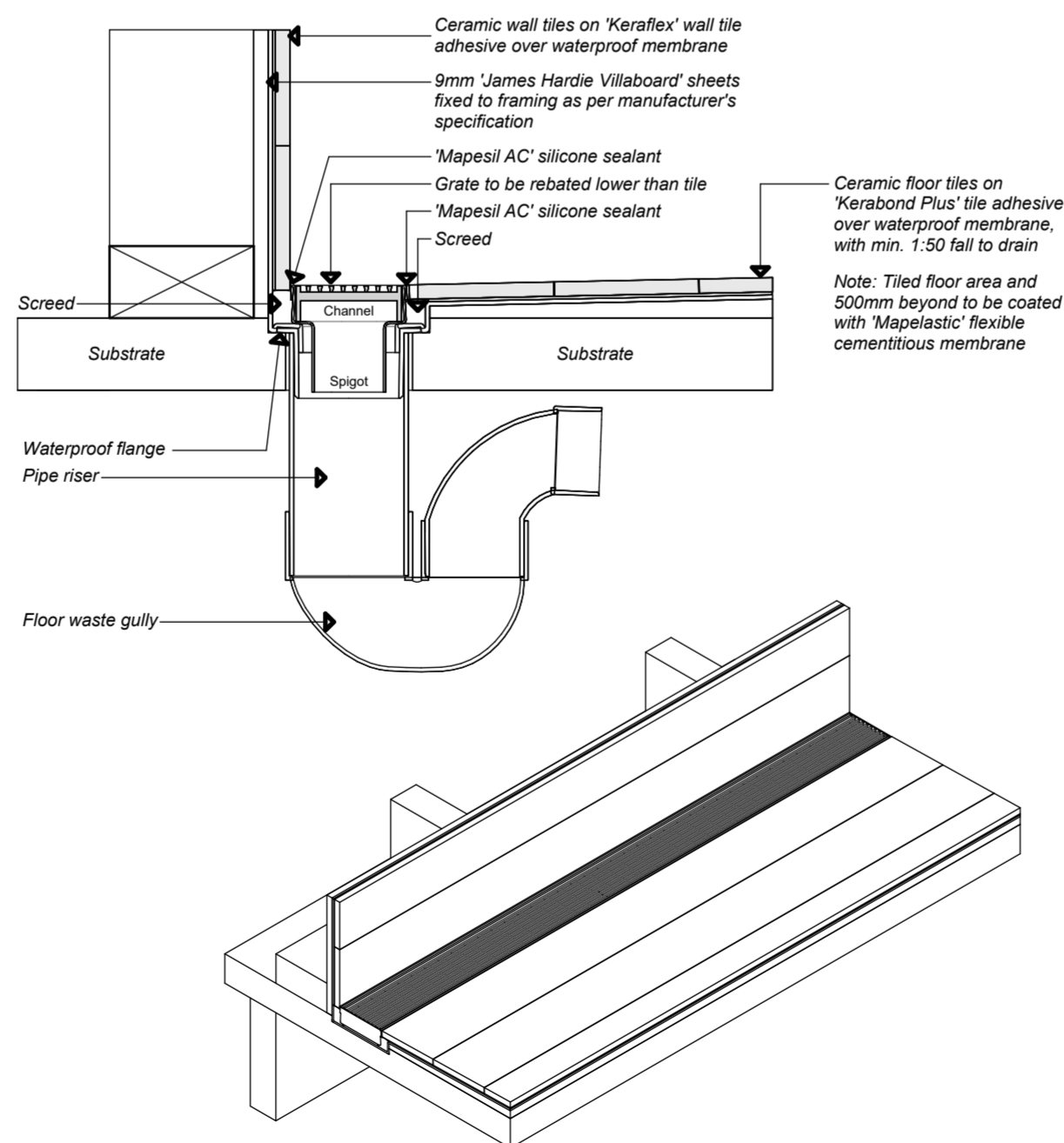
Timber Fence (South Boundary) Elevation Scale 1:20



