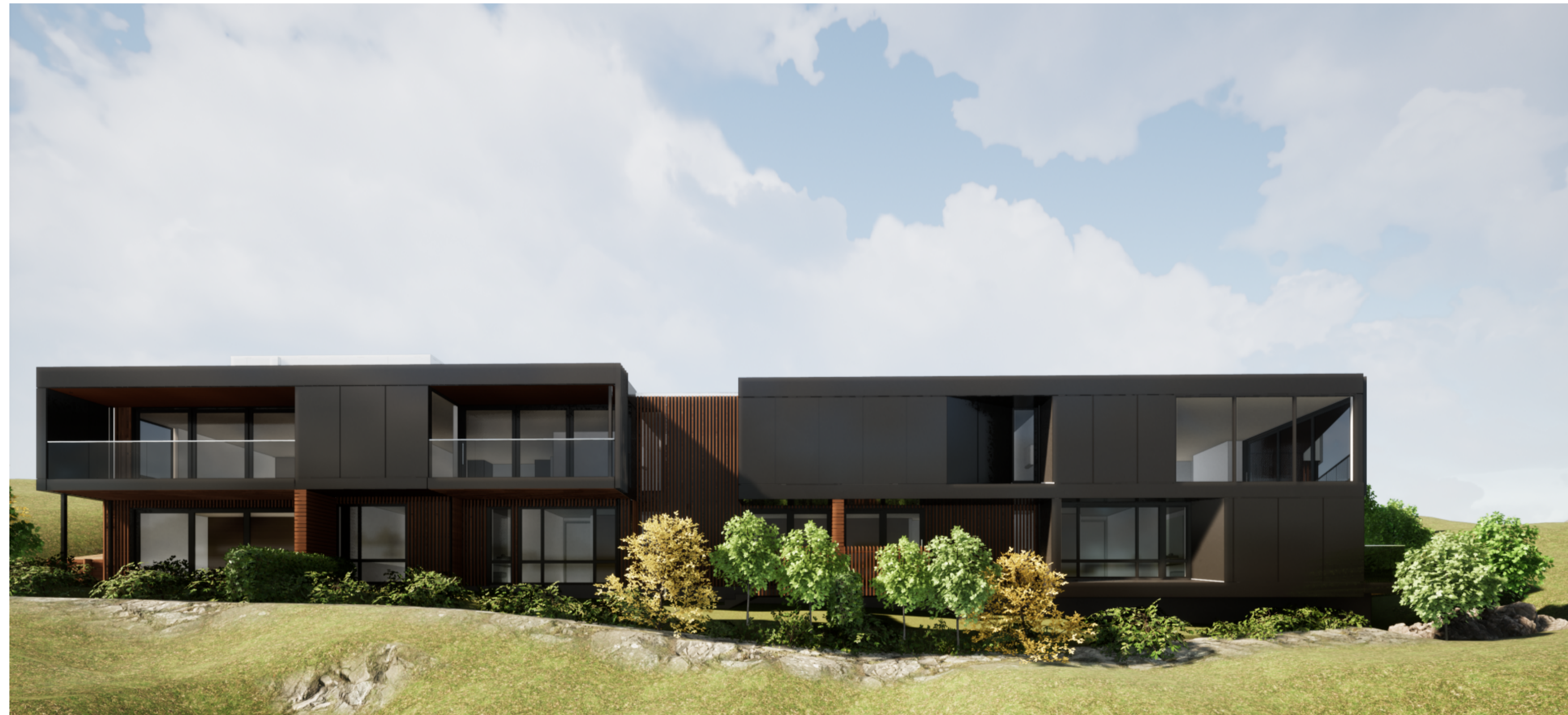


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**R19015 - Chalmers Street Apartments**  
20 Chalmers Street Wanaka 9305  
Building Consent

- 2.1.1 **Concrete slab on grade**  
100mm concrete slab over 50mm XPS polystyrene on DPM on grade. Refer Structural Engineer's documentation.
- 2.1.2 **Cantilevered slab**  
Cantilevered 200mm concrete slab with 50mm R2.5 Kingspan Kooltherm K10 G2 Soffit board installed to underside of exposed slab areas to complete thermal envelope. Refer Structural Engineer's documentation.
- 2.1.3 **Stahlton floor**  
Stahlton rib & infill with 125mm deep ribs and 100mm thick topping. Refer Structural Engineer's documentation.
- 2.1.4 **Shower rebate**  
50mm shower rebate - Tile falls to channel drain. Refer Structural Engineer's documentation.
- 2.1.5 **Precast concrete stair**  
Precast concrete stair. Refer Structural Engineer's documentation.
- 2.1.6 **Concrete nib**  
150mm Concrete nib. Refer Structural Engineer's documentation.
- 2.2.1 **300x90 PFC**  
300x90 PFC. Refer to Structural Engineer's documentation.
- 2.2.2 **Steel HST purlins**  
200/15 DHS purlins @ 900mm crs. Refer to Structural Engineer's documentation.
- 2.2.3 **SHS 89x89**  
89x8 SHS. Refer to Structural Engineer's documentation. Refer to Specification for paint finish where steelwork is exposed. Ensure separation layer to timber where packing proposed.
- 2.2.4 **250x90 PFC**  
250x90 PFC. Refer to Structural Engineer's documentation.
- 2.4.1 **20 Series Concrete Block Exterior Wall**  
20 Series concrete block. Refer to Structural Engineer's documentation. Allow for sealer/render coat and paint finish to exposed faces.
- 2.4.2 **20 Series Concrete Block + Insulation**  
20 Series concrete block. Refer to Structural Engineer's documentation. 70mm XPS insulation to external face integral with the engineers retaining wall design.
- 2.4.3 **20 Series Concrete Block Wall**  
20 Series concrete block. Refer to Structural Engineer's documentation.
- 3.1.1 **Vert. Shiplap wall cladding**  
Rosenfeld Kidson RK58 vertical shiplap timber cladding over 45mm structural cavity battens. Finish with selected Drydens oil. Installed as per the manufacturers documentation. (studs @ 600crs, Dwangs @ 800crs)
- 3.1.2 **Flashclad Euro-line**  
Vertically fixed Euro-line powdercoated aluminium cladding. Installed as per the manufacturers documentation, by Flashclad nationwide distribution network. (studs @ 600crs, Dwangs @ 800crs)
- 3.1.3 **Vertical Cedar Batten**  
Vertical 40x40 cedar batten rainscreen @ 100crs over 45mm H3.2 cavity battens (painted out black) over Titan Facade panel cladding system on 70x19mm CLD structural cavity batten. Finish with selected Drydens oil.
- 3.1.4 **Horizontal Cedar Batten**  
Horizontal 60x20 cedar batten over 45mm H3.2 cavity battens (painted out black) over Concrete block walls. Finish with selected Drydens oil.
- 3.1.5 **Cudoclad Alpolic FR**  
Cudoclad Alpolic FR composite aluminium cladding system installed by qualified installers in accordance with the manufacturers documents.
- 3.1.6 **Colorsteel Garage Door**  
Colorsteel sectional insulated garage door with low head room gear. Install with Ex. 280x30mm cedar reveals rebated for linings and cladding finished with selected Drydens Oil.
- 3.1.7 **Louvre**  
140x10mm powdercoated steel flat screw fixed both sides of 90x45 timber LVL post. Post fixed at top and bottom. Refer to Structural Engineer's documentation.
- 3.1.8 **Decorative Steel Plate**  
9mm zinc sprayed & powdercoated steel plate to external face FW to RHS. Refer to Structural Engineer's documentation.
- 3.1.9 **Rigid Air Barrier**  
7mm Ecoply barrier system, fixed in accordance with manufacturer's instructions including all taped junctions.
- 3.1.10 **Vertical change in cladding flashing**  
0.55BMT pre-finished flashing at

- change in cladding height. Colour as per finishing schedule.

- 3.2.1 **Aluminium windows and doors**  
Vantage Pacific Thermal System aluminium joinery. Double glazed IGUs with Argon gas and Low E coating. Powdercoat finish to aluminium members.
- 3.2.2 **Powdercoated Aluminium Window Frame**  
6mm Powdercoated aluminium window frame with 5deg fall at head & sill. Shop drawing and installation by Flashclad nationwide distribution network. Allow to pack out cladding to ensure a min. 30mm cavity to entire face.

- 3.2.3 **External Glass Balustrade**  
Metro 12mm Monolithic TEMPAFLOAT glass on Posiglaze PG120S Hardware System. Toughened with S25 interlinking capping rail to top. Refer to Metro glass details/PS1 for further information

- 3.2.4 **Window screen**  
Perforated powdercoated aluminium screen fixed to window frame extrusion

- 3.2.5 **Internal Glass Balustrade**  
13.52mm SAFELITE STF toughened laminate glass balustrade with stiffener bracket on Posiglaze PG120S Hardware System. Refer to Metro glass details/PS1 for further information

- 3.3.1 **Colorsteel roofing**  
Metalcraft Colorsteel T-Rib roofing over selected roofing underlay & wire mesh screw fixed to top of purlins. Prefinished Colorsteel Endura finish

- 3.3.2 **Torch-on membrane**  
Viking Torch-on Lybra SBS Waterproofing membrane installed in accordance with the product manual. Over 17mm H3.2 CCA treated plywood supported at 400crs.

- 3.3.3 **Parapet Flashing**  
0.55 BMT Parapet flashing with 5 degree fall to roof and 70mm cover to cladding. Provide concealed clip fixings to exterior face. Colour as per schedule

- 3.3.4 **Removable Snow Boards**  
Removable snow boards placed in 1.2m lengths H3.2 battens at 65crs on H4 45x45 rails

- 3.4.1 **Grooved ply soffit**  
Ecoply 12mm H3.1 LOSP Grooved soffit lining with over timber framing in accordance with manufacturers documents. Refer to Finishes Schedule for paint finish.

- 3.4.2 **Timber battens**  
Decorative 90x45 timber battens fixed to underside of deck framing battens spaced @ 145 CRS. Selected drydens oil finish.

- 3.4.3 **Cudoclad Alpolic FR Soffit**  
Cudoclad Alpolic FR composite aluminium cladding system installed by qualified installers in accordance with the manufacturers documents.

- 4.1.1 **GIB wall lining**  
10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish.

- 4.1.2 **GIB Fyreline ceiling lining**  
16mm GIB Fyreline ceiling lining installed in accordance with GIB Fire Rated Systems Manual GBUC 30. Over Rondo 308 metal batten or direct fixed to timber gutter framing. All fixings as per structural diaphragm requirements.

- 4.1.3 **Gib Aqualine (Painted)**  
13mm GIB Aqualine stopped smooth to level 4 finish ready for painted finish.

- 4.1.4 **Gib Aqualine (Tiled)**  
Selected wall tiles bedded on Ardex Abaflex or Ardex X56 tile adhesive over Ardex WPM002 waterproof membrane, over 10mm Gib Aqualine.

- 4.1.5 **GIB ceiling lining**  
13mm GIB standard lining on Rondo battens. Stop smooth to level 4 finish to receive paint finish.

- 4.1.6 **Gib Aqualine ceiling lining**  
13mm Aqualine lining on on Rondo battens. Stop smooth to level 4 finish to receive paint finish.

- 4.1.7 **90mm Stap and line**  
90mm timber strapping with 10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish. 90mm R2.8 insulation between timber strapping.

- 4.1.8 **45mm Stap and line**  
45mm timber strapping with 10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish. Insulate with R1.2 50mm Masonry bats between strapping.

- 4.1.9 **Ceiling Ply lining**  
12mm ply ceiling lining adhesive and

brad fixed with selected oil finish.

- 4.1.10 **Wall Ply lining**  
9mm ply wall lining adhesive and brad fixed with selected oil finish.

- 4.1.11 **Skirting (dry areas)**  
12mm x 60mm bevelled painted MDF skirting  
Min. R4.0 140mm thick exterior wall insulation

- 4.2.1 **140mm insulation**  
Min. R4.0 140mm thick exterior wall insulation

- 4.2.2 **Ceiling insulation - 2 layer (210mm)**  
R1.8 95mm + R2.2 115mm ceiling insulation, ensure a 25mm air gap to underside of roofing

- 4.2.3 **Ceiling insulation - 165mm**  
R3.6 165mm ceiling insulation for light areas, ensure a 25mm air gap to underside of roofing

- 4.2.4 **K10 G2 Soffit Board**  
50mm R2.5 Kingspan Kooltherm K10 G2 Soffit board installed to underside of exposed slab areas to complete thermal envelope

- 4.2.5 **90mm acoustic insulation**  
90mm acoustic insulation to internal framed walls

- 4.2.6 **140mm acoustic insulation**  
140mm acoustic insulation to internal framed walls

- 4.2.7 **Ceiling insulation - 220mm**  
R5 220mm ceiling insulation, ensure a 25mm air gap to underside of roofing

- 4.3.1 **Ply Flooring Substrate**  
17mm Ecoply Flooring Substrate Tounge and Groove. installed as per the manufacturers instructions. Refer to Engineers documents for any diaphragm areas. Install 150mm mid/floor acoustic insulation under.

- 4.3.2 **Shower Base**  
Non-slip ceramic tiles over screed over waterproofing membrane over 18mm fibre cement compressed sheet at 1:100 fall to shower channel drain.

- 4.4.1 **Timber Joinery Stair**  
Main private stair/ riser 180mm height. Tread 280mm min. including 25mm nosing.

- 4.4.2 **Timber Handrail**  
400 solid timber handrail fixed on Halliday + Bailie HB 520 brackets fixed to wall @ 800 CRS. Provide solid blocking as necessary

- 4.4.3 **Gib Linned Balustrade**  
Timber framed wall to extend 1m above floor level and pitch of stair to form solid balustrade. Line all sides with 10mm GIB ready for paint finish. Refer to engineers details for structural support.

- 4.4.4 **Joinery Unit**  
Refer to interior design for full details of joinery unit.

- 4.4.6 **Internal Cedar Fins**  
50mm thick internal cedar fins at 150crs (width to match wall thickness) adhesive fixed to rails top and bottom. Finish with selected Drydens oil.

- 5.5.1 **Floor Finish**  
Selected floor finish as per interior finishing schedule

- 6.1.1 **Downpipe**  
800 Colorsteel DP with matching munzing ring standoff brackets at 1200mm crs. Refer to finishes schedule for colour.

- 6.1.2 **RWH**  
Folded Colorsteel Rainwater head with overflow outlet to discharge into Colorsteel DP  
RHW to be folded colorsteel to match wall cladding. Overflow opening 1.5 x cross sectional area of downpipe

- 6.1.3 **Scupper Outlet**  
Viking Roofspec 207x89x1.6mm stainless steel scupper IMT107 installed as per manufacturers instructions

- 6.1.4 **Overflow Drain**  
Viking Roofspec 80mm clamped overflow drain SDM049 with 304 S/S domed grate. installed as per manufacturers instructions. Overflow outlet to extend 10mm below soffit

- 6.1.5 **Roof Drain**  
Viking Roofspec 80mm clamped drain SDM049 with 304 S/S domed grate, installed as per manufacturers instructions

- 6.1.6 **Throughout Drain**  
Viking Roofspec 80mm ALLthrough balcony drain SDM057 installed as per manufacturers instructions

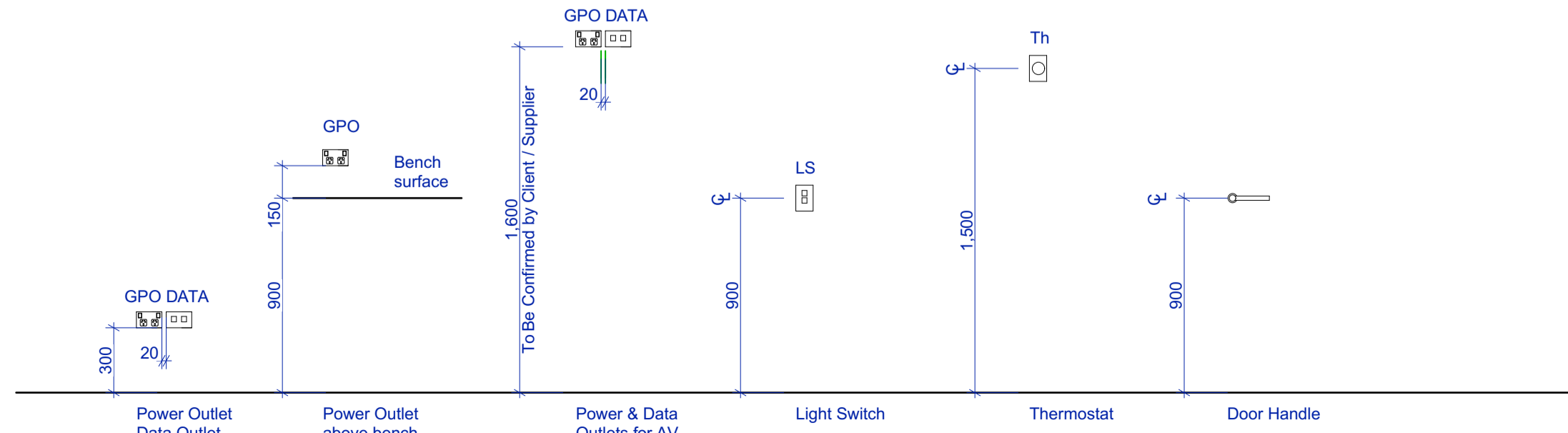
- 6.1.7 **External Gutter**  
Architectural folded colorsteel external gutter 'profile A' with hidden clip fixings. Refer to roof plan for dimensions

- 6.1.8 **Shower channel drain**  
Allproof Vision shower channel drain

- 6.2.1 **Gas Hot Water Unit**

EF26 Rinnal INFINITY or similar approved instant gas hot water system.

- 8.1.1 **Decking**  
Selected 19 x 90mm Hardwood decking with oil finish or composit structure refer to engineers details.



#### Datum Reference

All vertically mounted services setouts shall be referenced from this drawing, unless shown otherwise on elevation drawings.

## Building Consent

Notes :

All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604 2011 and the New Zealand Building Code.

| Rev. | Date       | Issue                  |
|------|------------|------------------------|
| 1    | 16/04/2021 | Building Consent Issue |
| A    | 9/06/2021  | Council RFI            |

## Three Sixty Architecture



Chalmers Street  
Apartments  
20 Chalmers Street  
Wanaka

Notes & Legends

Scale @ A1

|          |           |
|----------|-----------|
| File No. | R19015    |
| Date     | 9/06/2021 |
| Revision | A         |

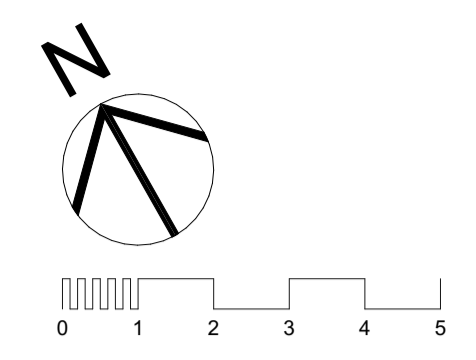
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**001**

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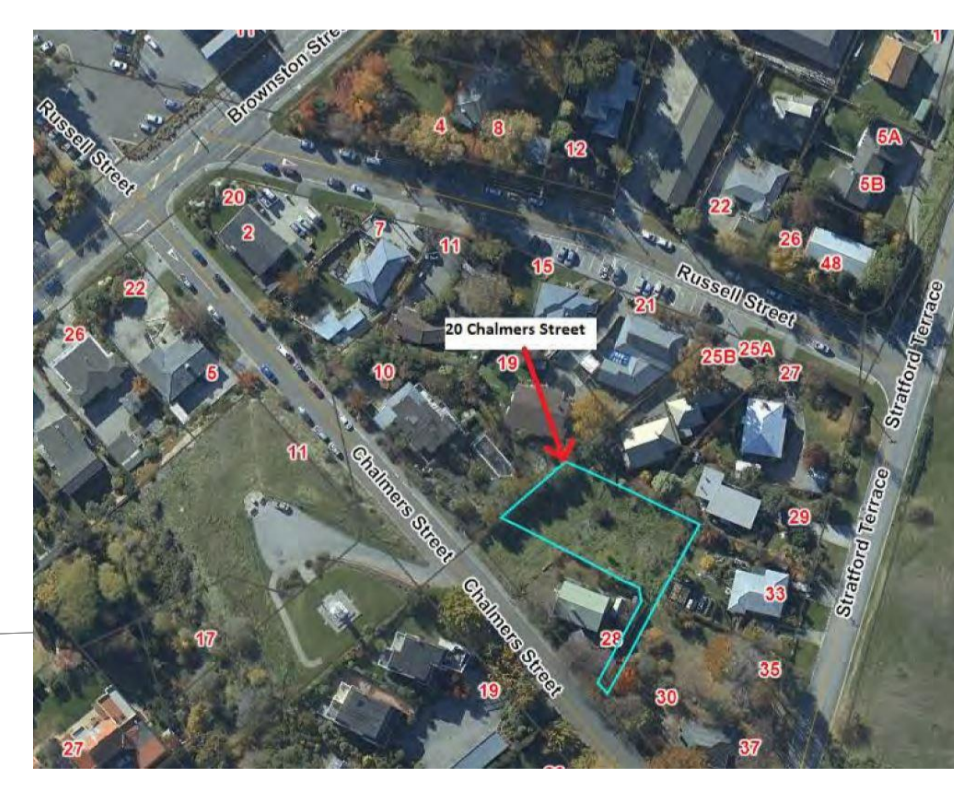


**Site description**  
 Legal Description: Lot 2 DP:525511  
 Address: 20 Chalmers Street Wanaka 9305  
 Site Area: 1100 m<sup>2</sup>  
 Building Footprint: 443 m<sup>2</sup>  
 Site Coverage: 50%  
 Wind Zone: Medium  
 Earthquake Zone: 3  
 Corrosion Zone: B  
 Climate Zone: 3  
 Rainfall Intensity: 20-30mm  
 Snow Zone: N5  
 Planning Zone: Medium Residential Zone

- Sediment Control Plan**
- The site manager is responsible for ensuring compliance with this management plan during the entire construction period
  - Sediment control measures are intended to remove coarse silt and debris from storm water runoff leaving the site. The effectiveness of the measures is to be reviewed immediately after rain or at least weekly by the site manager and if necessary further controls put in place to prevent excess sediment or rubbish from entering the public storm water system
  - Expected control measures are shown on this plan
  - Vehicle access trips are located at the proposed entranceways and are to be constructed as detailed in the Local Authorities sediment control guide line. Silt control fences if required are detailed on the drawing. If necessary shallow trenches are to be cut along the site boundaries to direct all storm water runoff to within the catch areas created by the vehicle access strips or silt control fences
  - All vehicles entering the site are to use the proposed vehicle crossings dug out and back filled as detailed in the Local Authorities sediment control guide lines. Any soil or debris deposited on areas outside of the site boundary is to be properly removed to within the site.

- Public Safety & Security**
- Provide full height fencing to all sides of the construction site. Liaise with neighbours to secure existing boundary fences where undersized.
  - Provide temporary site access gate as shown on the plan and secure storage set up clear of new work site. Allow to maintain secure access through project.

- Site Specific Notes**
- The site falls to the North where the ROW located to the South. Sediment control to be located as shown to collect as much runoff as practical. Ensure all building debris is removed from site upon completion.
  - Refer to engineers drawings regarding specific designs of retaining structures, excavations and soak pits.
  - Refer to approved Resource Consent conditions. Reference: RM200459. Note all excavation, geotechnical and landscaping requirements are to be met during construction.



**Location Plan**  
 Scale: NTS

**Building Consent**

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604 2011 and the New Zealand Building Code.

Rev: 06/06/2021 Issue: Building Consent Issue

**Three Sixty Architecture**

Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

Site Plan

Scale @ A1 1:100  
 File No. R19015  
 Date 9/06/2021  
 Revision

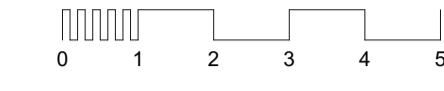
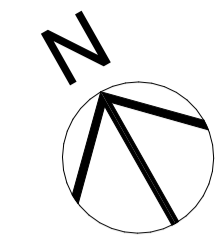
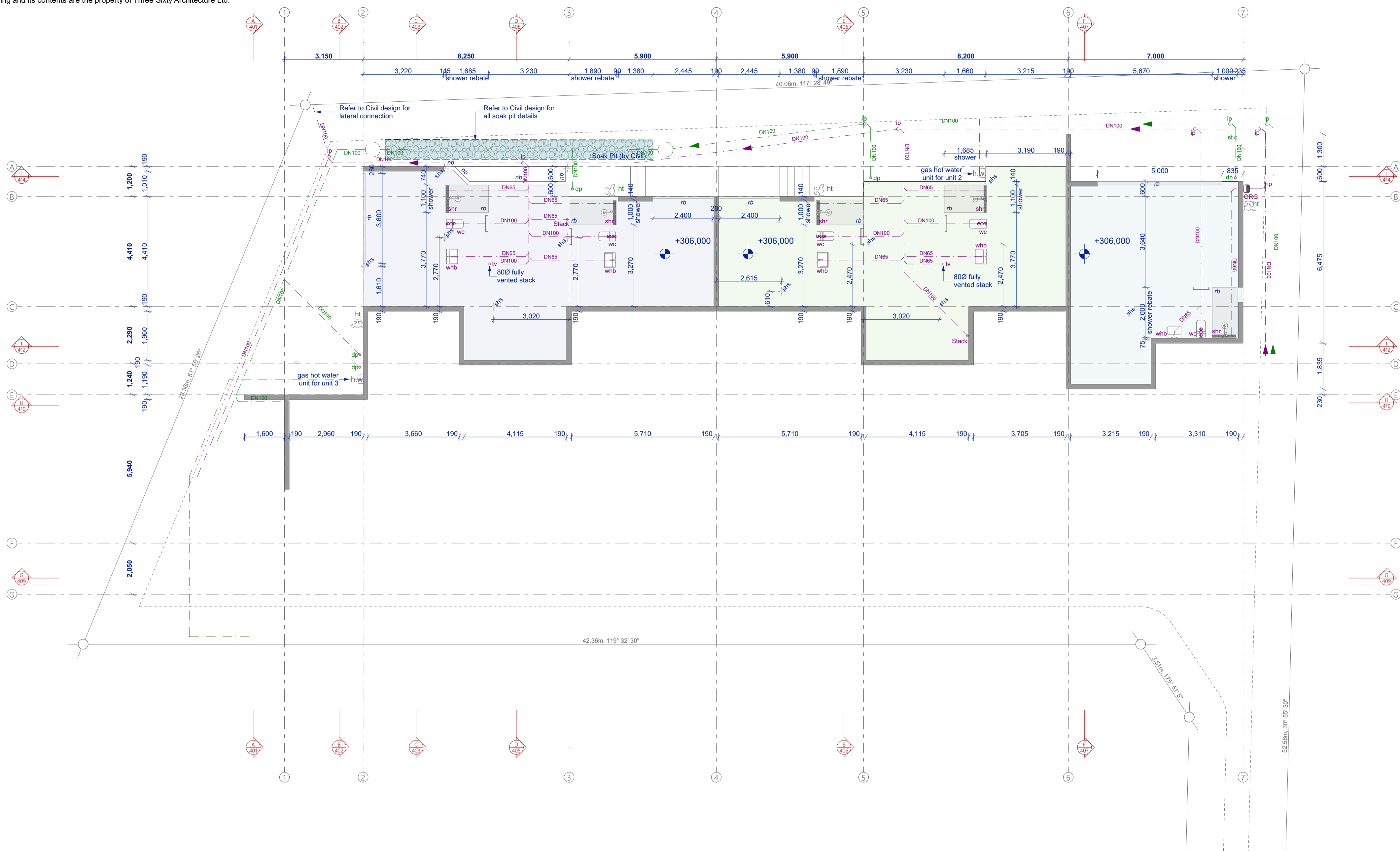
Sheet No. **101**

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**Site Plan**  
 Scale 1:100



**Plumbing line types**

- Water supply — W —
- SW drain — SW uPVC ø100 mm 1:120 min
- FS drain — SS uPVC ø100 mm 1:60 min
- Gas line — —

**Plumbing legend**

|      | Above slab             | In/below slab |
|------|------------------------|---------------|
| whb  | W/hand basin DN40 1:40 | DN65 1:40     |
| sink | Sink DN50 1:40         | DN65 1:40     |
| bath | Bath DN50 1:40         | DN65 1:40     |
| shr  | Shower DN50 1:40       | DN65 1:40     |
| wc   | WC toilet DN80 1:60    | DN100 1:60    |
| tv   | Terminal vent DN80     | -             |
| io   | Inspection DN40        | -             |
| ht   | Hose tap               | -             |
| st   | Silt trap              | -             |
|      | Main drains            | DN100 1:60    |

nb 150mm high concrete nib wall  
 rb rebate in floor

**Plumbing notes:**  
 All materials, workmanship and design of sanitary plumbing and drainage to the following:  
 AS/NZS3500.1 (water supply)  
 AS/NZS3500.2 (sanitary)  
 AS/NZS3500.3 (stormwater)  
 AS/NZS3500.4 (hot water).