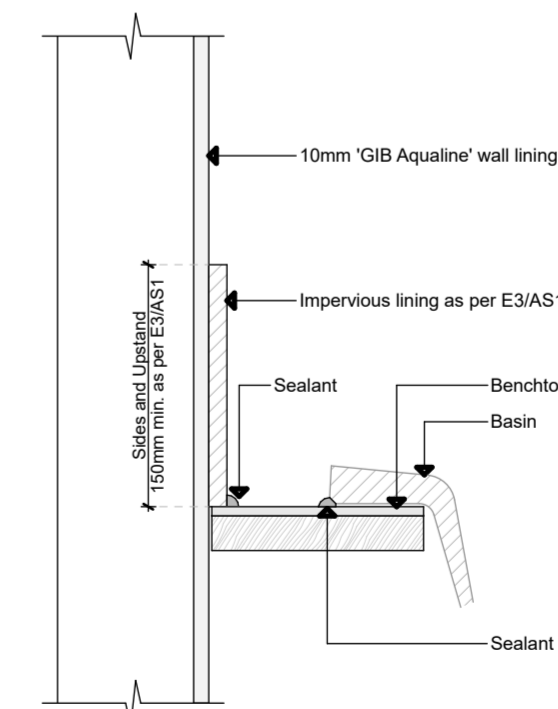
Timber Fence (South Boundary) Cross Section Scale 1:20



Roof Penetration Detail Scale 1:10



Shower Waterproofing Detail Scale 1:5



Vanity Waterproofing Detail Scale 1:5

**Drawing Title:**

**Construction Details**

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Design:	S Kingsbeer	Scale:	Varies At A2
Checked:	S Kingsbeer	Date Issued:	12/04/2022
Variation Number:	01	Sheet #:	22 of 24

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Wind Zone: High as per Branz Maps  
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Earthquake Zone: Zone 3

**Window / Door Key:**

WE01	Existing Window
DE01	Existing External Door
WNO1	New Window
DN01	New External Door
IDN01	New Internal Door
S	Safety Glass

**Window / Door Schedule Notes:**

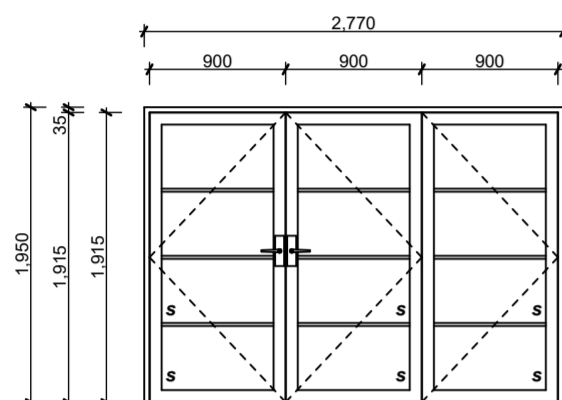
External windows and doors to be timber as noted, made by an approved fabricator.

Contractor to allow for hardware to all external windows and doors. Allow to provide internal door hardware, door stops and locks to Ensuite. **Exact hardware to be confirmed by client prior to ordering joinery.**

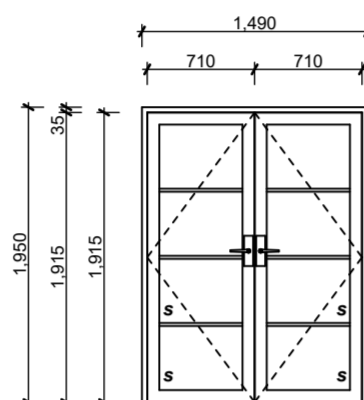
All sizes, sashes and openings to be confirmed by owner. Windows to be measured and confirmed on site before ordering. All windows / external doors to be double glazed. Allow to supply and install all flashings for external windows and doors, recommended by selected manufacturer.

Confirm thickness of walls and linings as jamb width may vary. Exterior joinery is shown as viewed from the outside. Refer to floor plans for door swing and location.

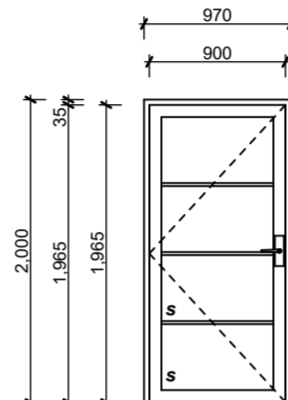
Safety glass to comply with NZS4223.3:2016 is to be used in all rooms containing a bath or shower or where the sill height is less than 800mm above FFL. Note all safety glass panels must carry the appropriate coding permanently etched into the glass surface. Window Joinery to comply with NZS4211 Specification for performance of windows. Window panels marked 'S' to be constructed using safety glass to NZS4223.3:2016. Window manufacturer to check and confirm the placement of ALL safety glass panels as compliant with ALL relevant standards, and consult with the designer if a discrepancy is encountered.



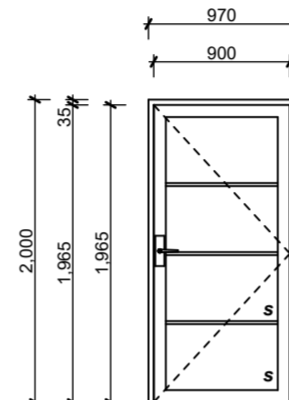
**DN01**  
**Location:** Dining  
**Profile:** Timber Doors to match existing  
**Glazing:** Double glazed clear  
**Lintel:** 200x90mm HySPAN  
**Fixing:** Lumberlok Lintel Fixing 'Type G'  
**Note:** Facings and sill to match existing



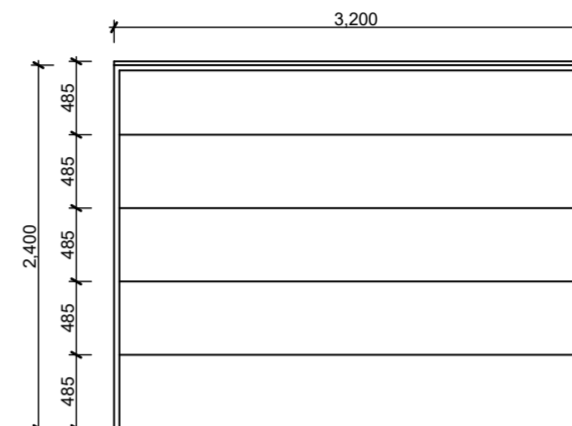
**DN02**  
**Location:** Bedroom 3  
**Profile:** Timber Doors to match existing  
**Glazing:** Double glazed clear  
**Lintel:** 2 / 190x45mm SG8  
**Fixing:** Lumberlok Lintel Fixing 'Type F'  
**Note:** Facings and sill to match existing



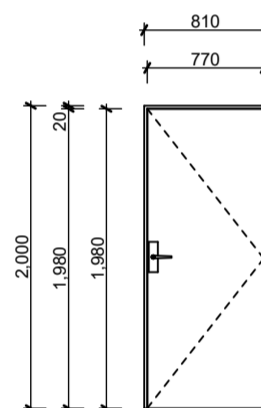
**DN03**  
**Location:** Garage Store / Pump Room  
**Profile:** Timber Door to match existing  
**Glazing:** Double glazed clear  
**Lintel:** 2 / 140x45mm SG8  
**Fixing:** Lumberlok Lintel Fixing 'Type F'  
**Note:** Facings and sill to match existing