Note: as an alternative to venting all fittings back to terminal vent, air admittance valves may be installed to all fittings.

Note: 20mm condensate drain pipe from ghw be fitted with vacuum break device on waste pipe connected into nearest fixture waste complete with air gap as per AS/NZS3500.4 (refer to product specifications)

Min temperature of cylinder to be 60° degrees Celsius. Limit water temperature to 55° degrees Celsius via a tempering valve where hot water is supplied to sanitary fittings used for personal hygiene all to comply with AS/NZS3500.4.

**Slab notes:**  
 Slab thickenings as per engineers documents

Structural steel posts to be rebated into slab as detailed by engineer.

Tiled showers to have 50mm rebate into slab to allow for mortar fill with tiles over to form required falls to outlets.

Liaise with electrical & hvac contractor for underground or in slab conduit for electrical cabling and hvac ducting.

**Drainage notes:**  
 Allow to check all levels on site prior to construction

Read in conjunction with slab and footing details

L0 Foundation Plan  
 Scale 1:100

**Building Consent**

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604 2011 and the New Zealand Building Code.

Rev. Code: 16/04/2021 Issue: Building Consent Issue

**Three Sixty Architecture**



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

L0 Foundation Plan

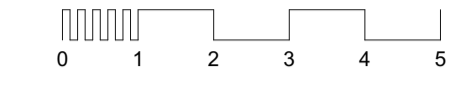
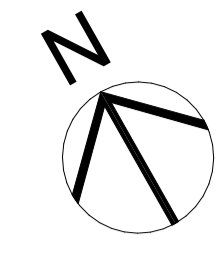
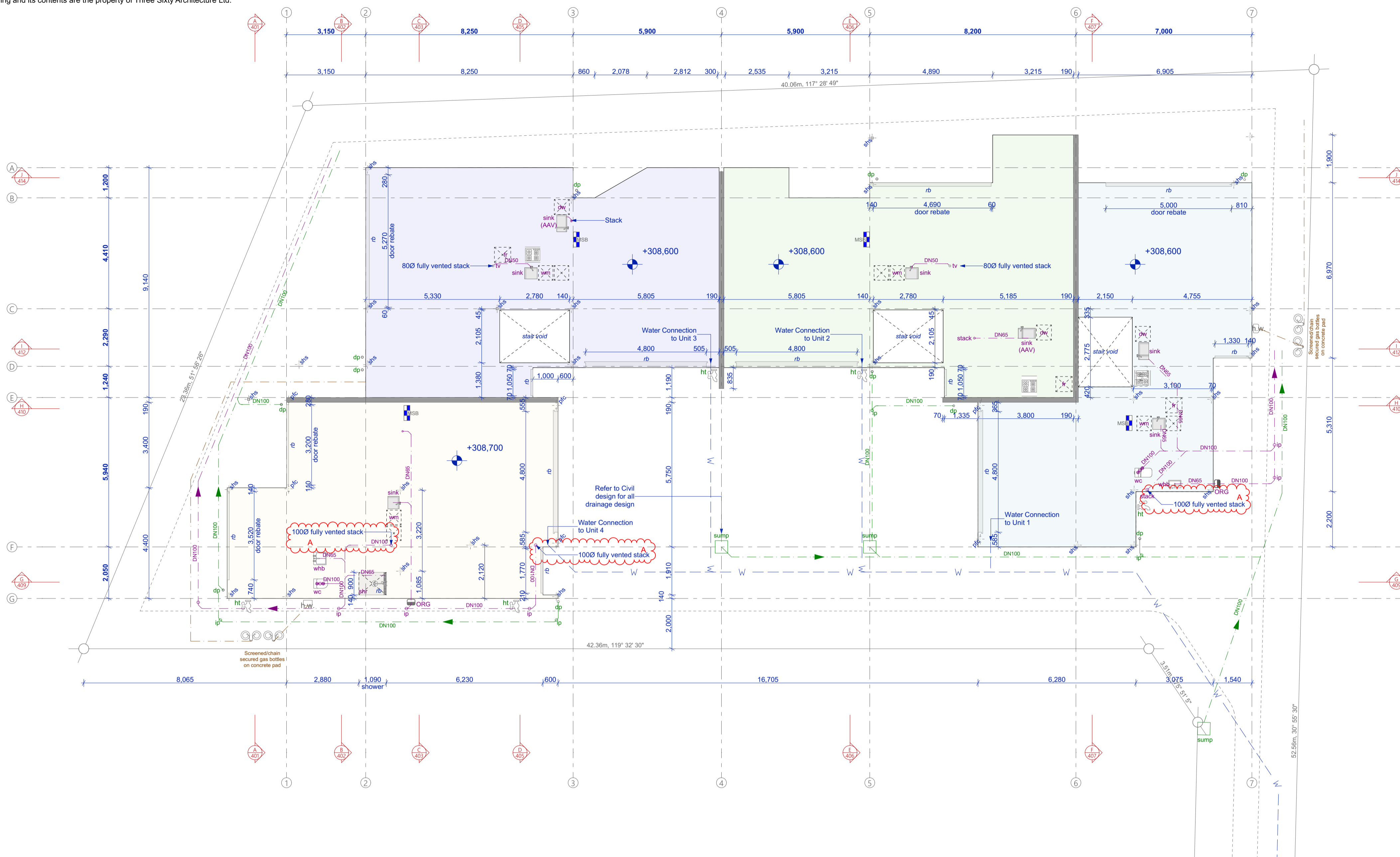
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| Date       | 9/06/2021 |
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Sheet No. **201**

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**Plumbing line types**

- Water supply — W —
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- FS drain — SS uPVC ø100 mm 1:60 min
- Gas line — —

**Plumbing legend**

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|      | Main drains            | DN100 1:60    |

nb 150mm high concrete nib wall  
 rb rebate in floor

**Plumbing notes:**  
 All materials, workmanship and design of sanitary plumbing and drainage to the following:  
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**Slab notes:**  
 Slab thickenings as per engineers documents

Structural steel posts to be rebated into slab as detailed by engineer.

Tiled showers to have 50mm rebate into slab to allow for mortar fill with tiles over to form required falls to outlets.

Liaise with electrical & hvac contractor for underground or in slab conduit for electrical cabling and hvac ducting.

**Drainage notes:**  
 Allow to check all levels on site prior to construction

Read in conjunction with slab and footing details

L1 Foundation Plan  
 Scale 1:100

**Building Consent**

Notes:  
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| Rev. | Date      | Issue                              |
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**Three Sixty Architecture**



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

L1 Foundation Plan

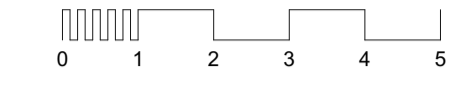
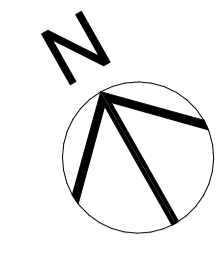
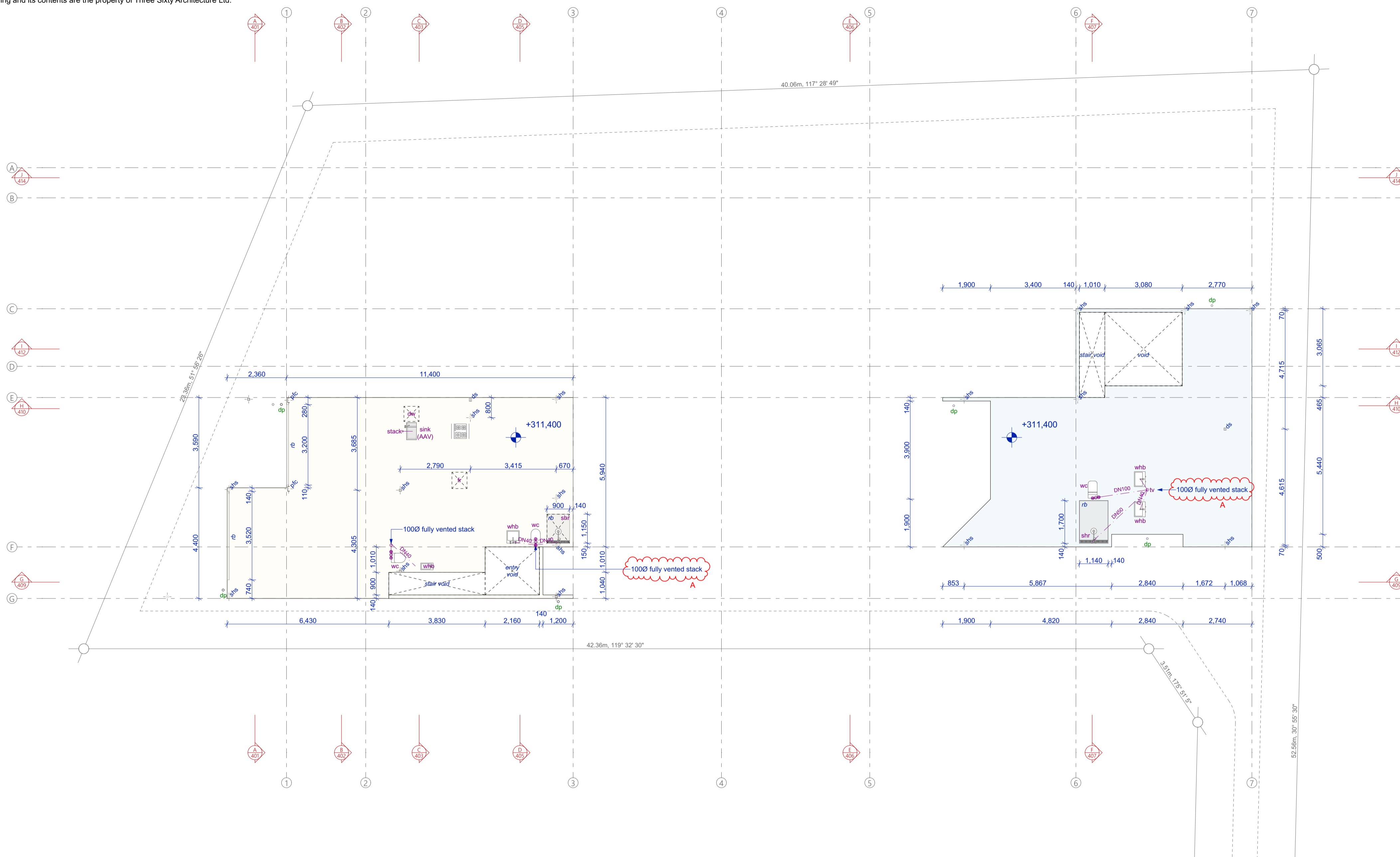
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| Revision   | A         |

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**Plumbing line types**

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**Plumbing legend**

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| bath | Bath DN50 1:40         | DN65 1:40     |
| shr  | Shower DN50 1:40       | DN65 1:40     |
| wc   | WC toilet DN80 1:60    | DN100 1:60    |
| tv   | Terminal vent DN80     | -             |
| io   | Inspection DN40        | -             |
| ht   | Hose tap               | ↔             |
| st   | Silt trap              | -             |
|      | Main drains            | DN100 1:60    |

nb 150mm high concrete nib wall  
 rb rebate in floor

**Plumbing notes:**  
 All materials, workmanship and design of sanitary plumbing and drainage to the following:  
 AS/NZS3500.1 (water supply)  
 AS/NZS3500.2 (sanitary)  
 AS/NZS3500.3 (stormwater)  
 AS/NZS3500.4 (hot water).

Note: as an alternative to venting all fittings back to terminal vent, air admittance valves may be installed to all fittings.

Note: 20mm condensate drain pipe from ghw be fitted with vacuum break device on waste pipe connected into nearest fixture waste complete with air gap as per AS/NZS3500.4 (refer to product specifications)

Min temperature of cylinder to be 60° degrees Celsius. Limit water temperature to 55° degrees Celsius via a tempering valve where hot water is supplied to sanitary fittings used for personal hygiene all to comply with AS/NZS3500.4.

**Slab notes:**  
 Slab thickenings as per engineers documents

Structural steel posts to be rebated into slab as detailed by engineer.

Tiled showers to have 50mm rebate into slab to allow for mortar fill with tiles over to form required falls to outlets.

Liaise with electrical & hvac contractor for underground or in slab conduit for electrical cabling and hvac ducting.

**Drainage notes:**  
 Allow to check all levels on site prior to construction

Read in conjunction with slab and footing details

L2 Plumbing Plan  
 Scale 1:100

**Building Consent**

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604 2011 and the New Zealand Building Code.

| Rev. | Date      | Issue                              |
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**Three Sixty Architecture**



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

L2 Plumbing Plan

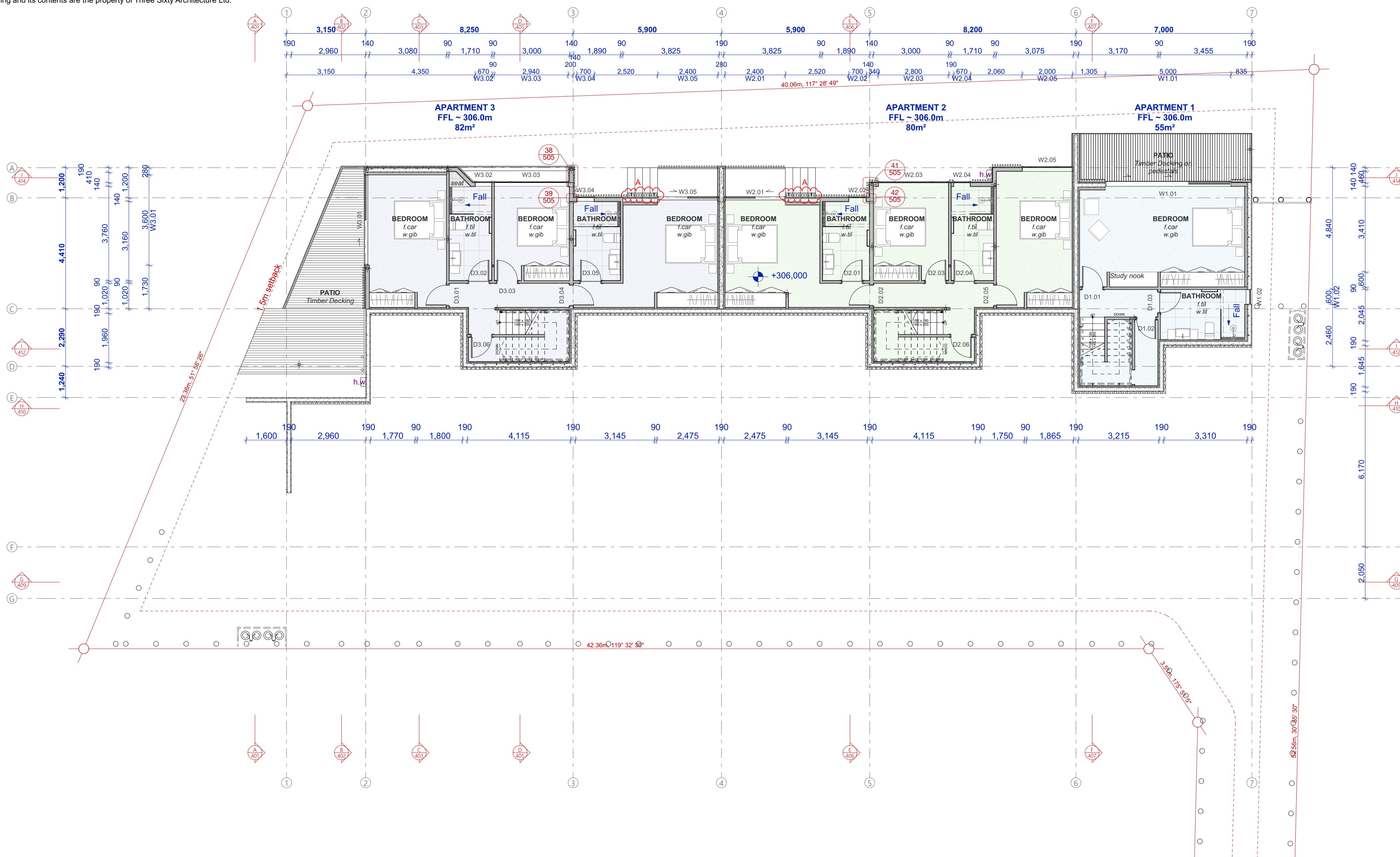
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| File No.   | R19015    |
| Date       | 9/06/2021 |
| Revision   | A         |

Sheet No. **203**

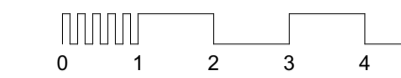
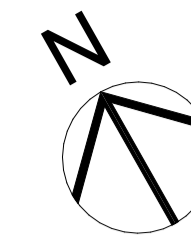
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L0 Basement Plan  
 Scale 1:100



**Interior linings:**

- Walls generally: 10mm Gib lining
- Walls Wet areas: 10mm Aqualine
- Walls Garage: 9mm Ply
- Shower walls: Selected tiles installed over waterbarrier.
- Ceilings generally: 13mm Gib supported at 600mm.
- Soffits Generally: Bandsawn Grooved Ply Paint Finish
- Ceilings Garage: 12mm Ply

Refer to internals for extent of tiling to bathrooms, ensuite etc.  
 Refer to engineers bracing schedule for details of bracing

**Timber framing:**

- Exterior wall framing: H1.2 treated
- Wall cavity battens: H3.2 treated
- Membrane roofing ply: H3.2 treated cca
- Membrane rafters: H1.2 treated
- Roof framing: H1.2 treated
- Ceiling framing: H1.2 treated

CCA treated timber must not come in contact with Colorsteel or structural steel.

All structural timber shall be MSG8 grade unless stated otherwise.

Refer to cladding specifications for framing set out to suit non-structural cavity systems.  
 In general all walls to be framing set out as follows:

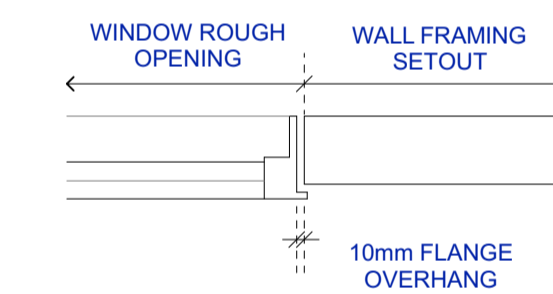
- Structural: 140x45 framing: studs @ 600mm / dwangs @ 800mm
- 90x45 framing: studs @ 600mm / dwangs @ 800mm

Partitions: Up to 3m 90x45 framing: studs @ 600mm / dwangs @ 800mm

**Insulation:**

- All external 140mm walls to be insulated with minimum R4.0
- Roof areas to have R5.0 insulation installed above the ceiling lining.
- 50mm XPS polystyrene under slab insulation
- All bathroom spaces to have acoustic insulation to all cavities.
- Provide acoustic insulation between bedrooms & living areas.

**Window setout diagram**



Window rough opening dimensions allow for 10mm overhang between window flange and framing edge.

**FLOORING LEGEND**

- Carpet over underlay
- 19mm adhesive fixed timber flooring
- Non-slip tiles 600x600
- Concrete finished with sealer coat

**Building Consent**

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials.  
 All work must comply with NZS 3604:2011 and the New Zealand Building Code.

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|           | Council RFI            |

**Three Sixty Architecture**



Chalmers Street  
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 20 Chalmers Street  
 Wanaka

L0 Basement Plan

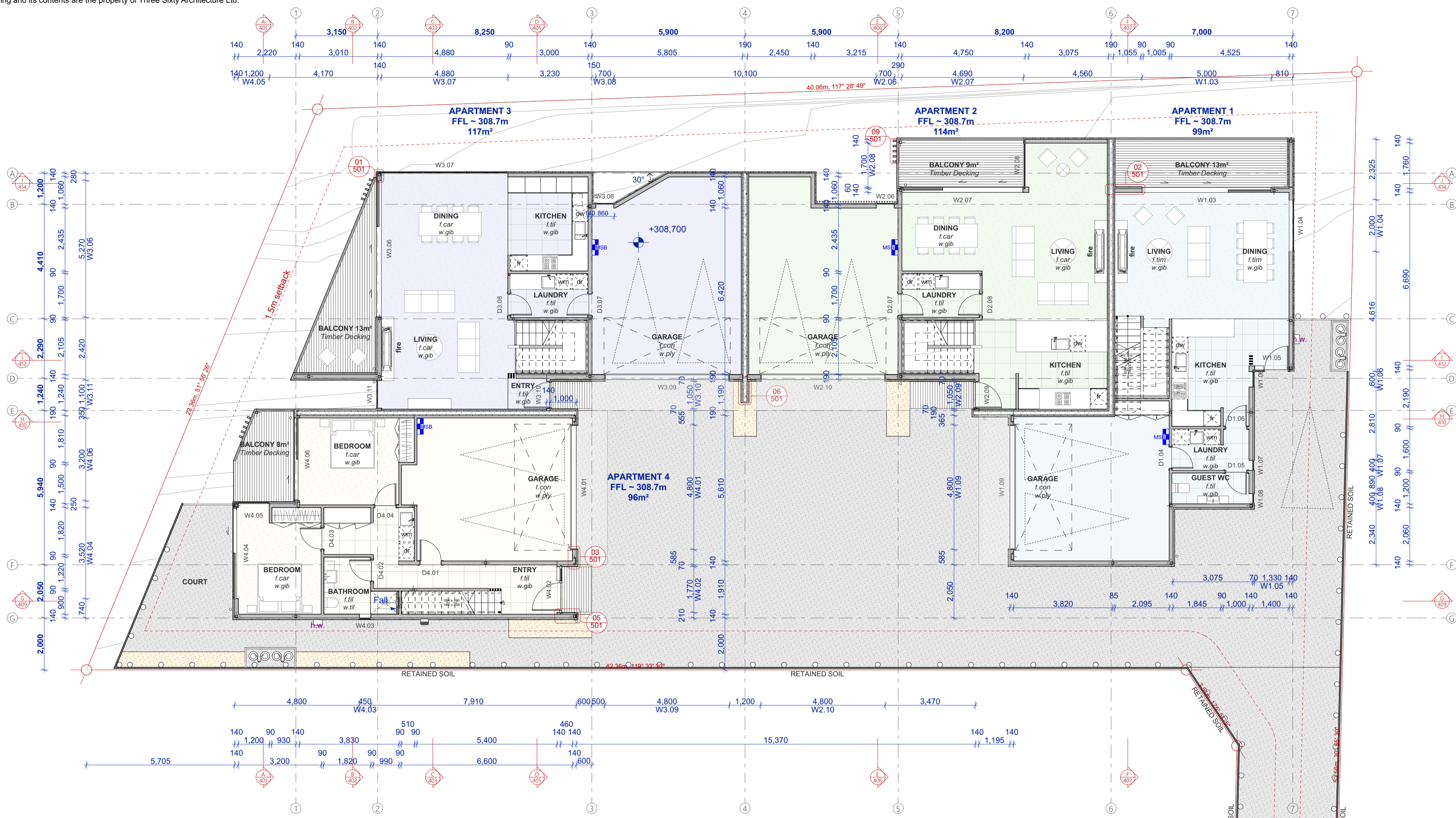
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| Date       | 9/06/2021 |
| Revision   | A         |

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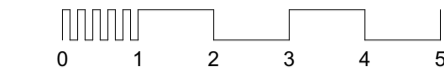
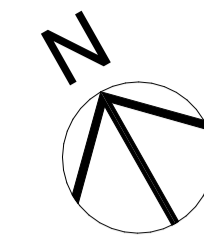
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 Christchurch 8140

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L1 Ground Floor Plan  
 Scale 1:100



- Interior linings:**
- Walls generally: 10mm Gib lining
  - Walls Wet areas: 10mm Aqualine
  - Walls Garage: 9mm Ply
  - Shower walls: Selected tiles installed over waterbarrier.
  - Ceilings generally: 13mm Gib supported at 600mm.
  - Soffits Generally: Bandsawn Grooved Ply Paint Finish
  - Ceilings Garage: 12mm Ply

Refer to internals for extent of tiling to bathrooms, ensuite etc.  
 Refer to engineers bracing schedule for details of bracing

- Timber framing:**
- Exterior wall framing: H1.2 treated
  - Wall cavity battens: H3.2 treated
  - Membrane roofing ply: H3.2 treated cca
  - Membrane rafters: H1.2 treated
  - Roof framing: H1.2 treated
  - Ceiling framing: H1.2 treated

CCA treated timber must not come in contact with Colorsteel or structural steel.

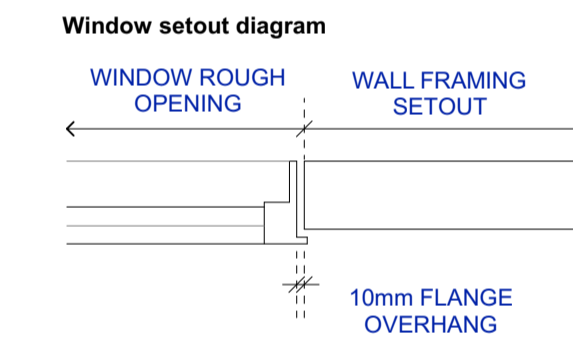
All structural timber shall be MSG8 grade unless stated otherwise.

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- 90x45 framing: studs @ 600mm / dwangs @ 800mm

Partitions: Up to 3m 90x45 framing: studs @ 600mm / dwangs @ 800mm

- Insulation:**
- All external 140mm walls to be insulated with minimum R4.0
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  - 50mm XPS polystyrene under slab insulation
  - All bathroom spaces to have acoustic insulation to all cavities.
  - Provide acoustic insulation between bedrooms & living areas.



Window rough opening dimensions allow for 10mm overhang between window flange and framing edge.