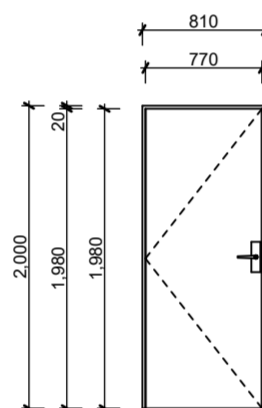
**DN04**  
**Location:** Garage  
**Profile:** Timber Door to match existing  
**Glazing:** Double glazed clear  
**Lintel:** 2 / 140x45mm SG8  
**Fixing:** Lumberlok Lintel Fixing 'Type F'  
**Note:** Facings and sill to match existing



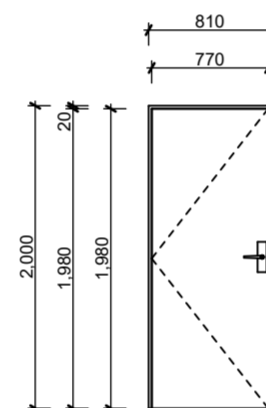
**GD01**  
**Location:** Garage  
**Profile:** Sectional Garage Door  
**Glazing:** Nil  
**Lintel:** 240x90mm HySPAN  
**Fixing:** Lumberlok Lintel Fixing 'Type H'  
**Note:** Facings and sill to match existing



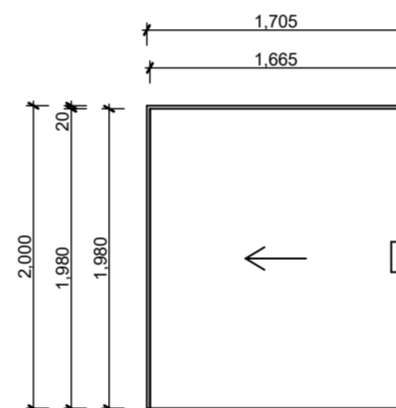
**IDN01**  
**Location:** Bedroom 2 Robe  
**Type:** Hinged Door  
**Profile:** To match existing  
**Finish:** Paint finish  
**Lintel:** 2 / 140x45 SG8 H1.2



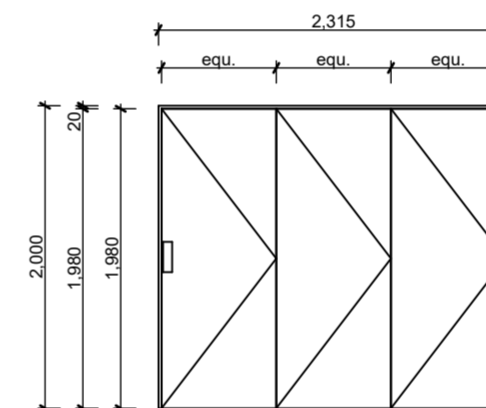
**IDN02**  
**Location:** Ensuite  
**Type:** Hinged Door  
**Profile:** To match existing  
**Finish:** Paint finish  
**Lintel:** 2 / 140x45 SG8 H1.2



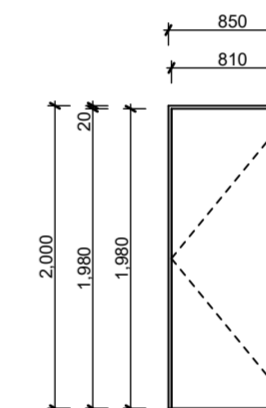
**IDN03**  
**Location:** Bedroom 2 Robe  
**Type:** Hinged Door  
**Profile:** To match existing  
**Finish:** Paint finish  
**Lintel:** 2 / 140x45 SG8 H1.2



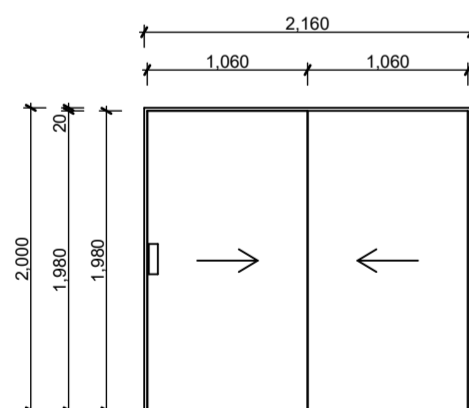
**IDN04**  
**Location:** Bedroom 2  
**Type:** Cavity Sliding Door  
**Profile:** To match existing  
**Finish:** Paint finish  
**Lintel:** 2 / 190x45 SG8 H1.2



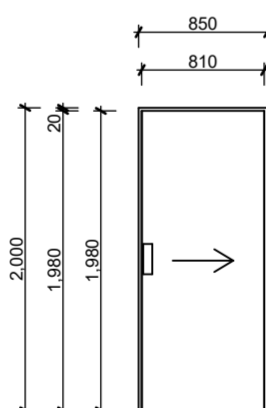
**IDN05**  
**Location:** Laundry  
**Type:** Bi-folding Door  
**Profile:** To match existing  
**Finish:** Paint finish  
**Lintel:** 2 / 190x45 SG8 H1.2



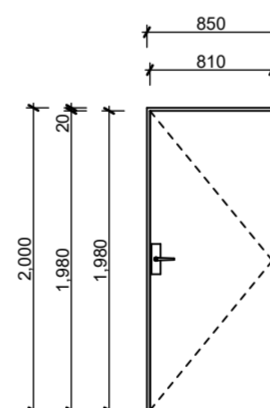
**IDN06**  
**Location:** Bedroom 3  
**Type:** Hinged Door  
**Profile:** To match existing  
**Finish:** Paint finish  
**Lintel:** 2 / 190x45 SG8 H1.2



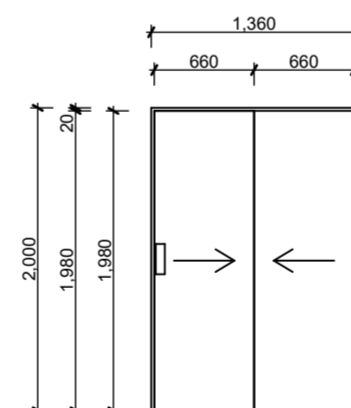
**IDN07**  
**Location:** Bedroom 3 Robe  
**Type:** Closet Sliding Door  
**Profile:** To match existing  
**Finish:** Paint finish  
**Lintel:** 2 / 240x45 SG8 H1.2



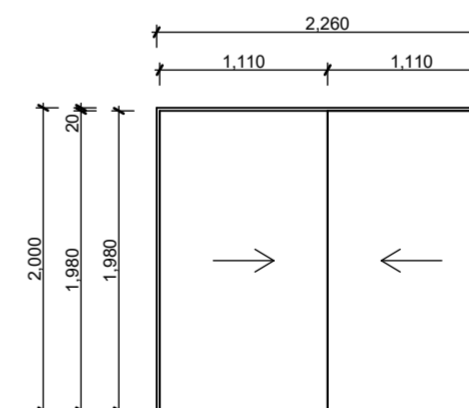
**IDN08**  
**Location:** Bathroom  
**Type:** Cavity Sliding Door  
**Profile:** To match existing  
**Finish:** Paint finish  
**Lintel:** 2 / 140x45 SG8 H1.2



**IDN09**  
**Location:** Bedroom 4  
**Type:** Hinged Door  
**Profile:** To match existing  
**Finish:** Paint finish  
**Lintel:** 2 / 140x45 SG8 H1.2



**IDN10**  
**Location:** Bedroom 4 Robe  
**Type:** Closet Sliding Door  
**Profile:** To match existing  
**Finish:** Paint finish  
**Lintel:** 2 / 190x45 SG8 H1.2



**IDN11**  
**Location:** Garage Store  
**Type:** Hinged Door  
**Profile:** To match existing  
**Finish:** Paint finish  
**Lintel:** 2 / 140x45 SG8 H1.2

**Drawing Title:**  
Door Schedule

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Design:	S Kingsbeer	Scale:	1:50 At A2
Checked:	S Kingsbeer	Date Issued:	12/04/2022
Variation Number:	01	Sheet #:	23 of 24

All construction to be in accordance with N.Z.B.C handbook, NZS 3604: 2011 and local Territorial Authority requirements. All measurements to be checked and confirmed on site. Plans to be read in conjunction with Specifications, Engineering, other plans as required. Do not scale from plans. Contact designer on 03040042929 for any queries or before any alterations to original plans commence on site.