- FLOORING LEGEND**
- CARP: CARPET OVER UNDERLAY
  - 19mm ADHESIVE FIXED TIMBER FLOORING
  - NONSLIP TILES 600x600
  - CONCRETE FINISHED WITH SEALER COAT

**Building Consent**

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials.  
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**Three Sixty Architecture**



Chalmers Street  
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 Wanaka

L1 Ground Floor Plan

Scale @ A1 1:100  
 File No. R19015  
 Date 9/06/2021  
 Revision -

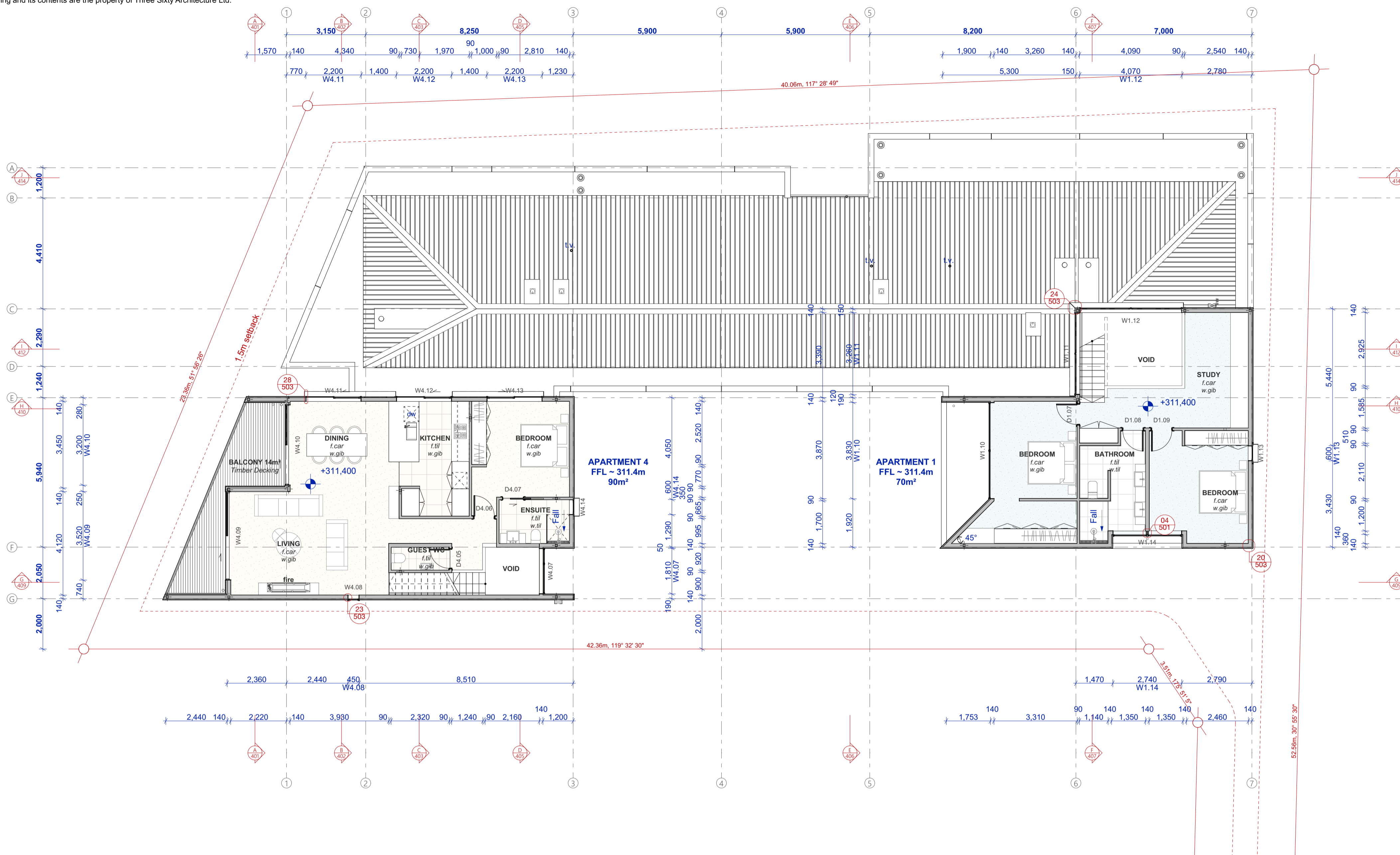
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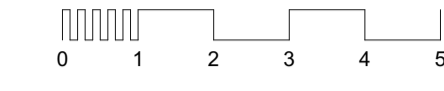
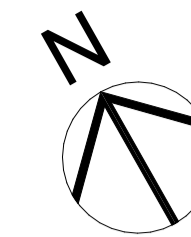
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L2 First Floor Plan  
 Scale 1:100



- Interior linings:**
- Walls generally: 10mm Gib lining
  - Walls Wet areas: 10mm Aqualine
  - Walls Garage: 9mm Ply
  - Shower walls: Selected tiles installed over waterbarrier.
  - Ceilings generally: 13mm Gib supported at 600mm.
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  - Membrane rafters: H1.2 treated
  - Roof framing: H1.2 treated
  - Ceiling framing: H1.2 treated

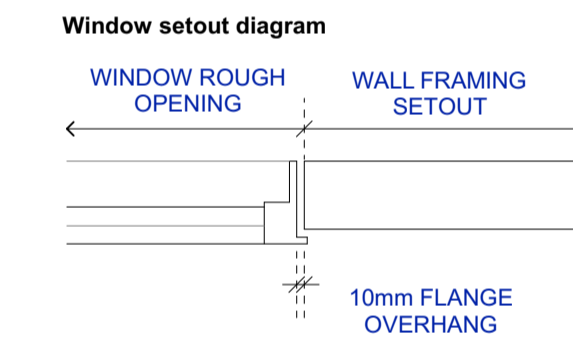
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  - 90x45 framing: studs @ 600mm / dwangs @ 800mm

Partitions: Up to 3m 90x45 framing: studs @ 600mm / dwangs @ 800mm

- Insulation:**
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Window rough opening dimensions allow for 10mm overhang between window flange and framing edge.

- FLOORING LEGEND**
- Carpet over underlay
  - 19mm adhesive fixed timber flooring
  - Non-slip tiles 600x600
  - Concrete finished with sealer coat

**Building Consent**

Notes:  
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**Three Sixty Architecture**



Chalmers Street  
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 20 Chalmers Street  
 Wanaka

L2 First Floor Plan

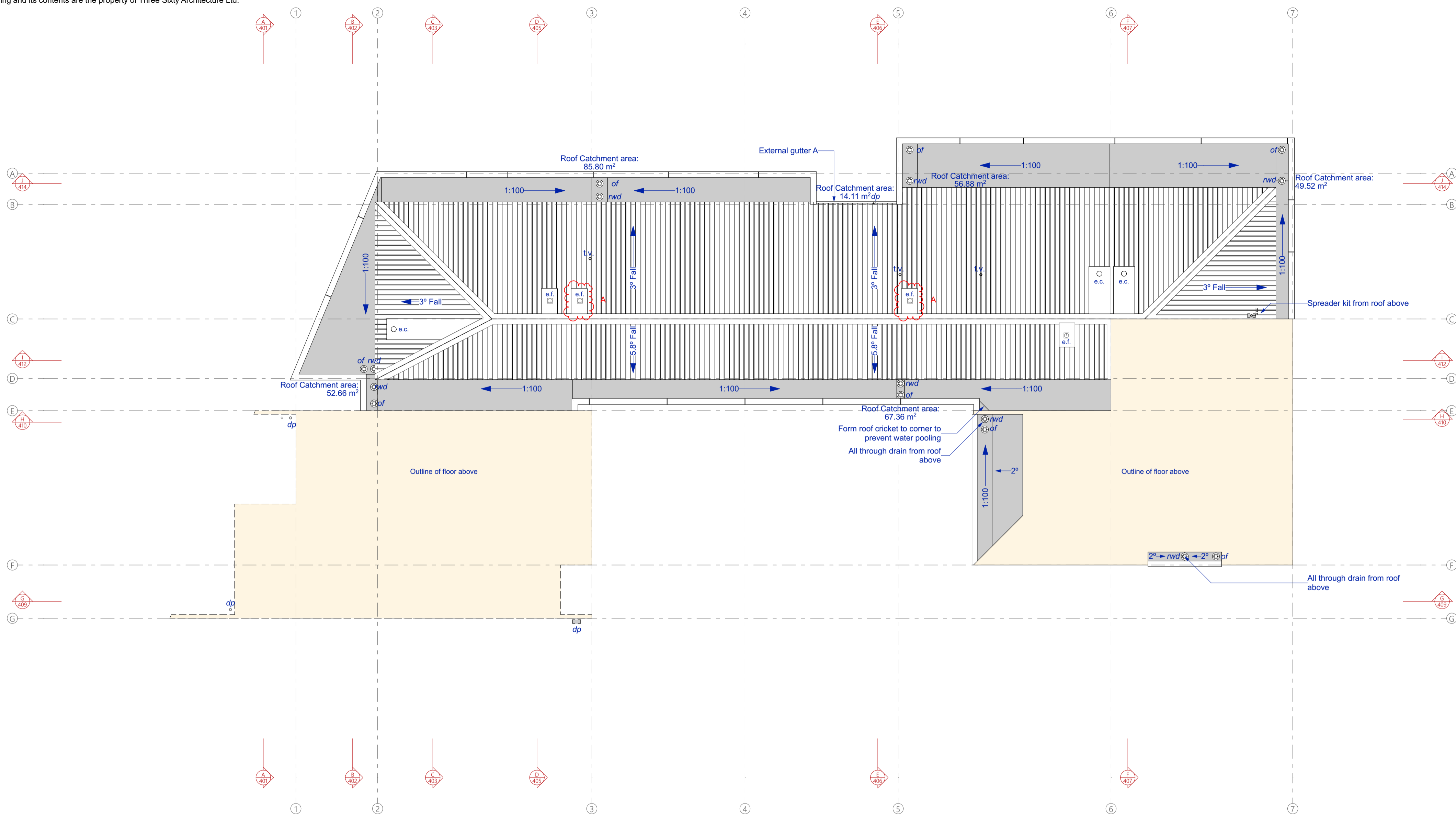
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 Date 9/06/2021  
 Revision -

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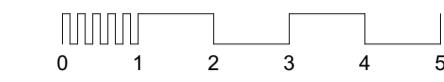
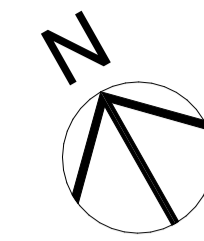
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L1 Roof Plan  
 Scale 1:100



**Roofing systems**

**Colorsteel Roofing**  
 0.55 BMT Colorsteel T-Rib Roofing at min. 3deg. over selected roofing underlay and wire mesh, screwed to top of purlins (70x45 900crs max). Prefinished Colorsteel Endura finish.

**Membrane roof/gutters**  
 Viking Lybra SBS Torch-on Waterproofing membrane installed in accordance with the manufacturers details over 17mm F8 H3.2 CCA treated ply supported at 400crs

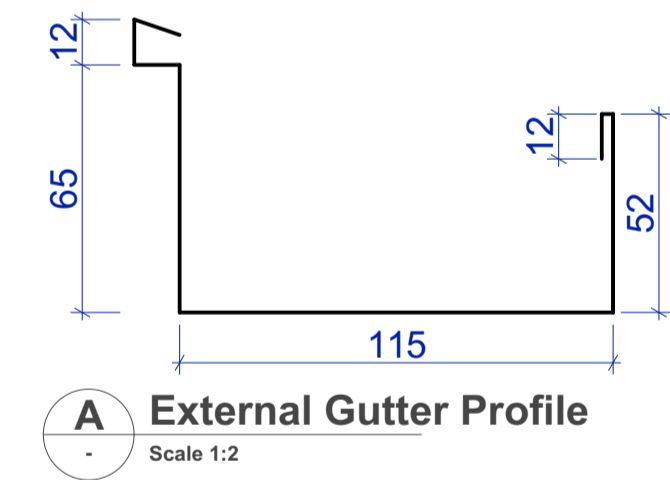
Snow boards to be installed to all internal gutters formed with H3.2 Ex20x20 battens at 65mm crs on H4 45x45 runners in 1.2m sections.

**Legend:**

- dp* 80Ø Downpipes. Provide Colorsteel downpipes where exposed, to be secured in place with matching munzning rings at 1.8m crs
- rwh* Folded Colorsteel rainwater heads to be installed over outflow scupper to roof gutter.
- rwd* 80mm Roof drain - Viking clamped outlet SDM049 with S/S domed grate. Connect with colorsteel downpipe below
- of* 80mm Roof drain - Viking clamped outlet SDM049 with S/S domed grate. PVC outlet to extend 10mm below soffit
- lrv* lowrise roof cavity vent.
- tv* Terminal vent penetration
- ec* Chimney penetration for gas fire
- ef* Extract fan roof penetration

**Roofing notes**

Membrane roofing to be laid in accordance with manufacturers instructions. Refer specifications  
 All spouting to be folded Colorsteel - As per profile A below  
 Where a roof drain drops down through another outlet below, install an Allproof 'Allthrough' drain and align outlets above and below.  
 Allow to refer to electrical drawings for further details of aerials, dishes and ac equipment shown on the roof plan. All support brackets through roofing shall be flashed weathertight.  
 Vented flashing to be installed to skillion ceilings as detailed.



**Building Consent**

Notes:  
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 All work must comply with NZS 3604 2011 and the New Zealand Building Code.

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**Three Sixty Architecture**



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

L1 Roof Plan

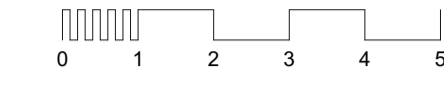
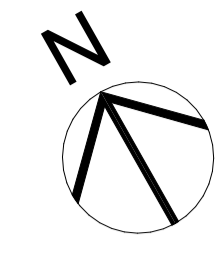
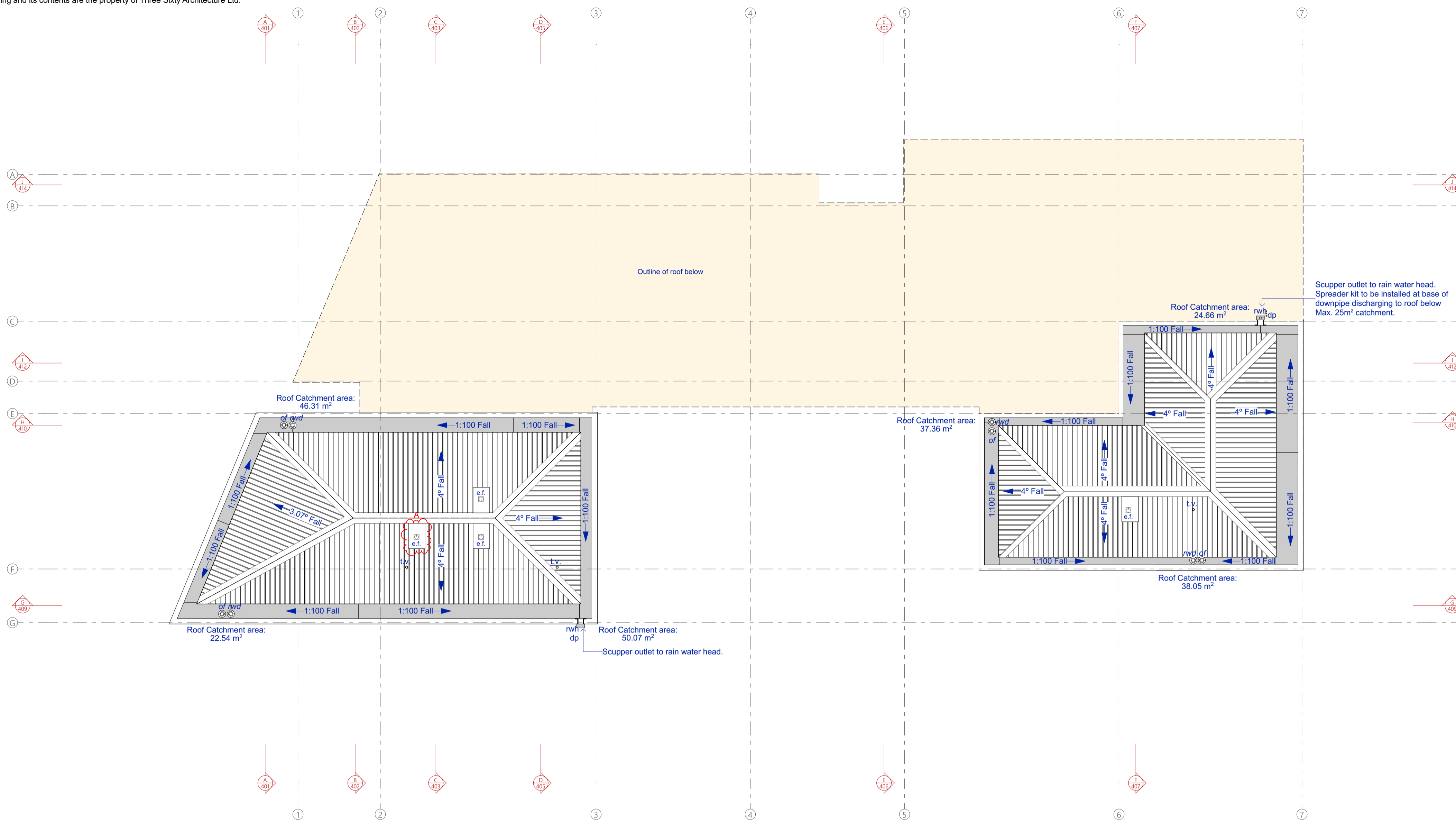
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| File No.   | R19015     |
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**Roofing systems**

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 0.55 BMT Colorsteel T-Rib Roofing at min. 3deg. over selected roofing underlay and wire mesh, screwed to top of purlins (70x45 900crs max). Prefinished Colorsteel Endura finish.

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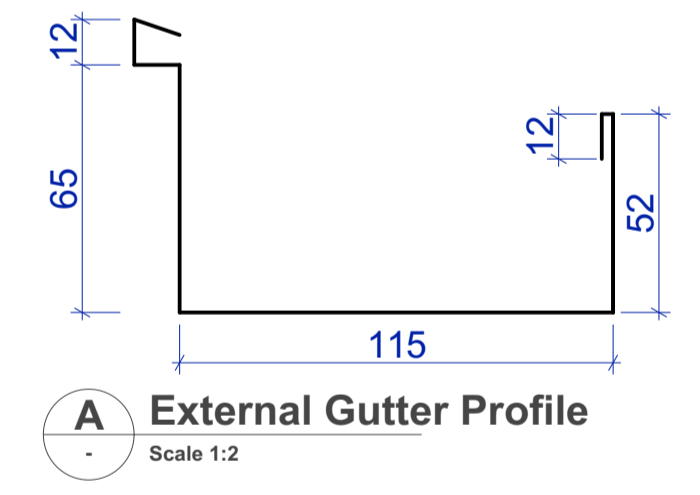
**Legend:**

- dp* 80Ø Downpipes. Provide Colorsteel downpipes where exposed, to be secured in place with matching munzing rings at 1.8m crs
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- lr* lowrise roof cavity vent.
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**Roofing notes**

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 Where a roof drain drops down through another outlet below, install an Allproof 'Allthrough' drain and align outlets above and below.  
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 Vented flashing to be installed to skillion ceilings as detailed.

L2 Roof Plan  
 Scale 1:100



**Building Consent**

Notes:  
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Chalmers Street  
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L2 Roof Plan

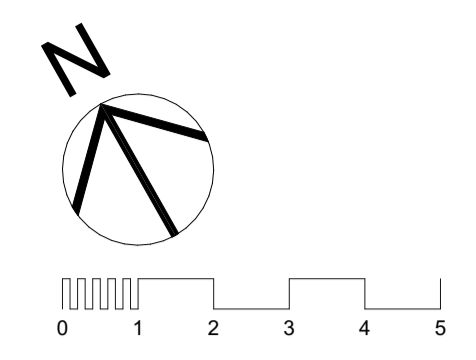
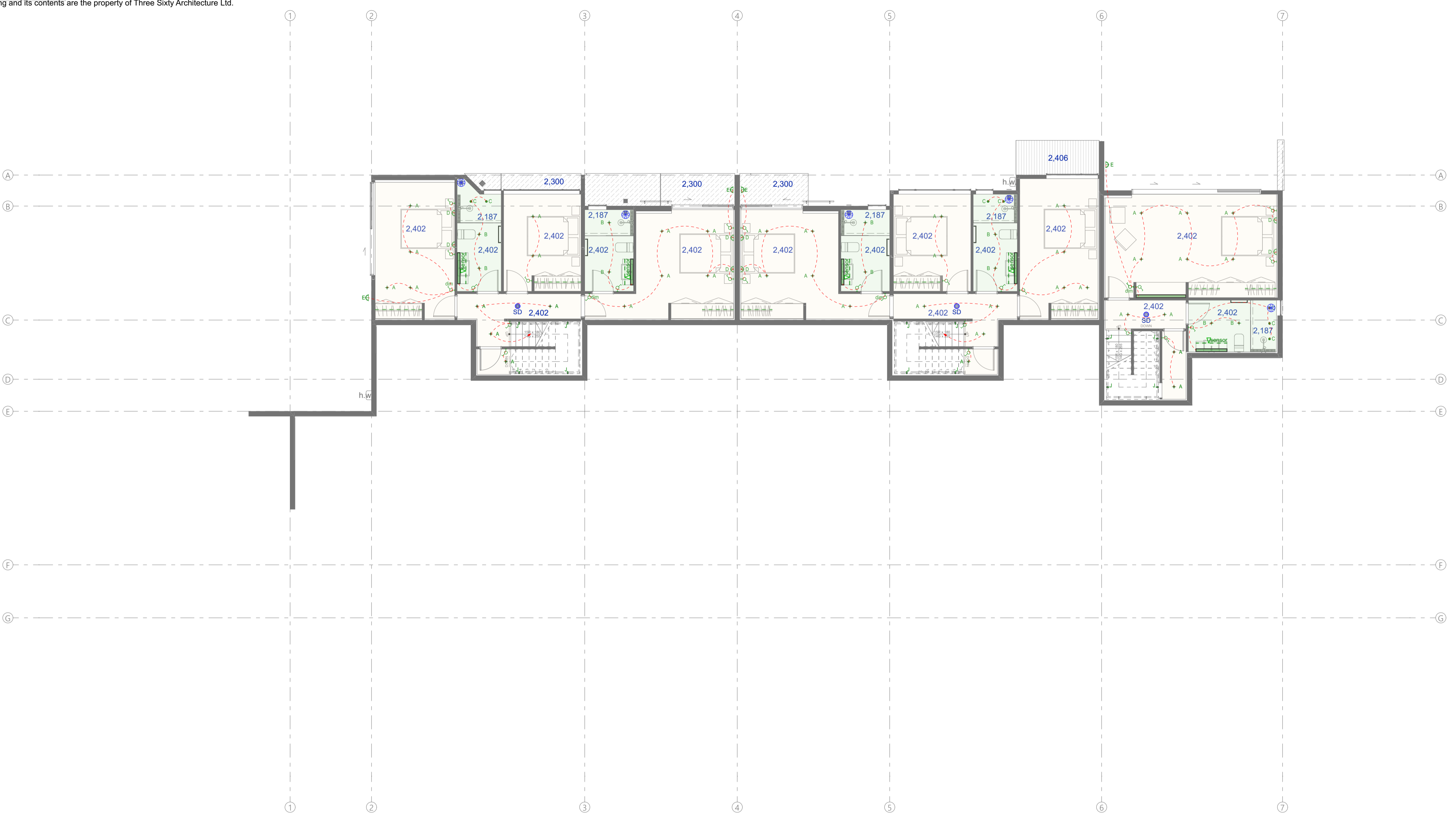
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| Date       | 9/06/2021  |
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Sheet No. **208**

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- Lighting legend**
- + A Recessed LED downlight
  - + B Recessed LED downlight IP rated
  - C Mini Spot LED downlight IP rated
  - D Wall mounted light fitting above bed
  - E Exterior wall mounted light fitting IP rated
  - F Pendant light fitting
  - G Feature pendant cluster
  - H Soffit mounted mini Spot LED downlight IP rated
  - + I Directional recessed LED downlight
  - J Recessed LED low wall mounted stair light
  - K Suspended LED track
  - - - L LED Strip integrated into joinery
  - M LED Mirror light
  - N Surface Mounted Fluorescent light
  - O Light switch
  - dm Dimmer Circuit
  - P Circuit Wire
  - Q Smoke detector with hush facility

**Lighting Notes**

Installation of all light fittings must comply with fire regulations

Installation of smoke detection system to meet nzbc c1, including hush facility to all smoke detectors

Ensure that all IP ratings of fittings is suited for their selected install location.

- Ceiling legend**
- K 13mm Gib standard lining on Rondo battens. Stop smooth to level 4 finish to receive paint
  - L 12mm ply ceiling lining, adhesive & brad fixed with selected oil finish
  - M 13mm GIB Aqualine stopped smooth to level 4 finish ready for painted finish.
  - N Grooved ply soffit, adhesive & brad fixed with selected paint finish
  - O Cudoclad Alpolic FR composit aluminium soffit integrated with cladding system

L0 RCP  
 Scale 1:100

**Building Consent**

Notes :  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials.  
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Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

L0 Reflected Ceiling Plan

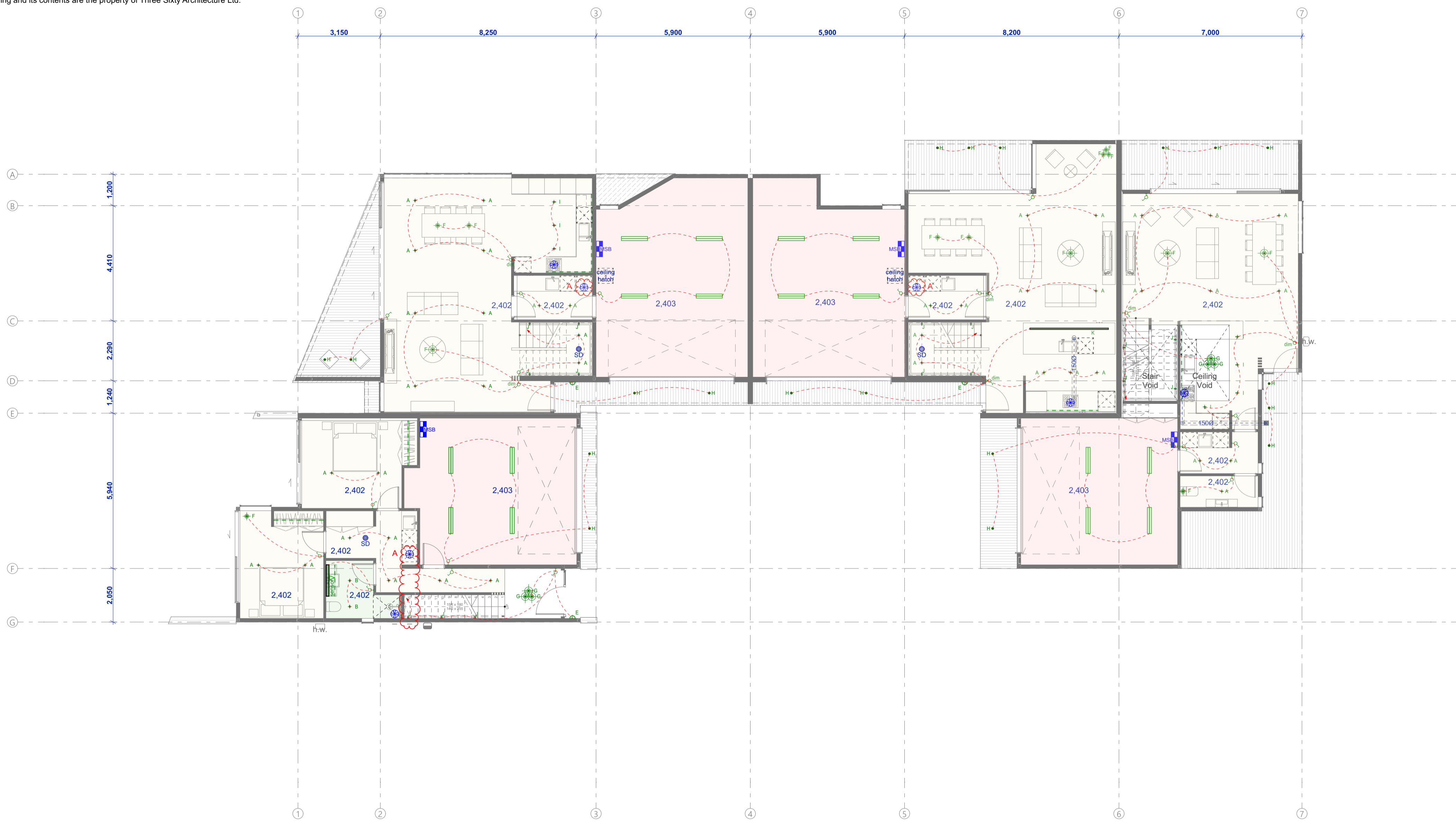
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Sheet No. **209**

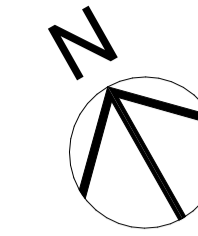
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L1 RCP  
 Scale 1:100



**Lighting legend**

- + A Recessed LED downlight
- + B Recessed LED downlight IP rated
- + C Mini Spot LED downlight IP rated
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- + L LED Strip integrated into joinery
- + M LED Mirror light
- + N Surface Mounted Fluorescent light
- SW Light switch
- DM Dimmer Circuit
- AW Circuit Wire
- SD Smoke detector with hush facility

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**Three Sixty Architecture**



Chalmers Street  
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L1 Reflected Ceiling Plan

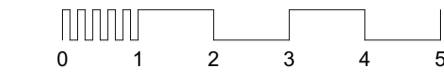
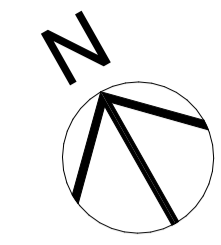
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 Level 1, The Yard  
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 Christchurch 8140

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- Lighting legend**
- + A Recessed LED downlight
  - + B Recessed LED downlight IP rated
  - C Mini Spot LED downlight IP rated
  - D Wall mounted light fitting above bed
  - D E Exterior wall mounted light fitting IP rated
  - ⊕ F Pendant light fitting
  - ⊕ G Feature pendant cluster
  - H Soffit mounted mini Spot LED downlight IP rated
  - + I Directional recessed LED downlight
  - J Recessed LED low wall mounted stair light
  - K Suspended LED track
  - - - L LED Strip integrated into joinery
  - M LED Mirror light
  - N Surface Mounted Fluorescent light
  - SW Light switch
  - DM Dimmer Circuit
  - O Circuit Wire
  - P Smoke detector with hush facility

**Lighting Notes**

Installation of all light fittings must comply with fire regulations

Installation of smoke detection system to meet nzbc c1, including hush facility to all smoke detectors

Ensure that all IP ratings of fittings is suited for their selected install location.