**Project Status:** Building Consent

*Note:* DO NOT scale off drawings, if in doubt ask the designer or contractor.

All construction to comply with NZS3604:2011, local authority by-laws and NZ Building Code.

Site Notes:

Valuation Legal: LOT 3 DP 1679  
Valuation Address: 6 Tukura Road Inner Kaiti

Wind Zone: High as per Branz Maps  
Exposure Zone: Zone C  
Earthquake Zone: Zone 3

Window / Door Key:

WE01 Existing Window  
DE01 Existing External Door  
WN01 New Window  
DN01 New External Door  
IDN01 New Internal Door  
S Safety Glass

Window / Door Schedule Notes:

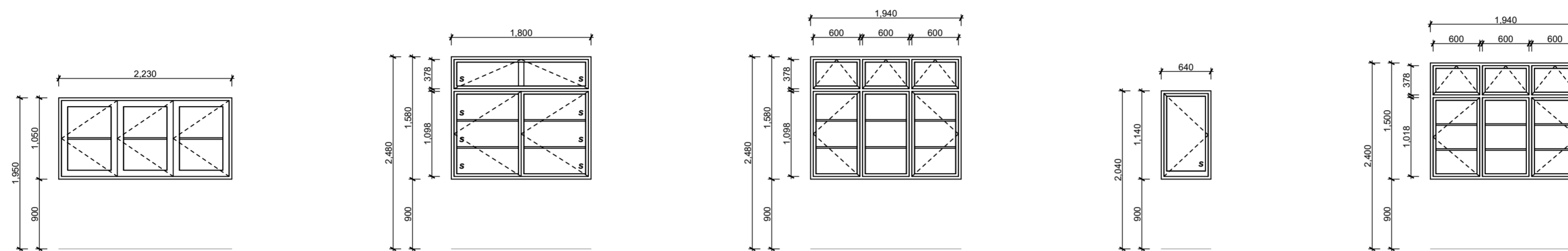
External windows and doors to be timber as noted, made by an approved fabricator.

Contractor to allow for hardware to all external windows and doors. Allow to provide internal door hardware, door stops and locks to Ensuite. **Exact hardware to be confirmed by client prior to ordering joinery.**

All sizes, sashes and openings to be confirmed by owner. Windows to be measured and confirmed on site before ordering. All windows / external doors to be double glazed. Allow to supply and install all flashings for external windows and doors, recommended by selected manufacturer.

Confirm thickness of walls and linings as jamb width may vary. Exterior joinery is shown as viewed from the outside. Refer to floor plans for door swing and location.

Safety glass to comply with NZS4223.3:2016 is to be used in all rooms containing a bath or shower or where the sill height is less than 800mm above FFL. Note all safety glass panels must carry the appropriate coding permanently etched into the glass surface. Window Joinery to comply with NZS4211 Specification for performance of windows. Window panels marked 'S' to be constructed using safety glass to NZS4223.3:2016. Window manufacturer to check and confirm the placement of ALL safety glass panels as compliant with ALL relevant standards, and consult with the designer if a discrepancy is encountered.