- Ceiling legend**
- 13mm Gib standard lining on Rondo battens. Stop smooth to level 4 finish to receive paint
  - 12mm ply ceiling lining, adhesive & brad fixed with selected oil finish
  - 13mm GIB Aqualine stopped smooth to level 4 finish ready for painted finish.
  - Grooved ply soffit, adhesive & brad fixed with selected paint finish
  - Cudoclad Alpolic FR composit aluminium soffit integrated with cladding system

L2 RCP  
 Scale 1:100

**Building Consent**

Notes :  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials.  
 All work must comply with NZS 3604 2011 and the New Zealand Building Code.

| Rev. | Date      | Issue                              |
|------|-----------|------------------------------------|
| A    | 9/06/2021 | Building Consent Issue Council RFI |

**Three Sixty Architecture**



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

L2 Reflected Ceiling Plan

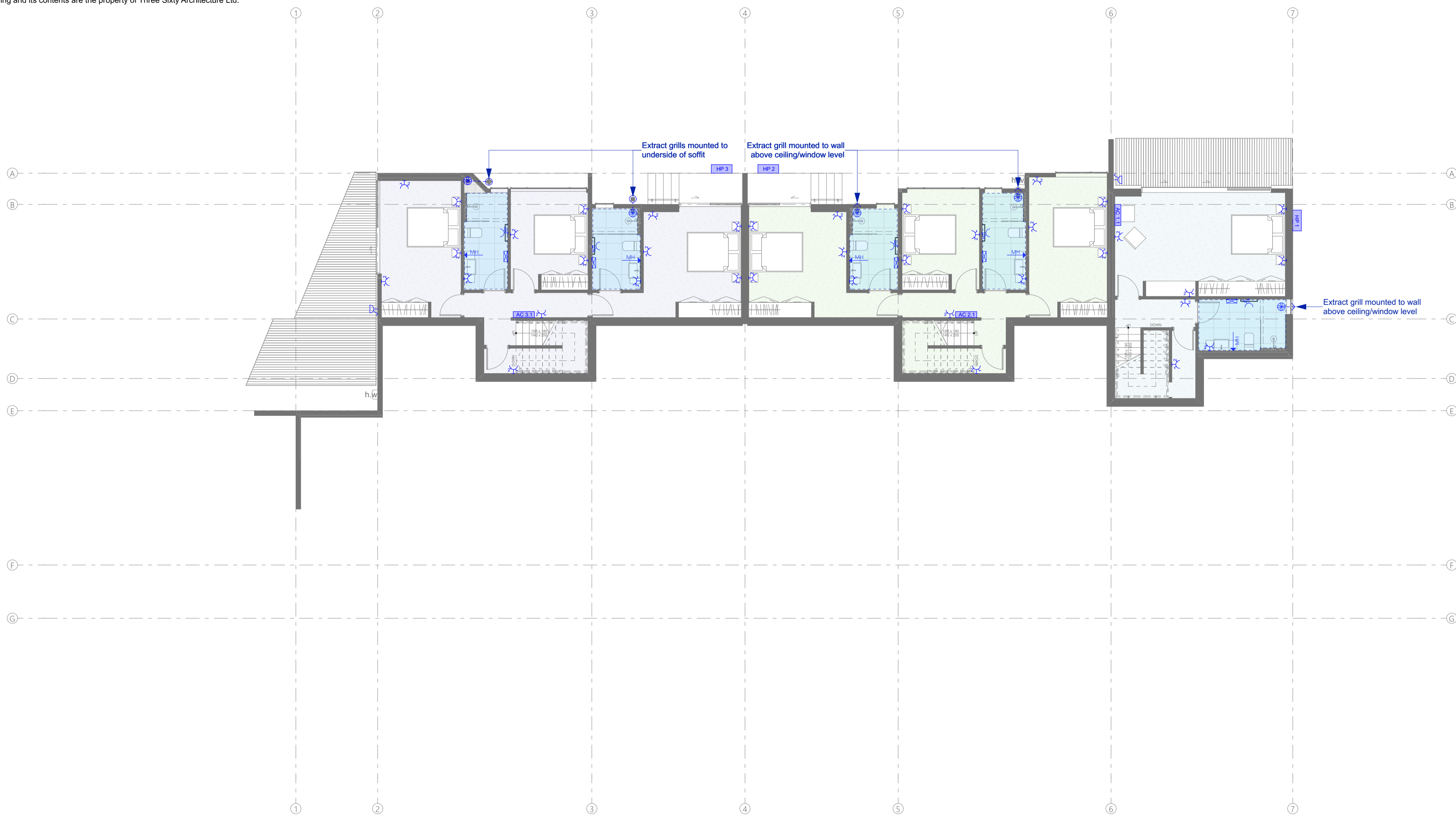
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| File No.   | R19015    |
| Date       | 9/06/2021 |
| Revision   | A         |

Sheet No. **211**

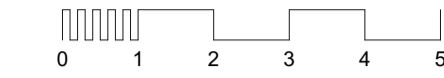
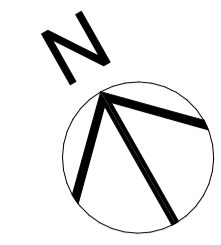
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L0 Electrical Plan  
 Scale 1:100



**Electrical legend**

- Automatic garage door opener (switched off nearest light panel)
- Double switched outlet
- Waterproof external socket
- Dedicated supply**
- ct - Cook top
- ovn - oven
- hwc - Hot Water Cylinder
- Dedicated switched outlet**
- RH - Range hood
- WM - Multifunction Microwave
- DW - Dishwasher
- WD - Waste disposal
- FF - Fridge freezer
- HT - Heated towel rail
- Phone connection (Run to DB board)
- TV Aerial socket
- CAT 6E Data socket (Run to DB Board)
- WiFi / Fibre Termination Point (Owner to supply Wireless unit.)
- Main switch board
- Data demarcation board + phone patch panel
- Meterboard with remote metering
- Wall mounted AC unit
- Outdoor Heat Pump
- Mirror anti-mist heater
- Bathroom Heater (switch on light panel)
- Extract fan (switch on light panel)
- Flexiduct path to exterior outlet
- Under tile heating zones
- Door bell / chime
- Bell Button
- TV Aerial
- Satellite dish
- Misc. Services:**
- Misc. water supply (Fridge freezer)
- Irrigation timer panel
- Security legend:**
- Keypad
- Security control panel
- Sensor
- Exterior siren

**Electrical Notes**

Installation of all fan extracts must provide at least 25 l/s extract vent

Limit water temperature at 55deg tempering valve must be supplied where sanitary fittings are used for personal hygiene

Security system as separate contract to be arranged by owner. allow to co-ordinate as necessary during construction.

Entertainment systems as separate contract to be arranged by owner. allow to co-ordinate as necessary during construction.

Allow to coordinate TV aerial and satellite dish on site. to be descreately positioned on roof away from view.

**Building Consent**

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604 2011 and the New Zealand Building Code.

Rev. Date: 16/04/2021 Issue: Building Consent Issue

**Three Sixty Architecture**



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

L0 Electrical Plan

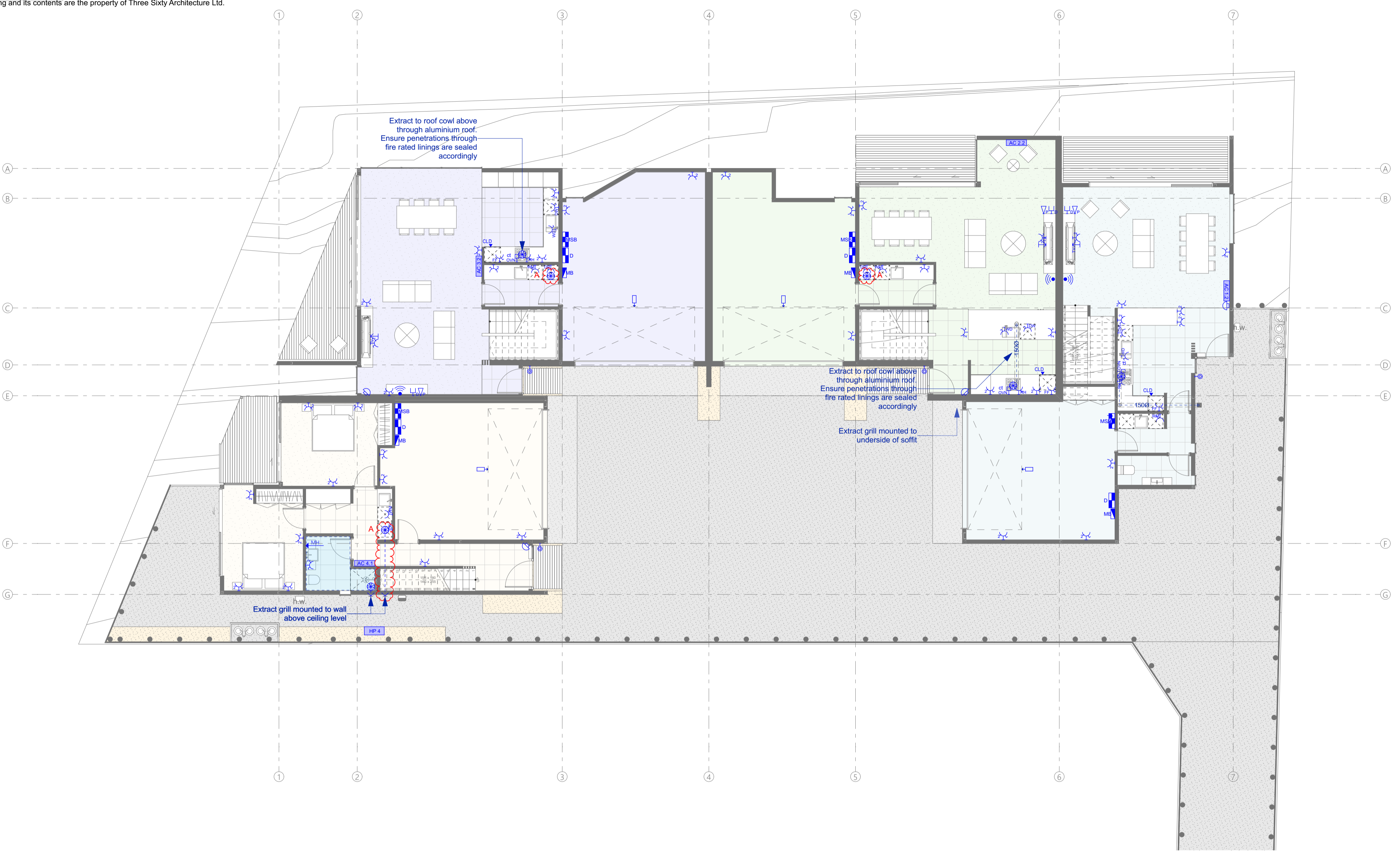
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| File No.   | R19015    |
| Date       | 9/06/2021 |
| Revision   | -         |

Sheet No. **212**

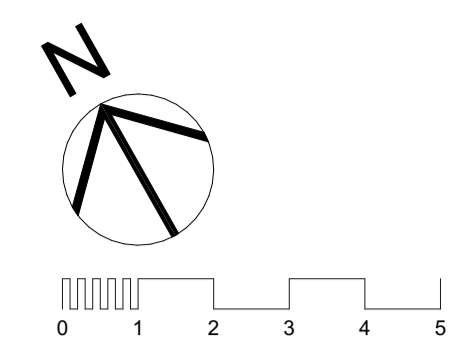
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L1 Electrical Plan  
 Scale 1:100



- Electrical legend**
- Automatic garage door opener (switched off nearest light panel)
  - Double switched outlet
  - Waterproof external socket
  - Dedicated supply
    - ct - Cook top
    - ovn - oven
    - hwc - Hot Water Cylinder
  - Dedicated switched outlet
    - RH - Range hood
    - WM - Multifunction Microwave
    - DW - Dishwasher
    - WD - Waste disposal
    - FF - Fridge freezer
    - HT - Heated towel rail
  - Phone connection (Run to DB board)
  - TV Aerial socket
  - CAT 6E Data socket (Run to DB Board)
  - WIFI / Fibre Termination Point (Owner to supply Wireless unit.)
  - Main switch board
  - Data demarcation board + phone patch panel
  - Meterboard with remote metering
  - Wall mounted AC unit
  - Outdoor Heat Pump
  - Mirror anti-mist heater
  - Bathroom Heater (switch on light panel)
  - Extract fan (switch on light panel)
  - Flexiduct path to exterior outlet
  - Under tile heating zones
  - Door bell / chime
  - Bell Button
  - TV Aerial
  - Satellite dish
  - Misc. Services:**
    - Misc. water supply (Fridge freezer)
    - Irrigation timer panel
  - Security legend:**
    - Keypad
    - Security control panel
    - Sensor
    - Exterior siren

**Electrical Notes**

Installation of all fan extracts must provide at least 25 l/s extract vent

Limit water temperature at 55deg tempering valve must be supplied where sanitary fittings are used for personal hygiene

Security system as separate contract to be arranged by owner. allow to co-ordinate as necessary during construction.

Entertainment systems as separate contract to be arranged by owner. allow to co-ordinate as necessary during construction.

Allow to coordinate TV aerial and satellite dish on site. to be discreetly positioned on roof away from view.

**Building Consent**

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604 2011 and the New Zealand Building Code.

| Rev. | Date       | Issue                  |
|------|------------|------------------------|
| 1    | 16/04/2021 | Building Consent Issue |
| A    | 9/06/2021  | Council RFI            |



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

L1 Electrical Plan

|            |           |
|------------|-----------|
| Scale @ A1 | 1:100     |
| File No.   | R19015    |
| Date       | 9/06/2021 |
| Revision   | A         |

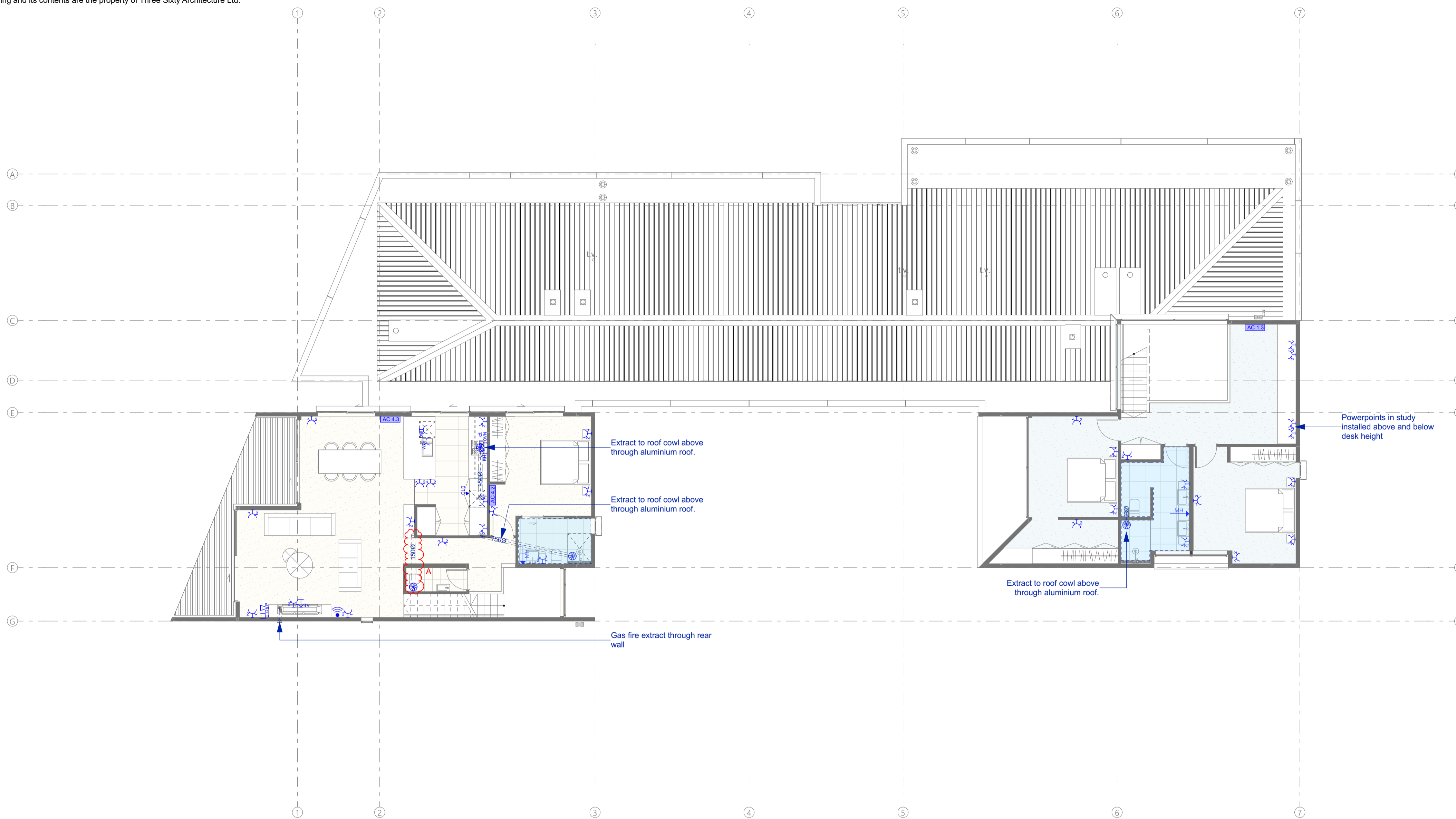
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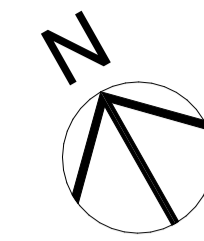
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L2 Electrical Plan  
 Scale 1:100



**Electrical legend**

- Automatic garage door opener (switched off nearest light panel)
- Double switched outlet
- Waterproof external socket
- Dedicated supply  
 ct - Cook top  
 ovm - oven  
 hwc - Hot Water Cylinder
- Dedicated switched outlet  
 RH - Range hood  
 WM - Multifunction Microwave  
 DW - Dishwasher  
 WD - Waste disposal  
 FF - Fridge freezer  
 HT - Heated towel rail
- Phone connection (Run to DB board)
- TV Aerial socket
- CAT 6E Data socket (Run to DB Board)
- WIFI / Fibre Termination Point (Owner to supply Wireless unit.)
- Main switch board
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- Wall mounted AC unit
- Outdoor Heat Pump
- Mirror anti-mist heater
- Bathroom Heater (switch on light panel)
- Extract fan (switch on light panel)
- Flexiduct path to exterior outlet
- Under tile heating zones
- Door bell / chime
- Bell Button
- TV Aerial
- Satellite dish
- Misc. Services:**
- Misc. water supply (Fridge freezer)
- Irrigation timer panel
- Security legend:**
- Keypad
- Security control panel
- Sensor
- Exterior siren

**Electrical Notes**

Installation of all fan extracts must provide at least 25 l/s extract vent

Limit water temperature at 55deg tempering valve must be supplied where sanitary fittings are used for personal hygiene

Security system as separate contract to be arranged by owner. allow to co-ordinate as necessary during construction.

Entertainment systems as separate contract to be arranged by owner. allow to co-ordinate as necessary during construction.

Allow to coordinate TV aerial and satellite dish on site. to be discreetly positioned on roof away from view.

**Building Consent**

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**Three Sixty Architecture**



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

L2 Electrical Plan

|            |           |
|------------|-----------|
| Scale @ A1 | 1:100     |
| File No.   | R19015    |
| Date       | 9/06/2021 |
| Revision   | A         |

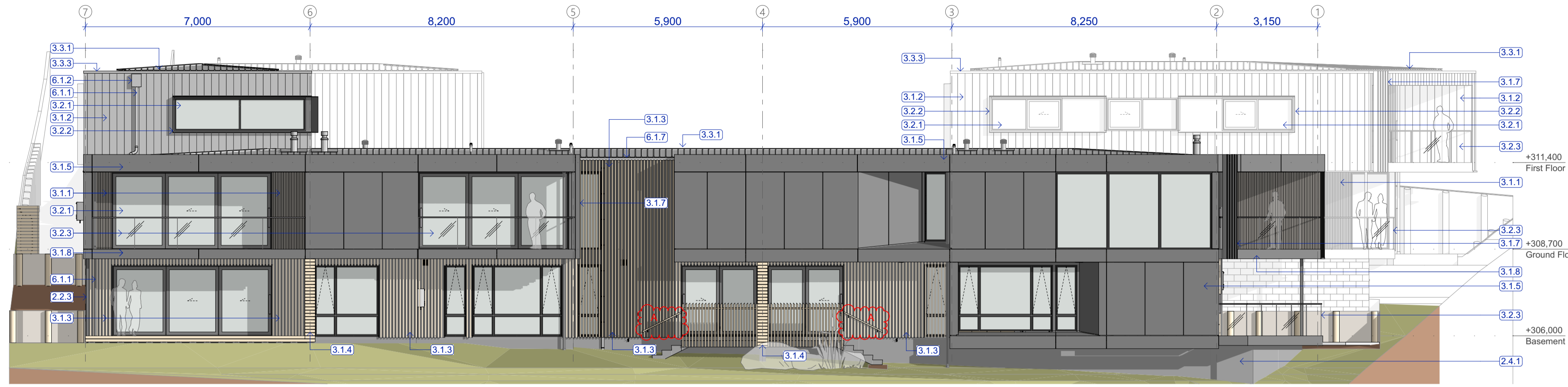
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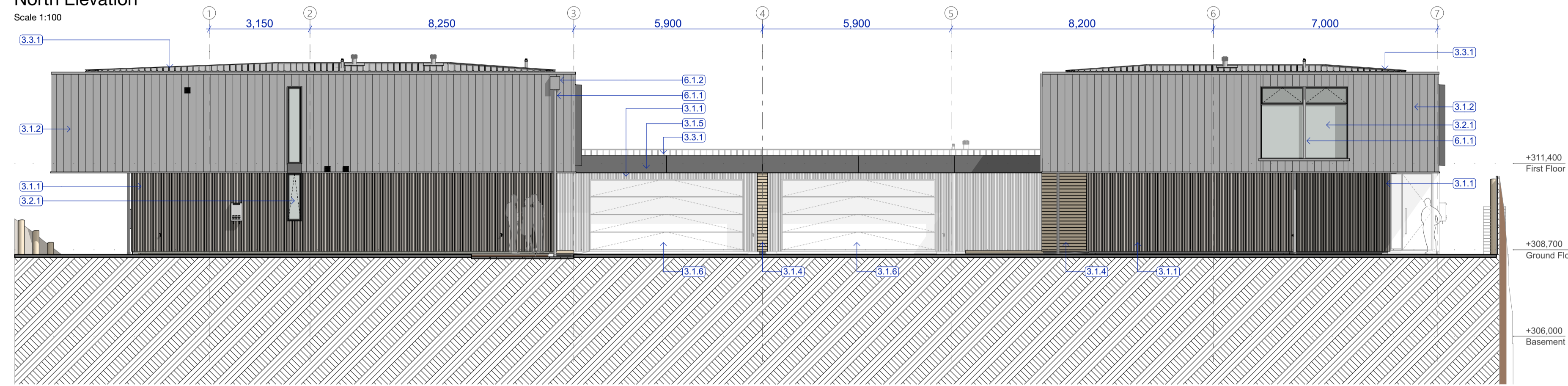
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| BUILDING ENVELOPE RISK MATRIX |                |            |
|-------------------------------|----------------|------------|
| North Elevation               |                |            |
| Risk Factor                   | Risk Severity  | Risk Score |
| Wind zone (per NZS 3604)      | Medium risk    | 0          |
| Number of storeys             | High risk      | 2          |
| Roofwall intersection design  | High risk      | 3          |
| Eaves width                   | Very high risk | 5          |
| Envelope complexity           | High risk      | 3          |
| Deck design                   | Medium risk    | 2          |
| <b>Total Risk Score:</b>      |                | <b>15</b>  |



North Elevation

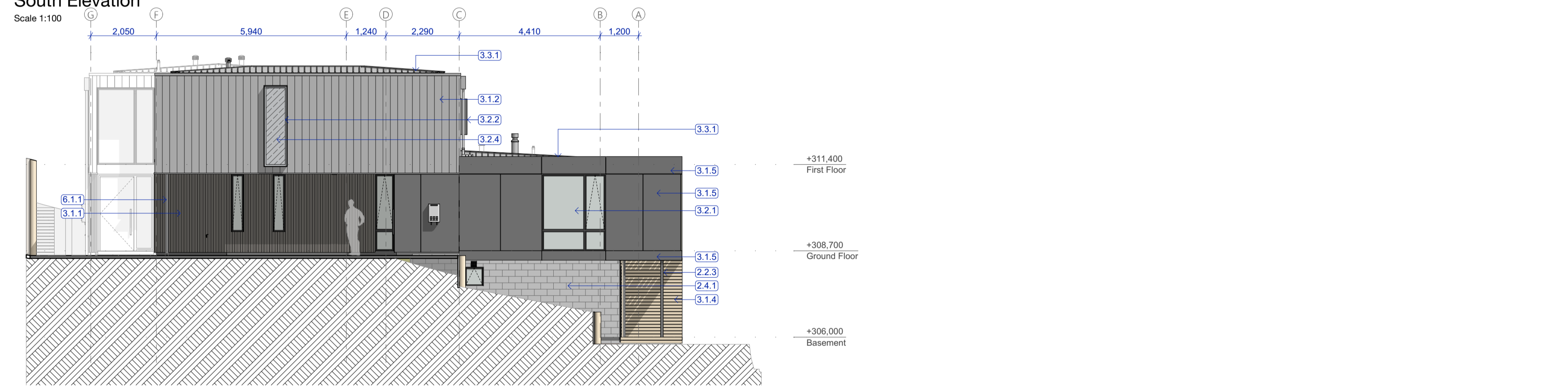
Scale 1:100



| BUILDING ENVELOPE RISK MATRIX |                |            |
|-------------------------------|----------------|------------|
| South Elevation               |                |            |
| Risk Factor                   | Risk Severity  | Risk Score |
| Wind zone (per NZS 3604)      | Medium risk    | 0          |
| Number of storeys             | Medium risk    | 1          |
| Roofwall intersection design  | High risk      | 3          |
| Eaves width                   | Very high risk | 5          |
| Envelope complexity           | High risk      | 3          |
| Deck design                   | Low risk       | 0          |
| <b>Total Risk Score:</b>      |                | <b>12</b>  |