**WN01**

**Location:** Kitchen  
**Profile:** Timber Bifold Window to match existing  
**Glazing:** Double glazed clear  
**Lintel:** 150x90mm Hy90  
**Fixing:** Lumberlok Lintel Fixing 'Type G'  
**Note:** Facings and sill to match existing

**WN02**

**Location:** Bathroom  
**Profile:** Timber Bifold Window to match existing  
**Glazing:** Double glazed clear  
**Lintel:** 2 / 190x45mm SG8  
**Fixing:** Lumberlok Lintel Fixing 'Type F'  
**Note:** Facings and sill to match existing

**WN03**

**Location:** Bedroom 4  
**Profile:** Timber Window to match existing  
**Glazing:** Double glazed clear  
**Lintel:** 2 / 240x45mm SG8  
**Fixing:** Lumberlok Lintel Fixing 'Type G'  
**Note:** Facings and sill to match existing

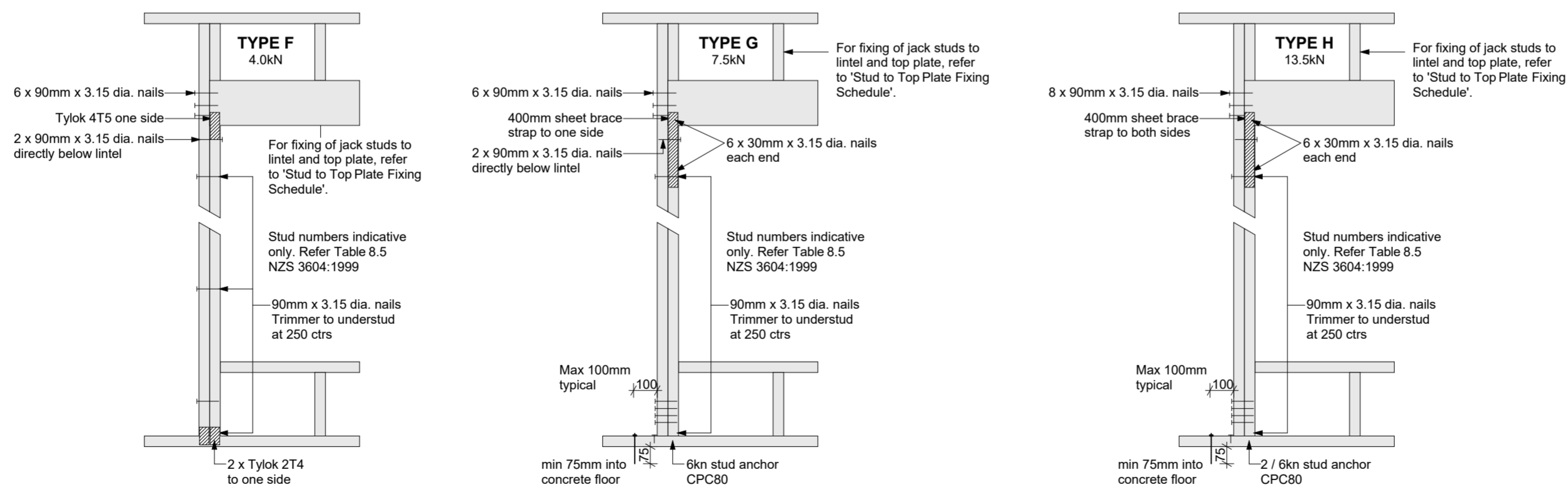
**WN04**

**Location:** Ensuite  
**Profile:** Timber Window to match existing  
**Glazing:** Double glazed clear  
**Lintel:** 2 / 140x45mm SG8  
**Fixing:** Lumberlok Lintel Fixing 'Type F'  
**Note:** Facings and sill to match existing

**WN05**

**Location:** Garage  
**Profile:** Timber Window to match existing  
**Glazing:** Double glazed clear  
**Lintel:** 2 / 190x45mm SG8  
**Fixing:** Lumberlok Lintel Fixing 'Type G'  
**Note:** Facings and sill to match existing

Window Schedule Scale 1:50



Drawing Title:

Window Schedule / Lintel Fixing Details

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Design:	S Kingsbeer	Scale:	Varies At A2
Checked:	S Kingsbeer	Date Issued:	12/04/2022
Variation Number:	01	Sheet #:	24 of 24

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Lumberlok Lintel Fixing Details Scale 1:20