South Elevation

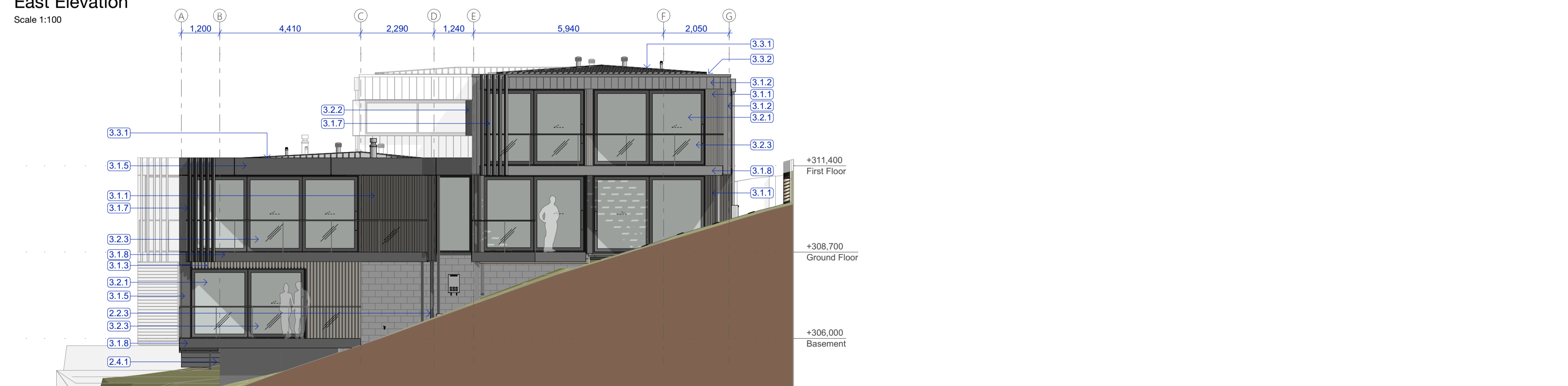
Scale 1:100



| BUILDING ENVELOPE RISK MATRIX |                |            |
|-------------------------------|----------------|------------|
| East Elevation                |                |            |
| Risk Factor                   | Risk Severity  | Risk Score |
| Wind zone (per NZS 3604)      | Medium risk    | 0          |
| Number of storeys             | Very high risk | 4          |
| Roofwall intersection design  | High risk      | 3          |
| Eaves width                   | Very high risk | 5          |
| Envelope complexity           | High risk      | 3          |
| Deck design                   | Low risk       | 0          |
| <b>Total Risk Score:</b>      |                | <b>15</b>  |

East Elevation

Scale 1:100



| BUILDING ENVELOPE RISK MATRIX |                |            |
|-------------------------------|----------------|------------|
| North Elevation               |                |            |
| Risk Factor                   | Risk Severity  | Risk Score |
| Wind zone (per NZS 3604)      | Medium risk    | 0          |
| Number of storeys             | Very high risk | 4          |
| Roofwall intersection design  | High risk      | 3          |
| Eaves width                   | Very high risk | 5          |
| Envelope complexity           | High risk      | 3          |
| Deck design                   | Medium risk    | 2          |
| <b>Total Risk Score:</b>      |                | <b>17</b>  |

West Elevation

Scale 1:100

- 2.2.3 SHS 89x89  
89x8 SHS. Refer to Structural Engineer's documentation. Refer to Specification for paint finish where steelwork is exposed. Ensure separation layer to timber where packing proposed.
- 2.4.1 20 Series Concrete Block Exterior Wall  
20 Series concrete block. Refer to Structural Engineer's documentation. Allow for sealer/ender coat and paint finish to exposed faces.
- 3.1.1 Vert. Shiplap wall cladding  
Rosenfeld K5000 RK58 vertical shiplap timber cladding over 45mm structural cavity battens. Finish with selected Drydens oil. Installed as per the manufacturers documentation. (studs @ 600crs, Dwangs @ 800crs)
- 3.1.2 Flashclad Euro-line  
Vertically fixed Euro-line powdercoated aluminium cladding. Installed as per the manufacturers documentation, by Flashclad nationwide distribution network. (studs @ 600crs, Dwangs @ 800crs)
- 3.1.3 Vertical Cedar Batten  
Vertical 40x40 cedar batten rainscreen @ 100crs over 45mm H3.2 cavity battens (painted out black) over Titan Facade panel cladding system on 70x19mm CLD structural cavity batten. Finish with selected Drydens oil.
- 3.1.4 Horizontal Cedar Batten  
Horizontal 60x20 cedar batten over 45mm H3.2 cavity battens (painted out black) over Concrete block walls. Finish with selected Drydens oil.
- 3.1.5 Curoclad Alpolic FR  
Curoclad Alpolic FR composite aluminium cladding system installed by qualified installers in accordance with the manufacturers documents.
- 3.1.6 Colorsteel Garage Door  
Colorsteel sectional insulated garage door with low head room gear. Install with Ex-280x30mm cedar reveals rebated for linings and cladding finished with selected Drydens Oil.
- 3.1.7 Louvre  
140x10mm powdercoated steel flat screw fixed both sides of 90x45 timber LVL post. Post fixed at top and bottom. Refer to Structural Engineer's documentation.
- 3.1.8 Decorative Steel Plate  
9mm zinc sprayed & powdercoated steel plate to external face F/W to RHS. Refer to Structural Engineer's documentation.
- 3.2.1 Aluminium windows and doors  
Vantage Pacific Thermal System aluminium joinery. Double glazed IGUs with Argon gas and Low E Coating. Powdercoat finish to aluminium members.
- 3.2.2 Powdercoated Aluminium Window Frame  
6mm Powdercoated aluminium window frame with 5deg fall at head & sill. Shop drawing and installation by Flashclad nationwide distribution network. Allow to pack out cladding to ensure a min. 30mm cavity to entire face.
- 3.2.3 External Glass Balustrade  
Metro 12mm Monolithic TEMPAFLOAT glass on Posigaze PG1205 Hardware System. Toughened with S25 interlinking capping rail to top. Refer to Metro glass details/RS1 for further information
- 3.2.4 Window screen  
Perforated powdercoated aluminium screen fixed to window frame extrusion
- 3.3.1 Colorsteel roofing  
Metalcraft Colorsteel T-Rib roofing over selected roofing underlay & wire mesh screw fixed to top of purlins. Prefinished Colorsteel Endura finish
- 3.3.2 Torch-on membrane  
Viking Torch-on Lybra SBS Waterproofing membranes installed in accordance with the product manual. Over 17mm HS.2 CCA treated plywood supported at 400crs.
- 3.3.3 Parapet Flashing  
0.55 BMF Parapet flashing with 5 degree fall to roof and 70mm cover to cladding. Provide concealed clip fixings to exterior face. Colour as per schedule
- 6.1.1 Downpipe  
800 Colorsteel DP with matching muzzing ring standoff brackets at 1200mm crs. Refer to finishes schedule for colour.
- 6.1.2 RWH  
Folded Colorsteel Rainwater head with overflow outlet to discharge into Colorsteel DP. RHW to be folded colorsteel to match wall cladding. Overflow opening 1.5 x cross sectional area of downpipe
- 6.1.7 External Gutter  
Architectural folded colorsteel external gutter 'profile A' with hidden clip fixings. Refer to roof plan for dimensions

Building Consent

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| A    | 9/06/2021 | Building Consent Issue Council RFI |

Three Sixty Architecture



Chalmers Street Apartments  
 20 Chalmers Street  
 Wanaka

Elevations

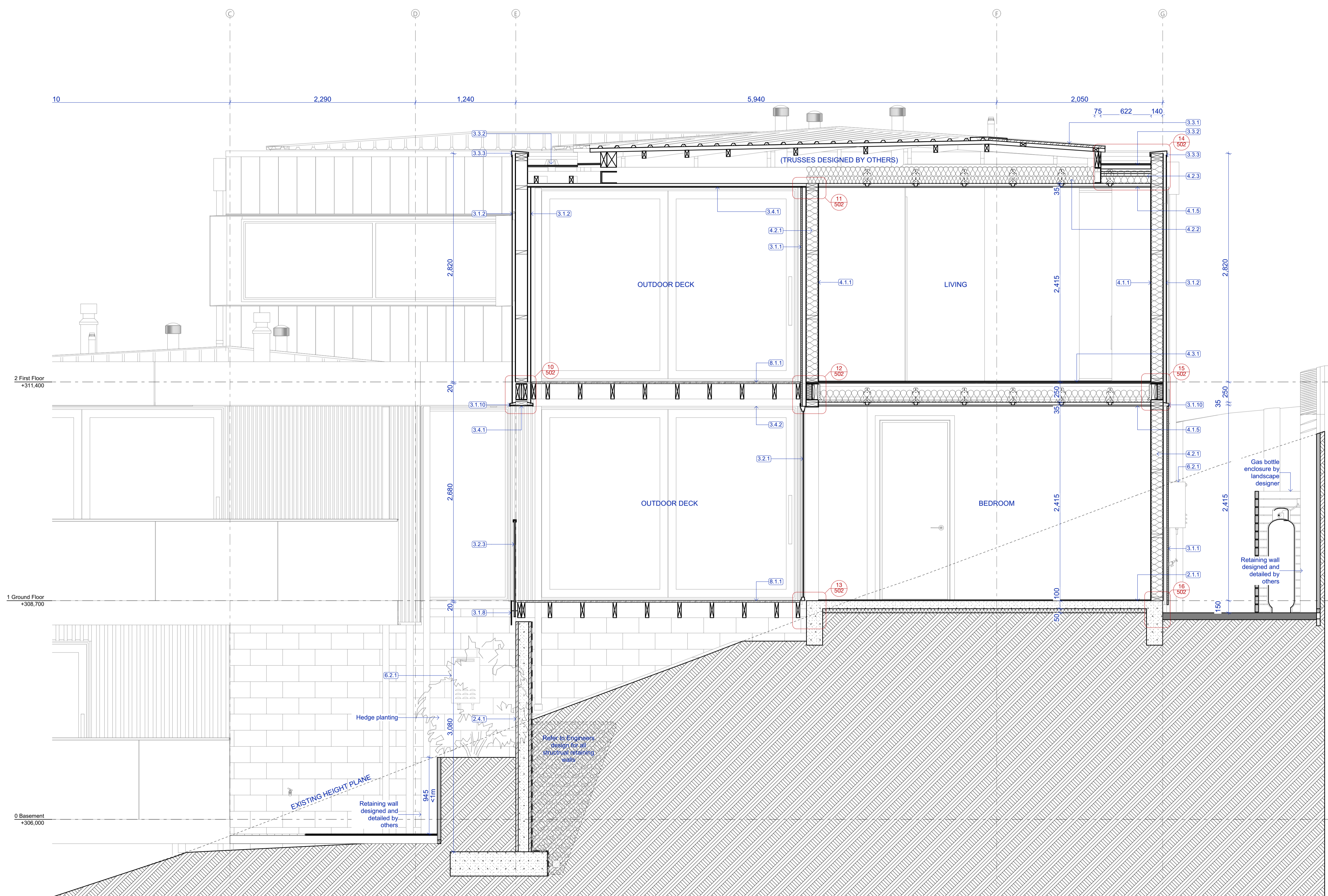
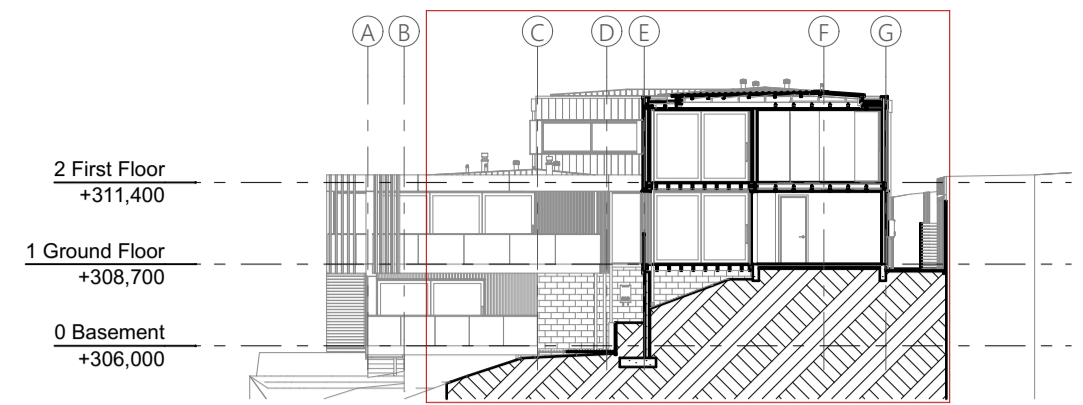
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| File No.   | R19015    |
| Date       | 9/06/2021 |
| Revision   | A         |

Sheet No. **301**

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- 2.1.1 **Concrete slab on grade**  
100mm concrete slab over 50mm XPS polystyrene on DPM on grade. Refer Structural Engineer's documentation.
- 2.4.1 **20 Series Concrete Block Exterior Wall**  
20 Series concrete block. Refer to Structural Engineer's documentation. Allow for sealer/finish coat and paint finish to exposed faces.
- 3.1.1 **Vert. Shiplap wall cladding**  
Rosenfeld Kidson RK58 vertical shiplap timber cladding over 45mm structural cavity battens. Finish with selected Drydens oil. Installed as per the manufacturers documentation. (studs @ 600c/s, Dwangs @ 800c/s)
- 3.1.2 **Flashclad Euro-line**  
Vertically fixed Euro-line powdercoated aluminium cladding. Installed as per the manufacturers documentation, by Flashclad nationwide distribution network. (studs @ 600c/s, Dwangs @ 800c/s)
- 3.1.8 **Decorative Steel Plate**  
9mm zinc sprayed & powdercoated steel plate to external face FW to RHS. Refer to Structural Engineer's documentation.
- 3.1.10 **Vertical change in cladding flashing**  
0.55BMT pre-finished flashing at change in cladding height. Colour as per finishing schedule
- 3.2.1 **Aluminium windows and doors**  
Vantage Pacific Thermal System aluminium joinery. Double glazed IGUs with Argon gas and Low E coating. Powdercoat finish to aluminium members.
- 3.2.3 **External Glass Balustrade**  
Metro 12mm Monolithic TEMPAFLOAT glass on Poseigaze FG125 Hardware System. Toughened with S25 interlocking capping rail to top. Refer to Metro glass details/PS1 for further information
- 3.3.1 **Colorsteel roofing**  
Metalcraft Colorsteel T-Rib roofing over selected roofing underlay & wire mesh screw fixed to top of purlins. Prefinished Colorsteel Endura finish
- 3.3.2 **Torch-on membrane**  
Viking Torch-on Lybra SBS Waterproofing membrane installed in accordance with the product manual. Over 17mm H3.2 CCA Insulated plywood supported at 400c/s.
- 3.3.3 **Parapet Flashing**  
0.55 BMT Parapet flashing with 5 degree fall to roof and 70mm cover to cladding. Provide concealed slip flange to exterior face. Colour as per schedule
- 3.4.1 **Grooved ply soffit**  
Ecoply 12mm H3.1 LOSP Grooved soffit lining with over timber framing in accordance with manufacturers documents. Refer to Finishes Schedule for paint finish.
- 3.4.2 **Timber battens**  
Decorative 90x45 timber battens fixed to underside of deck framing battens spaced @ 145 CRS. Selected drydens oil finish.
- 4.1.1 **GIB wall lining**  
10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish.
- 4.1.5 **GIB ceiling lining**  
13mm GIB standard lining on Rondo battens. Stop smooth to level 4 finish to receive paint finish.  
Min. R4.0 140mm thick exterior wall insulation
- 4.2.1 **140mm insulation**  
Min. R4.0 140mm thick exterior wall insulation
- 4.2.2 **Ceiling insulation - 2 layer (210mm)**  
R1.8 95mm + R2.2 115mm ceiling insulation, ensure a 25mm air gap to underside of roofing
- 4.2.3 **Ceiling insulation - 165mm**  
R3.6 165mm ceiling insulation for light areas, ensure a 25mm air gap to underside of roofing
- 4.3.1 **Ply Flooring Substrate**  
17mm Ecoply Flooring Substrate Tounge and Groove, installed as per the manufacturers instructions. Refer to Engineers documents for any diaphragm areas. Install 150mm midfloor acoustic insulation under.
- 6.2.1 **Gas Hot Water Unit**  
EF26 Rinnai INFINITY or similar approved instant gas hot water system.
- 8.1.1 **Decking**  
Selected 19 x 90mm Hardwood decking with oil finish or composite decking board. Over timber framed structure refer to engineers details.

**Building Consent**

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| Rev. | Date       | Issue                  |
|------|------------|------------------------|
| 1    | 16/04/2021 | Building Consent Issue |



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

Section A

|            |             |
|------------|-------------|
| Scale @ A1 | 1:25, 1:250 |
| File No.   | R19015      |
| Date       | 9/06/2021   |
| Revision   | -           |

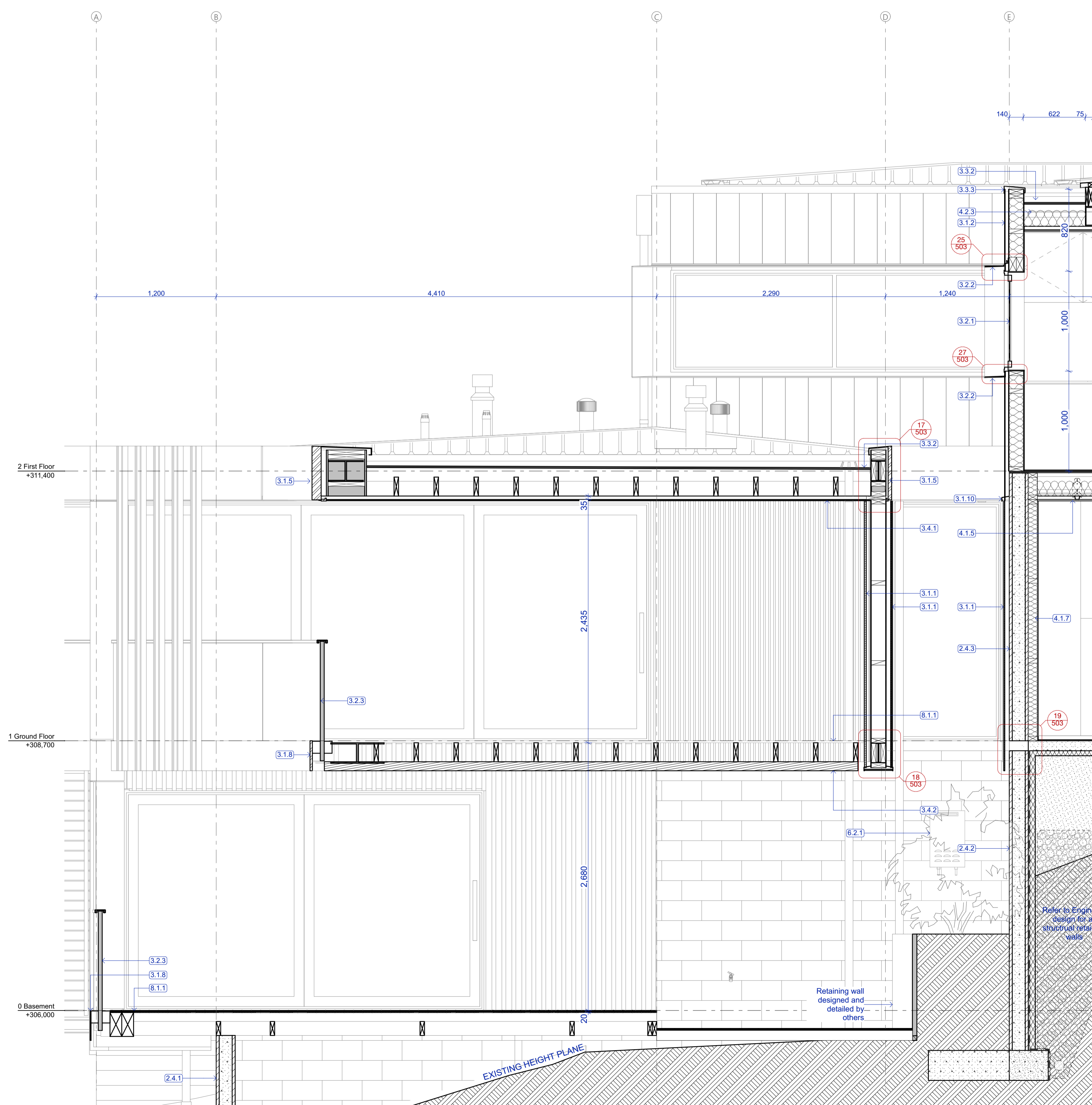
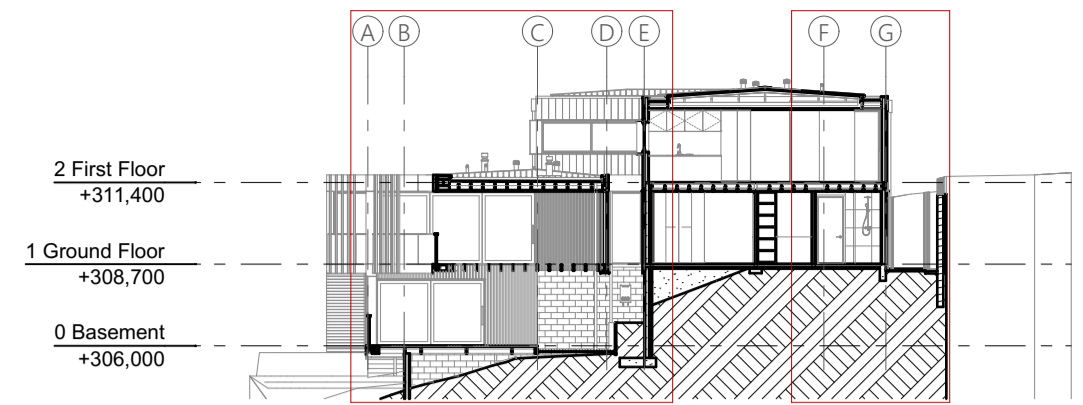
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 173 St Asaph Street  
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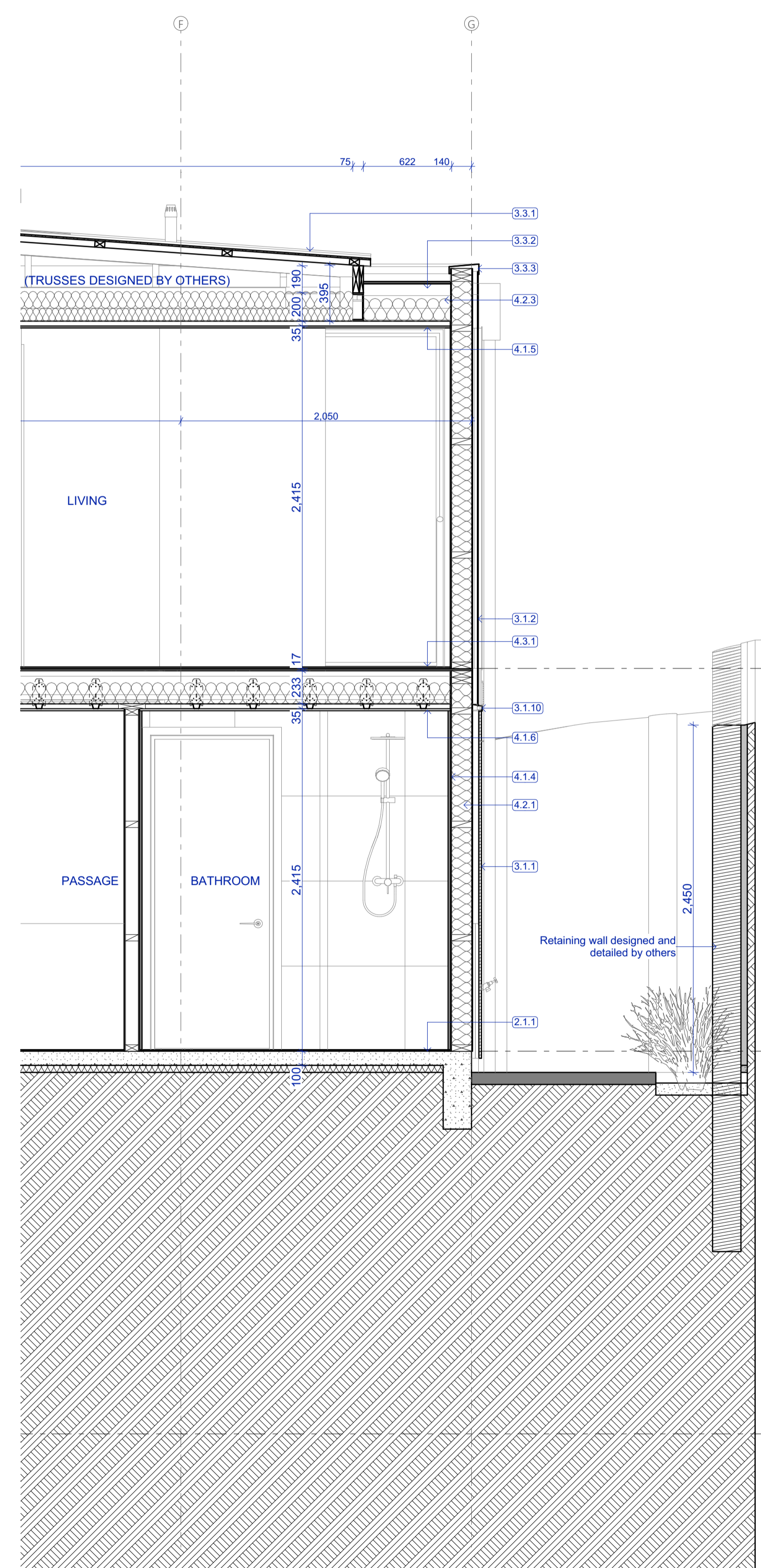
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Section AA  
 Scale 1:25



Section BB  
 Scale 1:25



- 2.1.1 **Concrete slab on grade**  
 100mm concrete slab over 50mm XPS polystyrene on DPM on grade. Refer Structural Engineer's documentation.
- 2.4.1 **20 Series Concrete Block Exterior Wall**  
 20 Series concrete block. Refer to Structural Engineer's documentation. Allow for sealer/finish coat and paint finish to exposed faces.
- 2.4.2 **20 Series Concrete Block + Insulation**  
 20 Series concrete block. Refer to Structural Engineer's documentation. 70mm XPS insulation to external face integral with the engineers retaining wall design.
- 2.4.3 **20 Series Concrete Block Wall**  
 20 Series concrete block. Refer to Structural Engineer's documentation.
- 3.1.1 **Vert. Shiplap wall cladding**  
 Rosenfeld Kidson RK58 vertical shiplap timber cladding over 45mm structural cavity battens. Finish with selected Drydens oil. Installed as per the manufacturers documentation. (studs @ 600crs, Dwangs @ 800crs)
- 3.1.2 **Flashclad Euro-line**  
 Vertically fixed Euro-line powdercoated aluminium cladding. Installed as per the manufacturers documentation, by Flashclad nationwide distribution network. (studs @ 600crs, Dwangs @ 800crs)
- 3.1.5 **Cudoclad Alpic FR**  
 Cudoclad Alpic FR composite aluminium cladding system installed by qualified installers in accordance with the manufacturers documents.
- 3.1.8 **Decorative Steel Plate**  
 9mm zinc sprayed & powdercoated steel plate to external face FW to RHS. Refer to Structural Engineer's documentation.
- 3.1.10 **Vertical change in cladding flashing**  
 0.55BMT pre-finished flashing at change in cladding height. Colour as per finishing schedule.
- 3.2.1 **Aluminium windows and doors**  
 Vantage Pacific Thermal System aluminium joinery. Double glazed IGUs with Argon gas and Low E coating. Powdercoat finish to aluminium members.
- 3.2.2 **Powdercoated Aluminium Window Frame**  
 6mm Powdercoated aluminium window frame with 5deg fall at head & sill. Shop drawing and installation by Flashclad nationwide distribution network. Allow to pack out cladding to ensure a min. 30mm cavity to entire face.
- 3.2.3 **External Glass Balustrade**  
 Metro 12mm Monolithic TEMPAFLOAT glass on Posiglaze PG1205 Hardware System. Toughened with S25 interlinking capping rail to top. Refer to Metro glass details/PS1 for further information
- 3.3.1 **Colorsteel roofing**  
 Metalfab Colorsteel T-Rib roofing over selected roofing underlay & wire mesh screw fixed to top of purlins. Prefinished Colorsteel Endura finish
- 3.3.2 **Torch-on membrane**  
 Viking Torch-on Lybra SBS Waterproofing membrane installed in accordance with the product manual. Over 17mm H3.2 CCA treated plywood supported at 400crs.
- 3.3.3 **Parapet Flashing**  
 0.55 BMT Parapet flashing with 5 degree fall to roof and 70mm cover to cladding. Provide concealed clip fixings to exterior face. Colour as per schedule
- 3.4.1 **Grooved ply soffit**  
 Ecoply 12mm H3.1 LOSP Grooved soffit lining with over timber framing in accordance with manufacturers documents. Refer to Finishes Schedule for paint finish.
- 3.4.2 **Timber battens**  
 Decorative 90x45 timber battens fixed to underside of deck framing battens spaced @ 145 CRS. Selected drydens oil finish.
- 4.1.4 **Gib Aqualine (Tiled)**  
 Selected wall tiles bedded on Ardex Abaflex or Ardex X56 tile adhesive over Actex WPM002 waterproof membrane, over 10mm Gib Aqualine.
- 4.1.5 **GIB ceiling lining**  
 13mm GIB standard lining on Rondo battens. Stop smooth to level 4 finish to receive paint finish.
- 4.1.6 **Gib Aqualine ceiling lining**  
 13mm Aqualine lining on Rondo battens. Stop smooth to level 4 finish to receive paint finish.
- 4.1.7 **90mm Stap and line**  
 90mm timber strapping with 10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish. 90mm R2.8 insulation between timber strapping. Min. R4.0 140mm thick exterior wall insulation.
- 4.2.1 **140mm insulation**  
 Min. R4.0 140mm thick exterior wall insulation.
- 4.2.3 **Ceiling insulation - 165mm**  
 R3.6 165mm ceiling insulation for tight areas, ensure a 25mm air gap to underside of roofing.
- 4.3.1 **Ply Flooring Substrate**  
 17mm Ecoply Flooring Substrate Tounge and Groove. Installed as per the manufacturers instructions. Refer to Engineers documents for any diaphragm areas. Install 150mm midfloor acoustic insulation under.
- 6.2.1 **Gas Hot Water Unit**  
 EF26 Rinnai INFINITY or similar approved instant gas hot water system.
- 8.1.1 **Decking**  
 Selected 19 x 90mm Hardwood decking with oil finish or composite decking board. Over timber framed structure refer to engineers details.

**Building Consent**

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604 2011 and the New Zealand Building Code.

| Rev. | Date       | Issue                  |
|------|------------|------------------------|
| 1    | 16/04/2021 | Building Consent Issue |



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

Section B

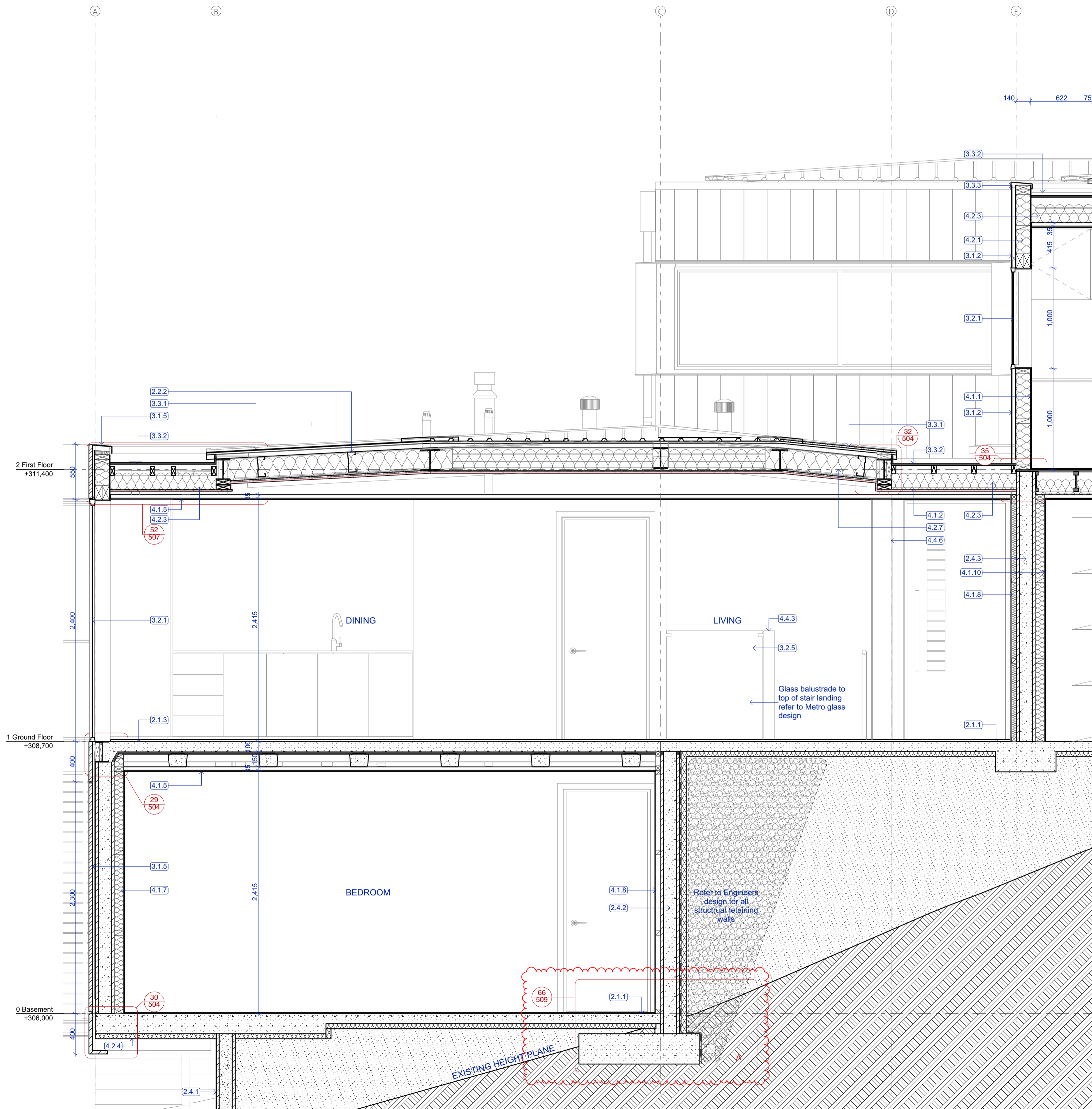
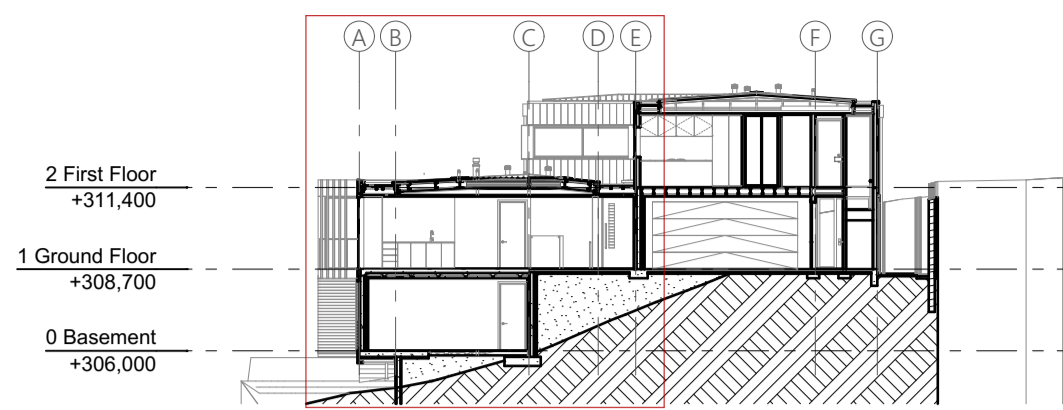
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| Scale @ A1 | 1:25, 1:250 |
| File No.   | R19015      |
| Date       | 9/06/2021   |
| Revision   | -           |

Sheet No. **402**

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Section CC  
 Scale 1:25

- 2.1.1 **Concrete slab on grade**  
 100mm concrete slab over 50mm XPS polystyrene on DPM on grade. Refer Structural Engineer's documentation.
- 2.1.3 **Stahlton floor**  
 Stahlton rib & infill with 125mm deep ribs and 100mm thick topping. Refer Structural Engineer's documentation.
- 2.2.2 **Steel HST purlins**  
 200/15 DHS purlins @ 900mm c/s. Refer to Structural Engineer's documentation.
- 2.4.1 **20 Series Concrete Block Exterior Wall**  
 20 Series concrete block. Refer to Structural Engineer's documentation. Allow for sealer/render coat and paint finish to exposed faces.
- 2.4.2 **20 Series Concrete Block + Insulation**  
 20 Series concrete block. Refer to Structural Engineer's documentation. 70mm XPS insulation to external face integral with the engineers retaining wall design.
- 2.4.3 **20 Series Concrete Block Wall**  
 20 Series concrete block. Refer to Structural Engineer's documentation.
- 3.1.2 **Flashclad Euro-line**  
 Vertically fixed Euro-line powdercoated aluminium cladding. Installed as per the manufacturers documentation, by Flashclad nationwide distribution network (studs @ 600crs, Dwangs @ 800crs).
- 3.1.5 **Cudoclad Alpic FR**  
 Cudoclad Alpic FR composite aluminium cladding system installed by qualified installers in accordance with the manufacturers documents.
- 3.2.1 **Aluminium windows and doors**  
 Vantage Pacific Thermal System aluminium joinery. Double glazed IGUs with Argon gas and Low E coating. Powdercoat finish to aluminium members.
- 3.2.5 **Internal Glass Balustrade**  
 13.52mm SAFELITE STF toughened laminate glass balustrade with stiffener bracket on Posiglaze PG120S Hardware System. Refer to Metro glass details/PS1 for further information.
- 3.3.1 **Colorsteel roofing**  
 Metalcraft Colorsteel T-Rib roofing over selected roofing underlay & wire mesh screw fixed to top of purlins. Prefinished Colorsteel Endura finish.
- 3.3.2 **Torch-on membrane**  
 Viking Torch-on Lyra SBS Waterproofing membrane installed in accordance with the product manual. Over 17mm H3.2 CCA treated plywood supported at 400crs.
- 3.3.3 **Parapet Flashing**  
 0.55 BMT Parapet flashing with 5 degree fall to roof and 70mm cover to cladding. Provide concealed clip fixings to exterior face. Colour as per schedule.
- 4.1.1 **GIB wall lining**  
 10mm GIB standard lining stopped smooth to level 4 finish to receive glass finish.
- 4.1.2 **GIB Fyrelite ceiling lining**  
 16mm GIB Fyrelite ceiling lining installed in accordance with GIB Fire Rated Systems Manual GBLC 30. Over Rondo 30S metal batten or direct fixed to timber gutter framing. All fixings as per structural diaphragm requirements.
- 4.1.5 **GIB ceiling lining**  
 13mm GIB standard lining on Rondo battens. Stop smooth to level 4 finish to receive paint finish.
- 4.1.7 **90mm Stap and line**  
 90mm timber strapping with 10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish. 90mm R2.8 insulation between timber strapping.
- 4.1.8 **45mm Stap and line**  
 45mm timber strapping with 10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish. Insulate with R1.2 50mm Masonry batts between strapping.
- 4.1.10 **Wall Ply lining**  
 9mm ply wall lining adhesive and brad fixed with selected oil finish. Min. R4.0 140mm thick exterior wall insulation.
- 4.2.1 **140mm insulation**  
 Min. R4.0 140mm thick exterior wall insulation.
- 4.2.3 **Ceiling insulation - 165mm**  
 R3.6 165mm ceiling insulation for tight areas, ensure a 25mm air gap to underside of roofing.
- 4.2.4 **K10 G2 Soffit Board**  
 50mm R2.5 Kingspan Kooltherm K10 G2 Soffit board installed to underside of exposed slab areas to complete thermal envelope.
- 4.2.7 **Ceiling insulation - 220mm**  
 R5 220mm ceiling insulation, ensure a 25mm air gap to underside of roofing.
- 4.4.3 **Gib Lined Balustrade**  
 Timber framed wall to extend 1m above floor level and pitch of stair to form solid balustrade. Line all sides with 10mm GIB ready for paint finish. Refer to engineers details for structural support.
- 4.4.6 **Internal Cedar Fins**  
 50mm thick internal cedar fins at 150crs (width to match wall thickness) adhesive fixed to rails top and bottom. Finish with selected Drydens oil.

**Building Consent**

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604 2011 and the New Zealand Building Code.

| Rev. | Date       | Issue                  |
|------|------------|------------------------|
| 1    | 16/04/2021 | Building Consent Issue |
| A    | 9/06/2021  | Council RFI            |

**Three Sixty Architecture**



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

Section C

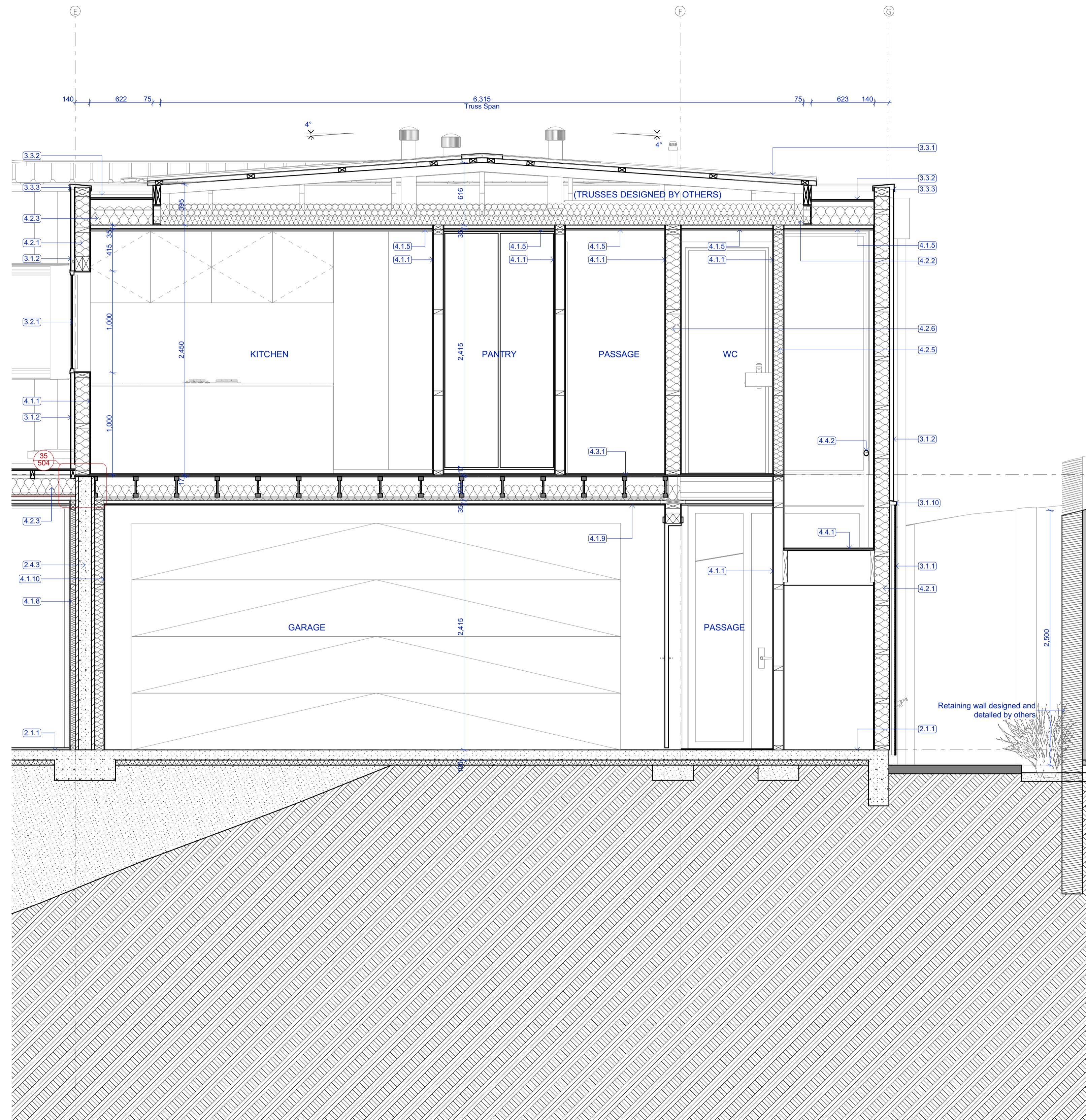
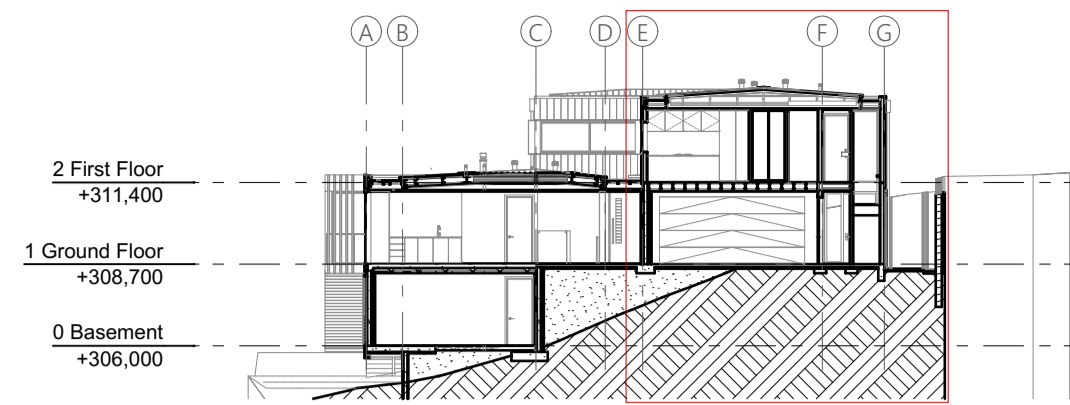
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| File No.   | R19015      |
| Date       | 9/06/2021   |
| Revision   | A           |

Sheet No. **403**

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- 2.1.1 **Concrete slab on grade**  
100mm concrete slab over 50mm XPS polystyrene on DPM on grade. Refer Structural Engineer's documentation.
- 2.4.3 **20 Series Concrete Block Wall**  
20 Series concrete block. Refer to Structural Engineer's documentation.
- 3.1.1 **Vert. Shiplap wall cladding**  
Rosenfeld Kidson RK58 vertical shiplap timber cladding over 45mm structural cavity battens. Finish with selected Drydens oil. Installed as per the manufacturers documentation. (studs @ 600crs, Dwangs @ 800crs)
- 3.1.2 **Flashclad Euro-line**  
Vertically fixed Euro-line powdercoated aluminium cladding. Installed as per the manufacturers documentation, by Flashclad nationwide distribution network. (studs @ 600crs, Dwangs @ 800crs)
- 3.1.10 **Vertical change in cladding flashing**  
0.55BMT pre-finished flashing at change in cladding height. Colour as per finishing schedule
- 3.2.1 **Aluminium windows and doors**  
Vantage Pacific Thermal System aluminium joinery. Double glazed IGUs with Argon gas and Low E coating. Powdercoat finish to aluminium members.
- 3.3.1 **Colorsteel roofing**  
Metalcraft Colorsteel T-Rib roofing over selected roofing underlay & wire mesh screw fixed to top of purlins. Prefinished Colorsteel Endura finish
- 3.3.2 **Torch-on membrane**  
Viking Torch-on Lybra SBS Waterproofing membrane installed in accordance with the product manual. Over 17mm H3.2 CCA treated plywood supported at 400crs.
- 3.3.3 **Parapet Flashing**  
0.55 BMT Parapet flashing with 5 degree fall to roof and 70mm cover to cladding. Provide concealed clip fixings to exterior face. Colour as per schedule
- 4.1.1 **GIB wall lining**  
10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish.
- 4.1.5 **GIB ceiling lining**  
12mm GIB standard lining on Rondo battens. Stop smooth to level 4 finish to receive paint finish.
- 4.1.8 **45mm Sgap and line**  
45mm timber strapping with 10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish. Insulate with R1.2 50mm Masonry batts between strapping.
- 4.1.9 **Ceiling Ply lining**  
12mm ply ceiling lining adhesive and brad fixed with selected oil finish.
- 4.1.10 **Wall Ply lining**  
9mm ply wall lining adhesive and brad fixed with selected oil finish. Min. R4.0 140mm thick exterior wall insulation
- 4.2.1 **140mm insulation**  
Min. R4.0 140mm thick exterior wall insulation
- 4.2.2 **Ceiling insulation - 2 layer (210mm)**  
R1.8 95mm + R2.2 115mm ceiling insulation, ensure a 25mm air gap to underside of roofing
- 4.2.3 **Ceiling insulation - 165mm**  
R3.6 165mm ceiling insulation for tight areas, ensure a 25mm air gap to underside of roofing
- 4.2.5 **90mm acoustic insulation**  
90mm acoustic insulation to internal framed walls
- 4.2.6 **140mm acoustic insulation**  
140mm acoustic insulation to internal framed walls
- 4.3.1 **Ply Flooring Substrate**  
17mm Ecoply Flooring Substrate Tounge and Groove, installed as per the manufacturers instructions. Refer to Engineers documents for any diaphragm areas. Install 150mm midfloor acoustic insulation under.
- 4.4.1 **Timber Joinery Stair**  
Main private stair riser 180mm height. Tread 280mm min, including 25mm nosing.
- 4.4.2 **Timber Handrail**  
400 solid timber handrail fixed on Halliday + Bailie HB 520 brackets fixed to wall @ 800 CRS. Provide solid blocking as necessary

**Building Consent**

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604 2011 and the New Zealand Building Code.

| Rev. | Date       | Issue                  |
|------|------------|------------------------|
| -    | 16/04/2021 | Building Consent Issue |

**Three Sixty Architecture**



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

Section C Continued

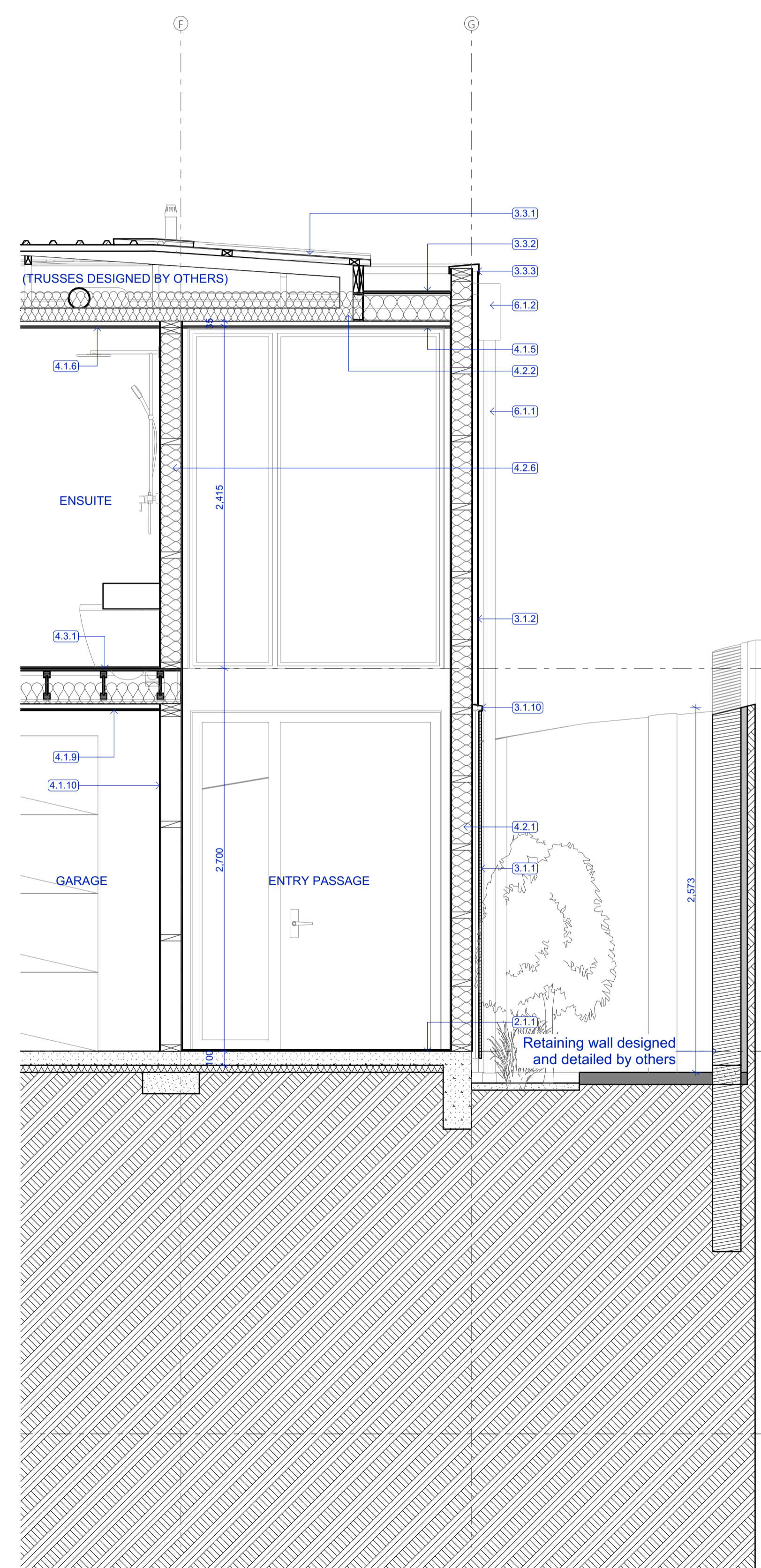
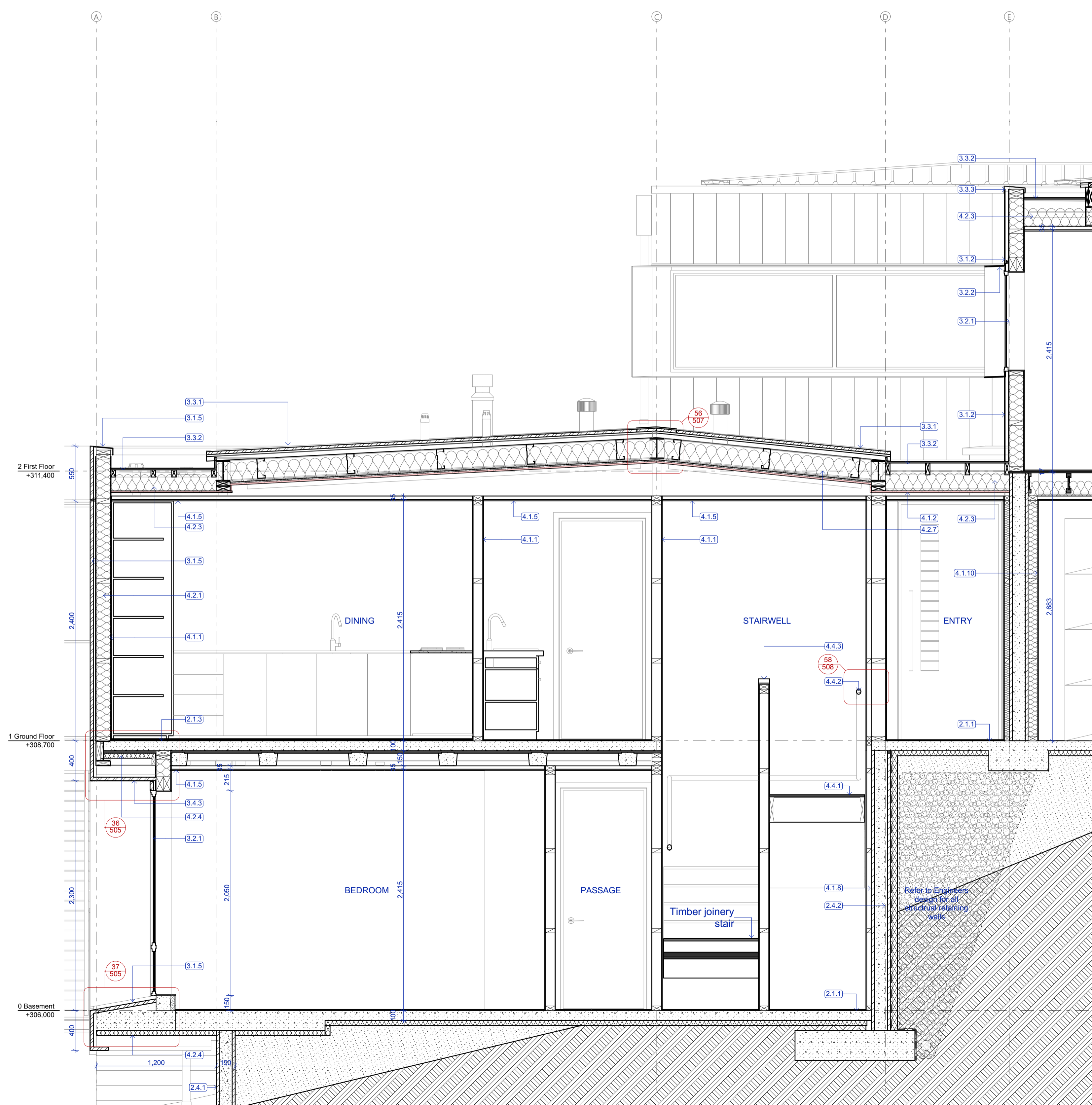
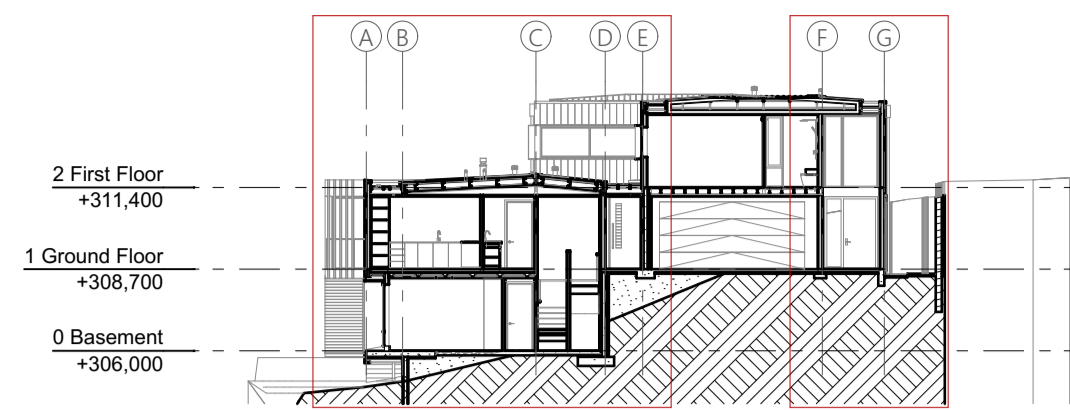
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| Scale @ A1 | 1:250     |
| File No.   | R19015    |
| Date       | 9/06/2021 |
| Revision   | -         |

Sheet No. **404**

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 Level 1, The Yard  
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 Christchurch 8140

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- 2.1.1 **Concrete slab on grade**  
100mm concrete slab over 50mm XPS polystyrene on DPM on grade. Refer Structural Engineer's documentation.
- 2.1.3 **Stairton floor**  
Stairton rib & infill with 125mm deep ribs and 100mm thick topping. Refer Structural Engineer's documentation.
- 2.4.1 **Wall**  
20 Series concrete block. Refer to Structural Engineer's documentation. Allow for sealer/finish coat and paint finish to exposed faces.
- 2.4.2 **20 Series Concrete Block + Insulation**  
20 Series concrete block. Refer to Structural Engineer's documentation. 70mm XPS insulation to external face integral with the engineers retaining wall design.
- 3.1.1 **Vert. Shiplap wall cladding**  
Rosenfeld Kidson RK58 vertical shiplap timber cladding over 45mm structural cavity battens. Finish with selected Drydens oil. Installed as per the manufacturers documentation. (studs @ 600c/s, Dwangs @ 800c/s)
- 3.1.2 **Flashclad Euro-line**  
Vertically fixed Euro-line powdercoated aluminium cladding. Installed as per the manufacturers documentation, by Flashclad nationwide distribution network. (studs @ 600c/s, Dwangs @ 800c/s)
- 3.1.5 **Cudoclad Alpolic FR**  
Cudoclad Alpolic FR composite aluminium cladding system installed by qualified installers in accordance with the manufacturers documents.
- 3.1.10 **Vertical change in cladding flashing**  
0.55BMT pre-finished flashing at change in cladding height. Colour as per finishing schedule.
- 3.2.1 **Aluminium windows and doors**  
Vantage Pacific Thermal System aluminium joinery. Double glazed IGUs with Argon gas and Low E coating. Powdercoat finish to aluminium members.
- 3.2.2 **Powdercoated Aluminium Window Frame**  
6mm Powdercoated aluminium window frame with 5deg fall at head & sill. Shop drawing and installation by Flashclad nationwide distribution network. Allow to pack out cladding to ensure a min. 30mm cavity to entire face.
- 3.3.1 **Colorsteel roofing**  
Metalcraft Colorsteel T-Rib roofing over selected roofing underlay & wire mesh screw fixed to top of purlins. Prefinished Colorsteel Endura finish.
- 3.3.2 **Torch-on membrane**  
Viking Torch-on Lyra SBS Waterproofing membrane installed in accordance with the product manual. Over 17mm H3.2 CCA treated plywood supported at 400c/s.
- 3.3.3 **Parapet Flashing**  
0.55 BMT Parapet flashing with 5 degree fall to roof and 70mm cover to cladding. Provide concealed drip flange to exterior face. Colour as per schedule.
- 3.4.3 **Cudoclad Alpolic FR Soffit**  
Cudoclad Alpolic FR composite aluminium cladding system installed by qualified installers in accordance with the manufacturers documents.
- 4.1.1 **GIB wall lining**  
10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish.
- 4.1.2 **GIB Fyrelite ceiling lining**  
16mm GIB Fyrelite ceiling lining installed in accordance with GIB Fire Rated Systems Manual GBLUC 30. Over Rondo 308 metal batten or direct fixed to timber gutter framing. All fixings as per structural diaphragm requirements.
- 4.1.5 **GIB ceiling lining**  
12mm GIB standard lining on Rondo battens. Stop smooth to level 4 finish to receive paint finish.
- 4.1.6 **GIB Aqualine ceiling lining**  
5mm Aqualine lining on Rondo battens. Stop smooth to level 4 finish to receive paint finish.
- 4.1.8 **45mm Stap and line**  
45mm timber strapping with 10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish. Insulate with R1.2 50mm Masonry batts between strapping.
- 4.1.9 **Ceiling Ply lining**  
12mm ply ceiling lining adhesive and brad fixed with selected oil finish.
- 4.1.10 **Wall Ply lining**  
9mm ply wall lining adhesive and brad fixed with selected oil finish.  
Min. R4.0 140mm thick exterior wall insulation
- 4.2.1 **140mm insulation**  
Min. R4.0 140mm thick exterior wall insulation
- 4.2.2 **Ceiling insulation - 2 layer (210mm)**  
R1.8 35mm + R2.2 15mm ceiling insulation, ensure a 25mm air gap to underside of roofing
- 4.2.3 **Ceiling insulation - 165mm**  
R3.6 165mm ceiling insulation for tight areas, ensure a 25mm air gap to underside of roofing
- 4.2.4 **K10 G2 Soffit Board**  
50mm R2.5 Kingspan Kooltherm K10 G2 Soffit board installed to underside of exposed slab areas to complete thermal envelope.
- 4.2.6 **140mm acoustic insulation**  
140mm acoustic insulation to internal framed walls.
- 4.2.7 **Ceiling insulation - 220mm**  
R5 220mm ceiling insulation, ensure a 25mm air gap to underside of roofing
- 4.3.1 **Ply Flooring Substrate**  
17mm Ecoply Flooring Substrate Tounge and Groove. installed as per the manufacturers instructions. Refer to Engineers documents for any diaphragm areas. Install 150mm midfloor acoustic insulation under.
- 4.4.1 **Timber Joinery Stair**  
Main private stair riser 180mm height, Tread 280mm min. including 25mm nosing.
- 4.4.2 **Timber Handrail**  
400 solid timber handrail fixed on Halliday + Baillie HB 520 brackets fixed to wall @ 800 CRS. Provide solid blocking as necessary.
- 4.4.3 **Gib Linned Balustrade**  
Timber framed wall to extend 1m above floor level and pitch of stair to form solid balustrade. Line all sides with 10mm GIB ready for paint finish. Refer to engineers details for structural support.
- 6.1.1 **Dowpipe**  
800 Colorsteel DP with matching munzing ring standoff brackets at 1200mm c/s. Refer to finishes schedule for colour.
- 6.1.2 **RWH**  
Folded Colorsteel Rainwater head with overflow outlet to discharge into Colorsteel DP. RWH to be folded colorsteel to match wall cladding. Overflow opening 1.5 x cross sectional area of downpipe

**Building Consent**

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604:2011 and the New Zealand Building Code.

|      |           |                                    |
|------|-----------|------------------------------------|
| Rev. | Date      | Issue                              |
| A    | 9/06/2021 | Building Consent Issue Council RFI |



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

Section D

|            |             |
|------------|-------------|
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| File No.   | R19015      |
| Date       | 9/06/2021   |
| Revision   | A           |

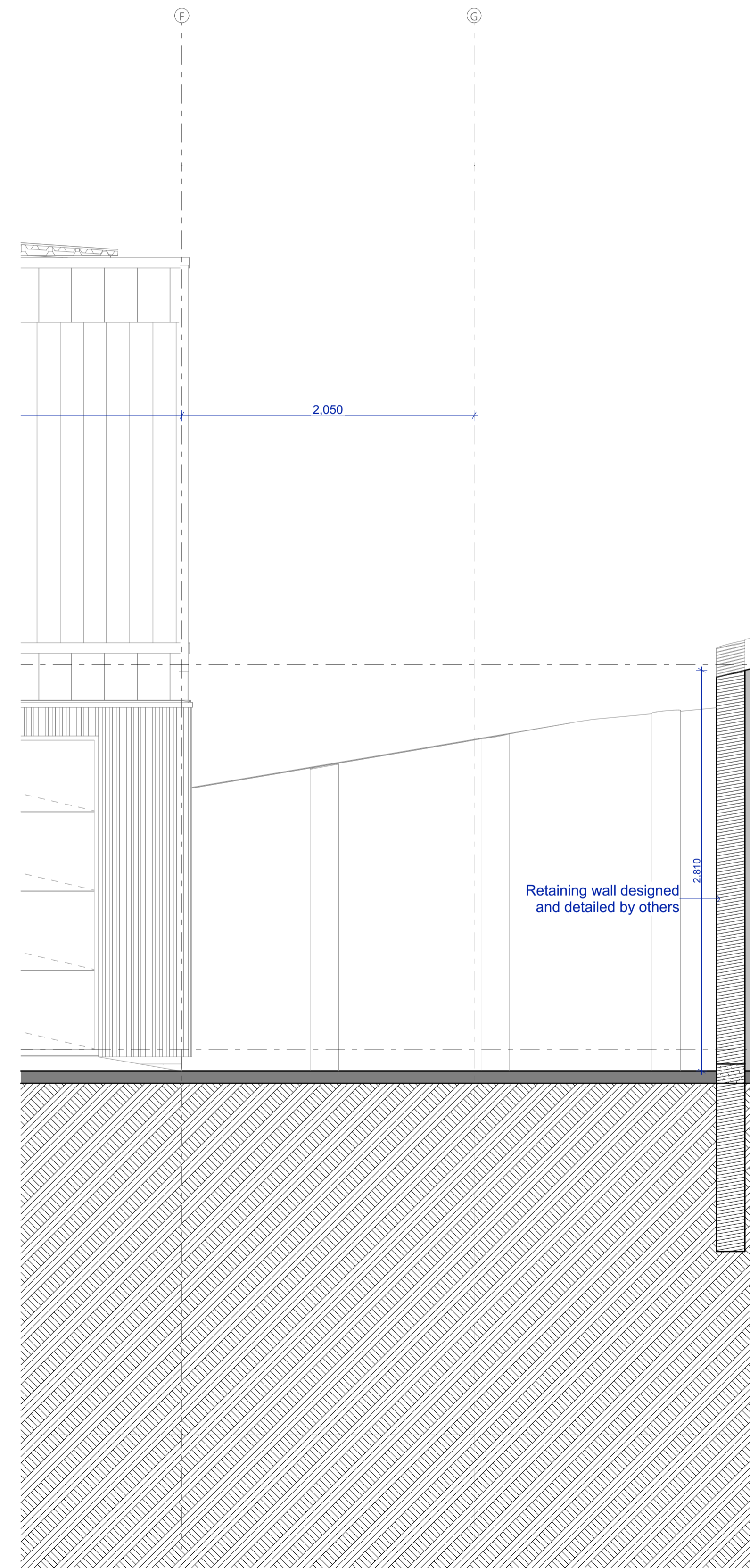
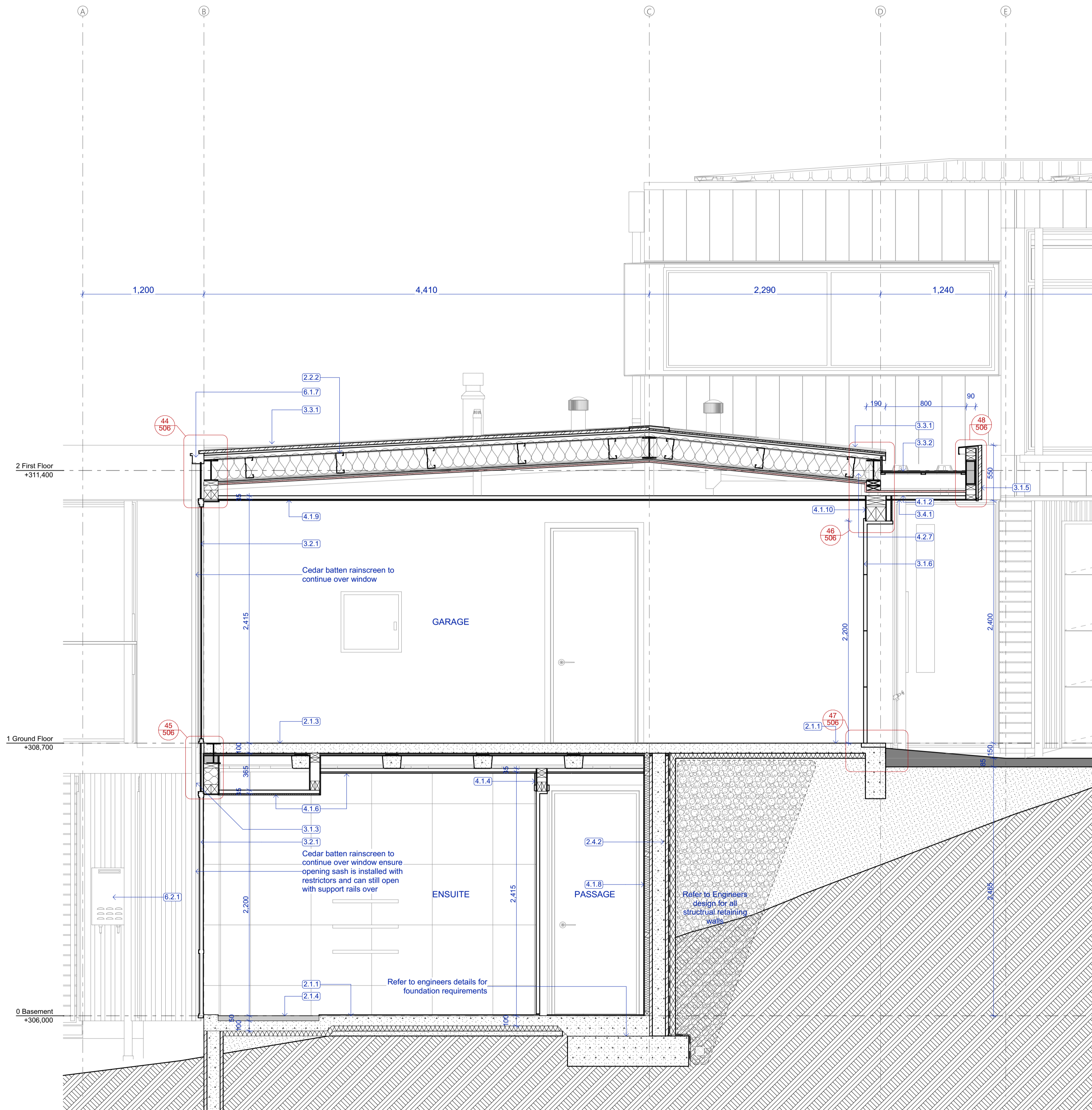
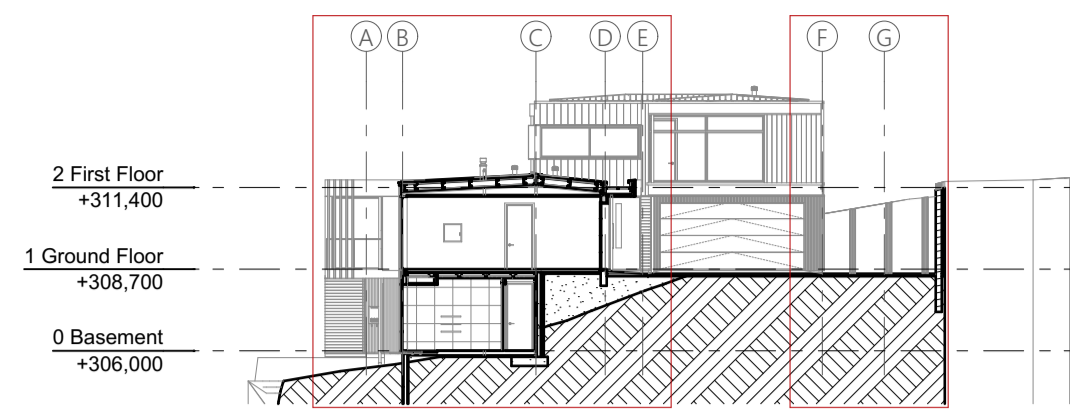
Sheet No. **405**

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Section DD  
 Scale 1:25



- 2.1.1 **Concrete slab on grade**  
100mm concrete slab over 50mm XPS polystyrene on DPM on grade. Refer Structural Engineer's documentation.
- 2.1.3 **Stahlton floor**  
Stahlton rib & infill with 125mm deep ribs and 100mm thick topping. Refer Structural Engineer's documentation.
- 2.1.4 **Shower rebate**  
50mm shower rebate - Tile falls to channel drain. Refer Structural Engineer's documentation.
- 2.2.2 **Steel HST purlins**  
200x15 DHS purlins @ 900mm c/s. Refer to Structural Engineer's documentation.
- 2.4.2 **20 Series Concrete Block + Insulation**  
20 Series concrete block. Refer to Structural Engineer's documentation. 70mm XPS insulation to external face integral with the engineers retaining wall design.
- 3.1.3 **Vertical Cedar Batten**  
Vertical 40x40 cedar batten rainscreen @ 100cs over 45mm H3.2 cavity battens (painted out black) over Titan Facade panel cladding system on 70x19mm CLD structural cavity batten. Finish with selected Drydens oil.
- 3.1.5 **Cudoclad Alpolic FR**  
Cudoclad Alpolic FR composite aluminium cladding system installed by qualified installers in accordance with the manufacturers documents.
- 3.1.6 **Colorsteel Garage Door**  
Colorsteel sectional insulated garage door with low head room gear. Install with Ex. 250x30mm cedar reveals rebated for linings and cladding finished with selected Drydens Oil.
- 3.2.1 **Aluminium windows and doors**  
Vantage Pacific Thermal System aluminium joinery. Double glazed IGUs with Argon gas and Low E coating. Powdercoat finish to aluminium members.
- 3.3.1 **Colorsteel roofing**  
Metalcraft Colorsteel T-Rib roofing over selected roofing underlay & wire mesh screw fixed to top of purlins. Prefinished Colorsteel Endura finish.
- 3.3.2 **Torch-on membrane**  
Viking Torch-on Lybra SBS Waterproofing membrane installed in accordance with the product manual. Over 17mm H3.2 CCA treated plywood supported at 400cs.
- 3.4.1 **Grooved ply soffit**  
Ecoply 12mm H3.1 LOSP Grooved soffit lining with over timber framing in accordance with manufacturers documents. Refer to Finish Schedule for paint finish.
- 4.1.2 **GIB Fyreline ceiling lining**  
16mm GIB Fyreline ceiling lining installed in accordance with GIB Fire Rated Systems Manual GBUC 30. Over Rondo 308 metal batten or direct fixed to timber gutter framing. All fixings as per structural diaphragm requirements.
- 4.1.4 **Gib Aqualine (Tiled)**  
Selected wall tiles bedded on Ardex Ataflex or Ardex X56 tile adhesive over Ardex WPM002 waterproof membrane, over 10mm Gib Aqualine.
- 4.1.6 **Gib Aqualine ceiling lining**  
15mm Aqualine lining on Rondo battens. Stop smooth to level 4 finish to receive paint finish.
- 4.1.8 **45mm Stap and line**  
45mm timber strapping with 10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish. Insulate with R1.2 50mm Masonry batts between strapping.
- 4.1.9 **Ceiling Ply lining**  
12mm ply ceiling lining adhesive and brad fixed with selected oil finish.
- 4.1.10 **Wall Ply lining**  
9mm ply wall lining adhesive and brad fixed with selected oil finish. Min. R4.0 140mm thick exterior wall insulation.
- 4.2.7 **Ceiling insulation - 220mm**  
R5 220mm ceiling insulation, ensure a 25mm air gap to underside of roofing.
- 6.1.7 **External Gutter**  
Architectural folded colorsteel external gutter 'profile A' with hidden clip fixings. Refer to roof plan for dimensions.
- 6.2.1 **Gas Hot Water Unit**  
E225 Rinnai INFINITY or similar approved instant gas hot water system.

**Building Consent**

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604 2011 and the New Zealand Building Code.

| Rev. | Date      | Issue                  |
|------|-----------|------------------------|
| 1    | 9/06/2021 | Building Consent Issue |
| A    | 9/06/2021 | Council RFI            |

**Three Sixty Architecture**



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

Section E

|            |             |
|------------|-------------|
| Scale @ A1 | 1:25, 1:250 |
| File No.   | R19015      |
| Date       | 9/06/2021   |
| Revision   | A           |

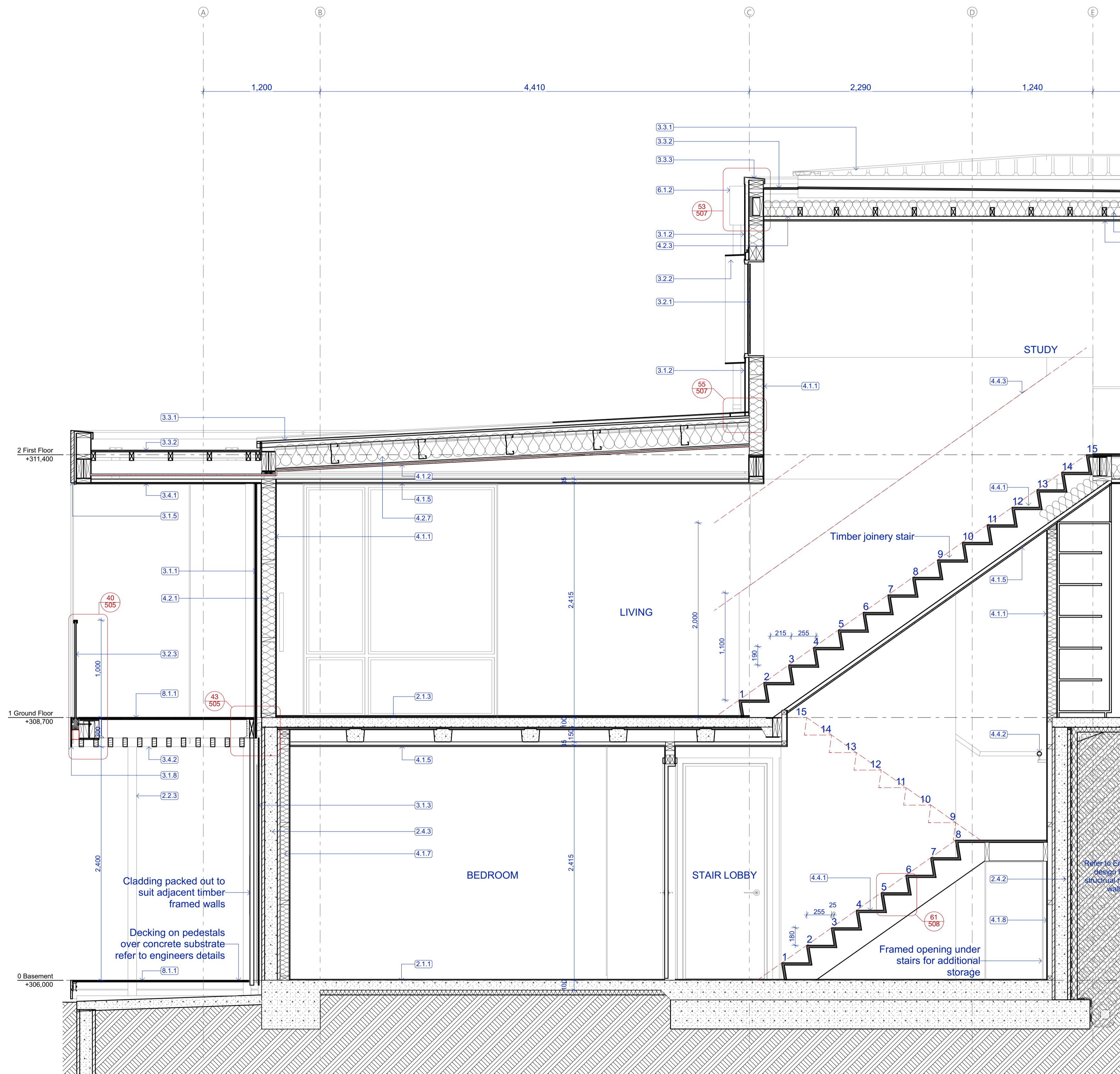
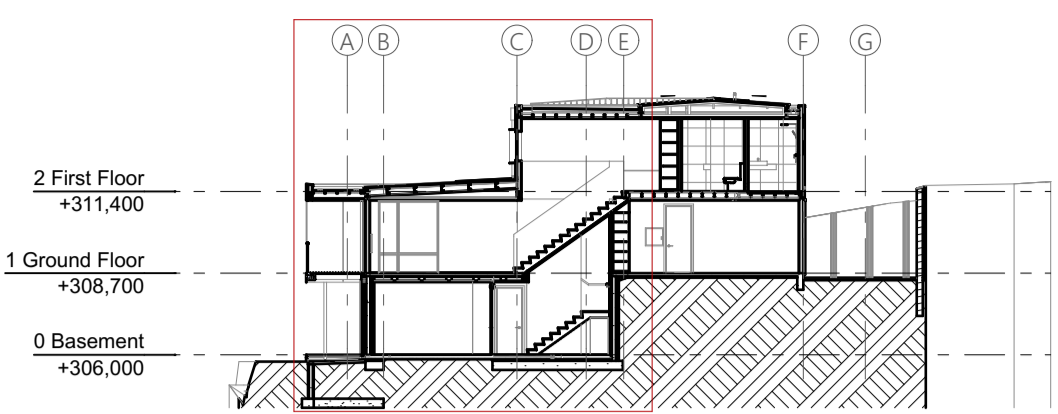
Sheet No. **406**

Three Sixty Architects Limited  
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Section FF  
 Scale 1:25

- 2.1.1 **Concrete slab on grade**  
100mm concrete slab over 50mm XPS polystyrene on DPM on grade. Refer Structural Engineer's documentation.
- 2.1.3 **Stairton floor**  
Stairton rib & infill with 125mm deep ribs and 100mm thick topping. Refer Structural Engineer's documentation.
- 2.2.3 **SHS 89x89**  
89x89 SHS. Refer to Structural Engineer's documentation. Refer to Specification for paint finish where steelwork is exposed. Ensure separation layer to timber where packing proposed.
- 2.4.2 **20 Series Concrete Block + Insulation**  
20 Series concrete block. Refer to Structural Engineer's documentation. 70mm XPS insulation to external face integral with the engineers retaining wall design.
- 2.4.3 **20 Series Concrete Block Wall**  
20 Series concrete block. Refer to Structural Engineer's documentation.
- 3.1.1 **Vert. Shiplap wall cladding**  
Rosenfeld Kidson RK58 vertical shiplap timber cladding over 45mm structural cavity battens. Finish with selected Drydens oil. Installed as per the manufacturers documentation. (studs @ 600crs, Dwargs @ 800crs)
- 3.1.2 **Flashclad Euro-line**  
Vertically fixed Euro-line powdercoated aluminium cladding. Installed as per the manufacturers documentation, by Flashclad nationwide distribution network. (studs @ 600crs, Dwargs @ 800crs)
- 3.1.3 **Vertical Cedar Batten**  
Vertical 40x40 cedar batten rainscreen @ 100crs over 45mm H3.2 cavity battens (painted out black) over Titan Facade panel cladding system on 70x18mm GLD structural cavity batten. Finish with selected Drydens oil.
- 3.1.5 **Cudoclad Alpolic FR**  
Cudoclad Alpolic FR composite aluminium cladding system installed by qualified installers in accordance with the manufacturers documents.
- 3.1.8 **Decorative Steel Plate**  
9mm zinc sprayed & powdercoated steel plate to external face FW to RHS. Refer to Structural Engineer's documentation.
- 3.2.1 **Aluminium windows and doors**  
Vantage Pacific Thermal System aluminium joinery. Double glazed IGUs with Argon gas and Low E coating. Powdercoat finish to aluminium members.
- 3.2.2 **Powdercoated Aluminium Window Frame**  
6mm Powdercoated aluminium window frame with 5deg fall at head & sill. Shop drawing and installation by Flashclad nationwide distribution network. Allow to pack out cladding to ensure a min. 30mm cavity to entire face.
- 3.2.3 **External Glass Balustrade**  
Metro 12mm Monolithic TEMPAFLOAT glass on Posiglaze PG 1205 Hardware System. Toughened with S25 interlinking capping rail to top. Refer to Metro glass details/PS1 for further information
- 3.3.1 **Colorsteel roofing**  
Metalcraft Colorsteel T-Rib roofing over selected roofing underlay & wire mesh screw fixed to top of purlins. Prefinished Colorsteel Endura finish
- 3.3.2 **Torch-on membrane**  
Viking Torch-on Lybra SBS Waterproofing membrane installed in accordance with the product manual. Over 17mm H3.2 CCA treated plywood supported at 400crs.
- 3.3.3 **Parapet Flashing**  
0.55 DMF Parapet flashing with 5 degree fall to roof and 70mm cover to cladding. Provide concealed clip fixings to exterior face. Colour as per schedule
- 3.4.1 **Grooved ply soffit**  
Ecoply 12mm H3.1 LOSP Grooved soffit lining with over timber framing in accordance with manufacturers documents. Refer to Finishes Schedule for paint finish.
- 3.4.2 **Timber battens**  
Decorative 90x45 timber battens fixed to underside of deck framing battens spaced @ 145 CRS. Selected drydens oil finish.
- 4.1.1 **GIB wall lining**  
10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish.
- 4.1.2 **GIB Fyreline ceiling lining**  
16mm GIB Fyreline ceiling lining installed in accordance with GIB Fire Rated Systems Manual GBUC 30. Over Rondo 308 metal batten or direct fixed to timber gutter framing. All fixings as per structural diaphragm requirements.
- 4.1.5 **GIB ceiling lining**  
13mm GIB standard lining on Rondo battens. Stop smooth to level 4 finish to receive paint finish.
- 4.1.7 **90mm Stap and line**  
90mm timber strapping with 10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish. 90mm R2.8 insulation between timber strapping.
- 4.1.8 **45mm Stap and line**  
45mm timber strapping with 10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish. Insulate with R1.2 50mm Masonry batts between strapping. Min. R4.0 140mm thick exterior wall insulation.
- 4.2.1 **140mm insulation**  
Min. R4.0 140mm thick exterior wall insulation.
- 4.2.3 **Ceiling insulation - 165mm**  
R3.6 165mm ceiling insulation for tight areas, ensure a 25mm air gap to underside of roofing.
- 4.2.7 **Ceiling insulation - 220mm**  
R5 220mm ceiling insulation, ensure a 25mm air gap to underside of roofing.
- 4.4.1 **Timber Joinery Stair**  
Main private stair riser 180mm height, Tread 280mm min. including 25mm nosing.
- 4.4.2 **Timber Handrail**  
400 solid timber handrail fixed on Halliday + Ballie HB 520 brackets fixed to wall @ 800 CRS. Provide solid blocking as necessary.
- 4.4.3 **Gib Lined Balustrade**  
Timber framed wall to extend 1m above floor level and pitch of stair to form solid balustrade. Line all sides with 10mm GIB ready for paint finish. Refer to engineers details for structural support.
- 6.1.2 **RWH**  
Folded Colorsteel Rainwater head with overflow outlet to discharge into Colorsteel DP. RWH to be folded colorsteel to match wall cladding. Overflow opening 1.5 x cross sectional area of downpipe
- 8.1.1 **Decking**  
Selected 19 x 90mm Hardwood decking with oil finish or composite decking board. Over timber framed structure refer to engineers details.

Building Consent

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604:2011 and the New Zealand Building Code.

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|-----------|-----------|------------------------------------|
| Rev. Code | Date      | Issue                              |
| A         | 9/06/2021 | Building Consent Issue Council RFI |



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

Section F

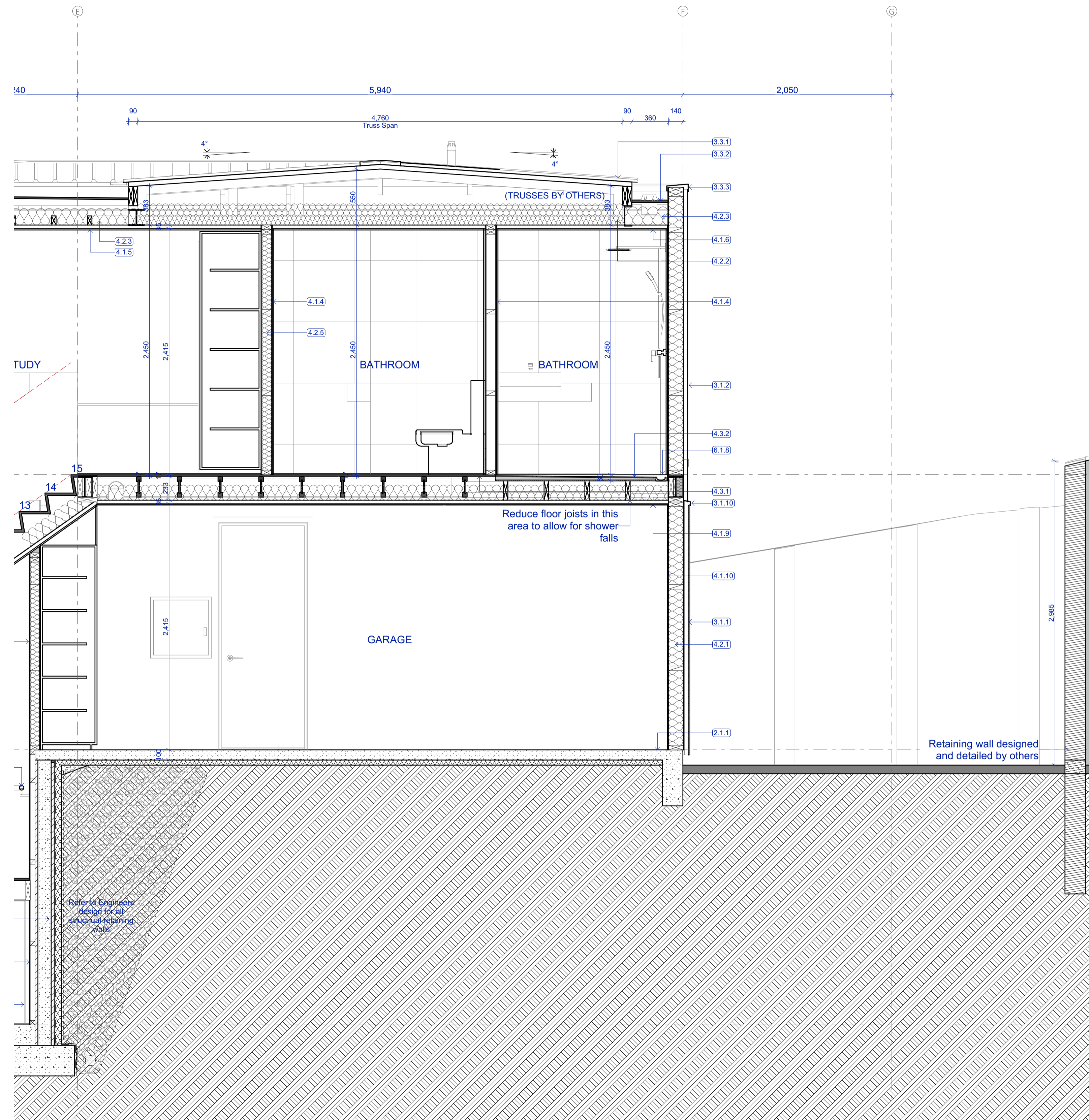
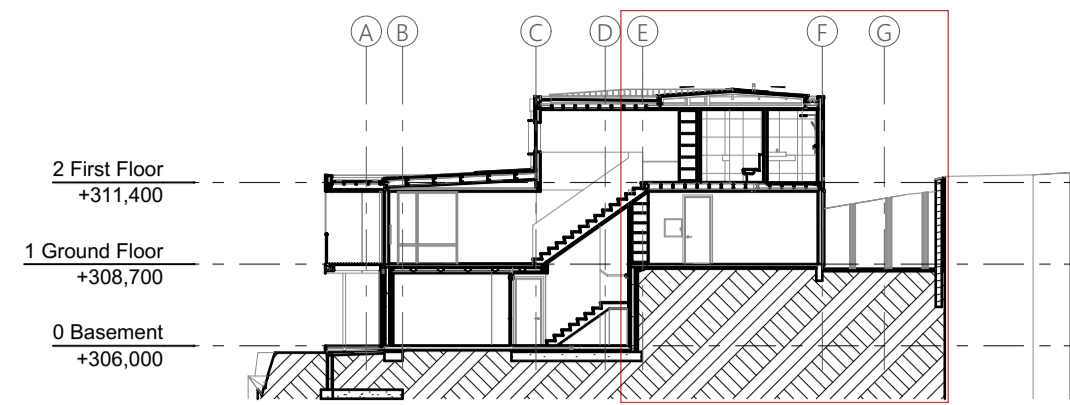
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| Scale @ A1 | 1:25, 1:250 |
| File No.   | R19015      |
| Date       | 9/06/2021   |
| Revision   | A           |

Sheet No. **407**

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- 2.1.1 **Concrete slab on grade**  
100mm concrete slab over 50mm XPS polystyrene on DPM on grade. Refer Structural Engineer's documentation.
- 2.4.2 **20 Series Concrete Block + Insulation**  
20 Series concrete block. Refer to Structural Engineer's documentation. 70mm XPS insulation to external face integral with the engineers retaining wall design.
- 3.1.1 **Vert. Shiplap wall cladding**  
Rosenfeld Kidson RK39 vertical shiplap timber cladding over 45mm structural cavity battens. Finish with selected Drydens oil. Installed as per the manufacturers documentation. (studs @ 600crs, Dwangs @ 800crs)
- 3.1.2 **Flashclad Euro-line**  
Vertically fixed Euro-line powdercoated aluminum cladding. Installed as per the manufacturers documentation, by Flashclad nationwide distribution network. (studs @ 600crs, Dwangs @ 800crs)
- 3.1.10 **Vertical change in cladding flashing**  
0.55BMT pre-finished flashing at change in cladding height. Colour as per finishing schedule.
- 3.3.1 **Colorsteel roofing**  
Metalcraft Colorsteel T-Rib roofing over selected roofing underlay & wire mesh screw fixed to top of purlins. Prefinished Colorsteel Endura finish
- 3.3.2 **Torch-on membrane**  
Viking Torch-on Lybra SBS Waterproofing membrane installed in accordance with the product manual. Over 17mm H3.2 CCA treated plywood supported at 400crs.
- 3.3.3 **Parapet Flashing**  
0.55 BMT Parapet flashing with 5 degree fall to roof and 70mm cover to cladding. Provide concealed clip fixings to exterior face. Colour as per schedule
- 4.1.1 **GIB wall lining**  
10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish.
- 4.1.4 **Gib Aqualine (Tiled)**  
Selected wall tiles bedded on Ardex Abaflex or Ardex X56 tile adhesive over Actex WPM002 waterproof membrane, over 10mm Gib Aqualine.
- 4.1.5 **GIB ceiling lining**  
13mm GIB standard lining on Rondo battens. Stop smooth to level 4 finish to receive paint finish.
- 4.1.6 **Gib Aqualine ceiling lining**  
13mm Aqualine lining on on Rondo battens. Stop smooth to level 4 finish to receive paint finish.
- 4.1.8 **45mm Stap and line**  
45mm timber strapping with 10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish. Insulate with R1.2 50mm Masonry batts between strapping.
- 4.1.9 **Ceiling Ply lining**  
12mm ply ceiling lining adhesive and brad fixed with selected oil finish.
- 4.1.10 **Wall Ply lining**  
9mm ply wall lining adhesive and brad fixed with selected oil finish. Min. R4.0 140mm thick exterior wall insulation.
- 4.2.1 **140mm insulation**  
Min. R4.0 140mm thick exterior wall insulation
- 4.2.2 **Ceiling insulation - 2 layer (210mm)**  
R1.8 95mm + R2.2 115mm ceiling insulation, ensure a 25mm air gap to underside of roofing
- 4.2.3 **Ceiling insulation - 165mm**  
R3.6 165mm ceiling insulation for tight areas, ensure a 25mm air gap to underside of roofing
- 4.2.5 **90mm acoustic insulation**  
90mm acoustic insulation to internal framed walls
- 4.3.1 **Ply Flooring Substrate**  
17mm Ecoply Flooring Substrate Tounge and Groove. installed as per the manufacturers instructions. Refer to Engineers documents for any diaphragm areas. Install 150mm midfloor acoustic insulation under.
- 4.3.2 **Shower Base**  
Non-slip ceramic tiles over screed over waterproofing membrane over 18mm fibre cement compressed sheet at 1:100 fall to shower channel drain.
- 4.4.2 **Timber Handrail**  
400 solid timber handrail fixed on Halliday + Baillie HB 520 brackets fixed to wall @ 800 CRS. Provide solid blocking as necessary
- 6.1.8 **Shower channel drain**  
Allproof Vision shower channel drain

**Building Consent**

Notes:  
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| Rev. | Date       | Issue                  |
| 1    | 16/04/2021 | Building Consent Issue |

**Three Sixty Architecture**



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

Section F Continued

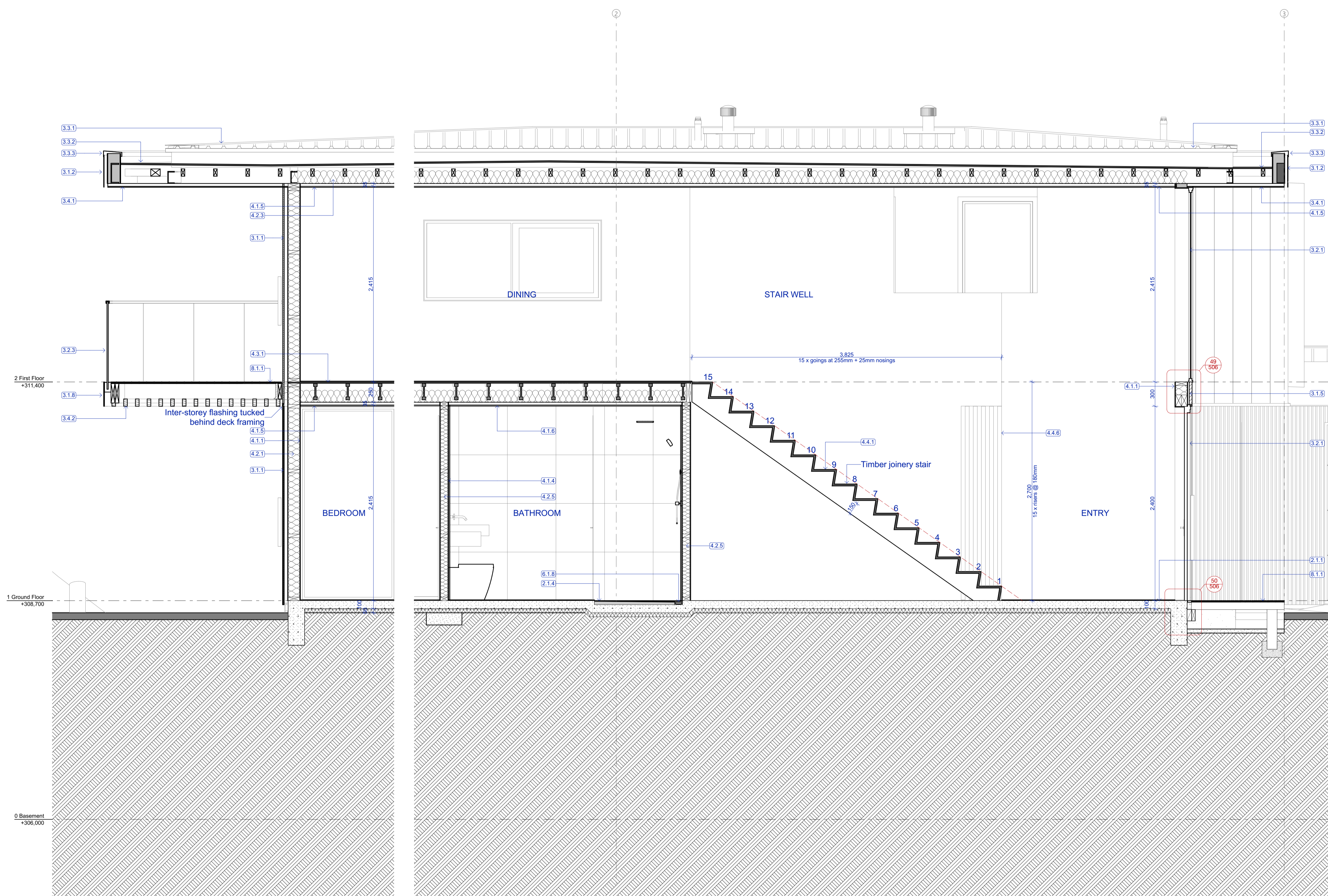
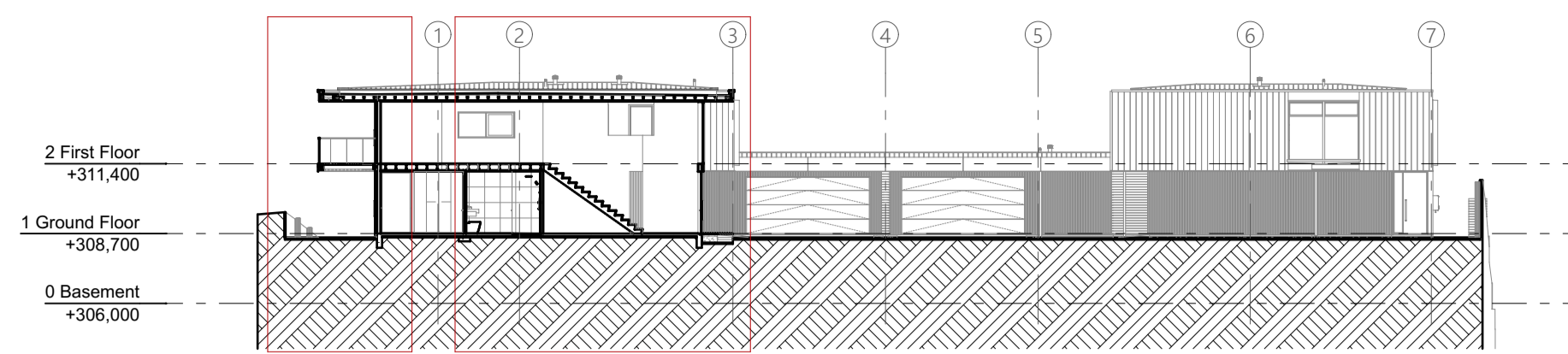
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| Scale @ A1 | 1:250     |
| File No.   | R19015    |
| Date       | 9/06/2021 |
| Revision   | -         |

Sheet No. **408**

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- 2.1.1 **Concrete slab on grade**  
100mm concrete slab over 50mm XPS polystyrene on DPM on grade. Refer Structural Engineer's documentation.
- 2.1.4 **Shower rebate**  
50mm shower rebate - Tile falls to channel drain. Refer Structural Engineer's documentation.
- 3.1.1 **Vert. Shiplap wall cladding**  
Rosedale Kilsco RK58 vertical shiplap timber cladding over 45mm structural cavity battens. Finish with selected Drydens oil. Installed as per the manufacturers documentation. (studs @ 600cs, Dwangs @ 800cs)
- 3.1.2 **Flashclad Euro-line**  
Vertically fixed Euro-line powdercoated aluminium cladding. Installed as per the manufacturers documentation, by Flashclad nationwide distribution network. (studs @ 600cs, Dwangs @ 800cs)
- 3.1.5 **Cudoclad Alpolic FR**  
Cudoclad Alpolic FR composite aluminium cladding system installed by qualified installers in accordance with the manufacturers documents.
- 3.1.8 **Decorative Steel Plate**  
9mm zinc sprayed & powdercoated steel plate to external face FW to RHS. Refer to Structural Engineer's documentation.
- 3.2.1 **Aluminium windows and doors**  
Vantage Pacific Thermal System aluminium joinery. Double glazed IGUs with Argon gas and Low E coating. Powdercoat finish to aluminium members.
- 3.2.3 **External Glass Balustrade**  
Metro 12mm Monolithic TEMPAFLOAT glass on Posigaze PG1205 Hardware System. Toughened with S25 interlinking capping rail to top. Refer to Metro glass details/PS1 for further information
- 3.3.1 **Colorsteel roofing**  
Metalcraft Colorsteel T-Rib roofing over selected roofing underlay & wire mesh screw fixed to top of purlins. Prefinished Colorsteel Endura finish
- 3.3.2 **Torch-on membrane**  
Viking Torch-on Lytra SBS Waterproofing membrane installed in accordance with the product manual. Over 17mm H3.2 CCA treated plywood supported at 400cs.
- 3.3.3 **Parapet Flashing**  
0.55 BMT Parapet flashing with 5 degree fall to roof and 70mm cover to cladding. Provide concealed clip fixings to exterior face. Colour as per schedule
- 3.4.1 **Grooved ply soffit**  
Ecoply 12mm H3.1 LOSP Grooved soffit lining with over timber framing in accordance with manufacturers documents. Refer to Finishes Schedule for paint finish.
- 3.4.2 **Timber battens**  
Decorative 30x45 timber battens fixed to underside of deck framing battens spaced @ 145 CRS. Selected drydens oil finish.
- 4.1.1 **GIB wall lining**  
10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish.
- 4.1.4 **Gib Aqualine (Tile)**  
Selected wall tiles bedded on Ardex Abaflex or Ardex X56 tile adhesive over Ardex WPM002 waterproof membrane, over 10mm Gib Aqualine.
- 4.1.5 **GIB ceiling lining**  
13mm GIB standard lining on Rondo battens. Stop smooth to level 4 finish to receive paint finish.
- 4.1.6 **Gib Aqualine ceiling lining**  
13mm Aqualine lining on on Rondo battens. Stop smooth to level 4 finish to receive paint finish.
- 4.2.1 **140mm insulation**  
Min. R4.0 140mm thick exterior wall insulation
- 4.2.3 **Ceiling insulation - 165mm**  
R3.6 165mm ceiling insulation for light areas, ensure a 25mm air gap to underside of roofing
- 4.2.5 **90mm acoustic insulation**  
90mm acoustic insulation to internal framed walls
- 4.3.1 **Ply Flooring Substrate**  
17mm Ecoply Flooring Substrate Tongue and Groove, installed as per the manufacturers instructions. Refer to Engineers documents for any diaphragm areas. Install 150mm midfloor acoustic insulation under.
- 4.4.1 **Timber Joinery Stair**  
Main private stair riser 180mm height. Tread 280mm min. including 25mm nosing.
- 4.4.6 **Internal Cedar Fins**  
50mm thick internal cedar fins at 150cs (width to match wall thickness) adhesive fixed to rails top and bottom. Finish with selected Drydens oil
- 6.1.8 **Shower channel drain**  
Alproof Vision shower channel drain
- 8.1.1 **Decking**  
Selected 19 x 90mm Hardwood decking with oil finish or composite decking board. Over timber framed structure refer to engineers details.

**Building Consent**

Notes:  
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|------|------------|------------------------|
| Rev. | Date       | Issue                  |
| -    | 16/04/2021 | Building Consent Issue |



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

Section G

|            |             |
|------------|-------------|
| Scale @ A1 | 1:25, 1:250 |
| File No.   | R19015      |
| Date       | 9/06/2021   |
| Revision   | -           |

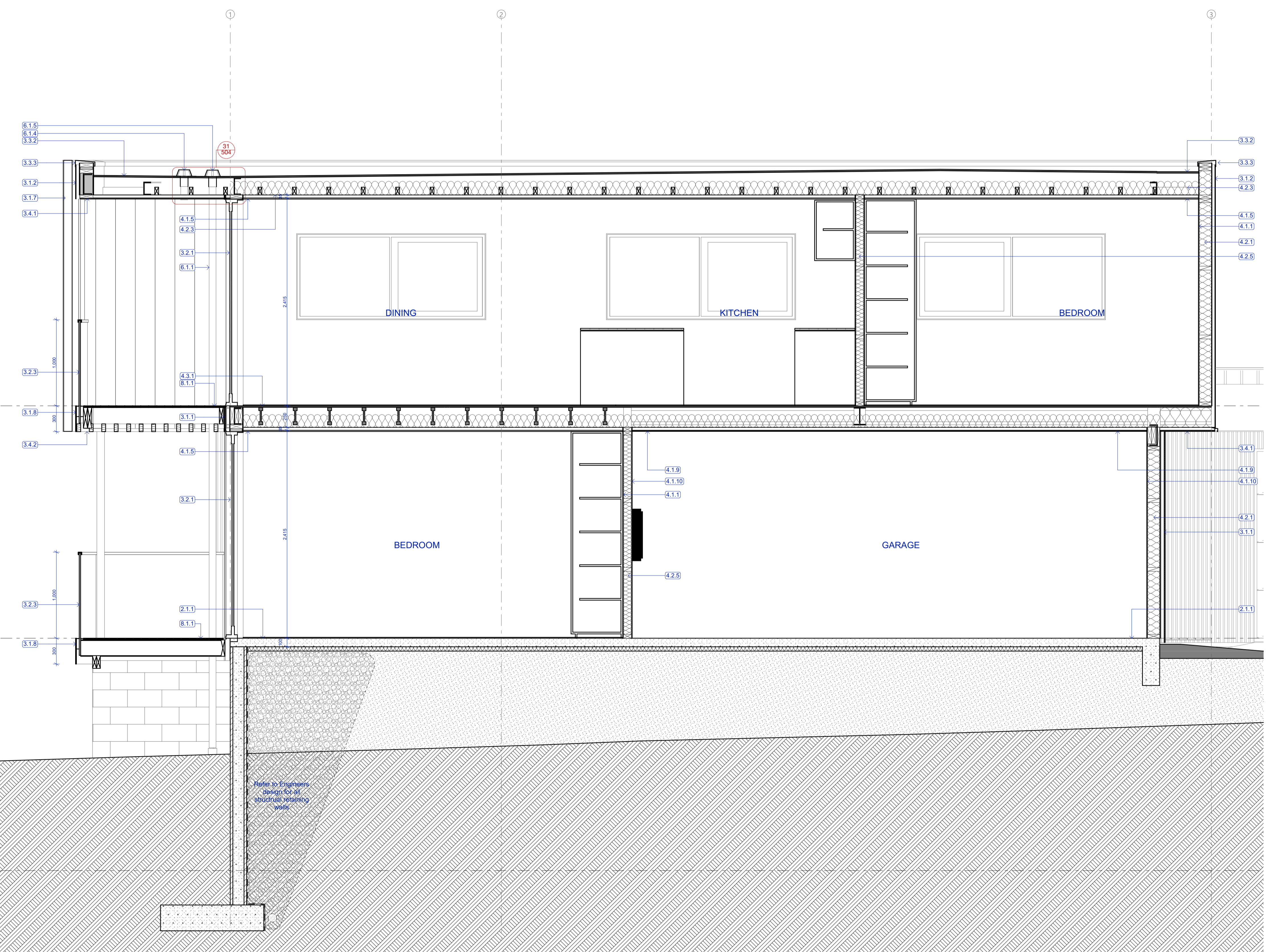
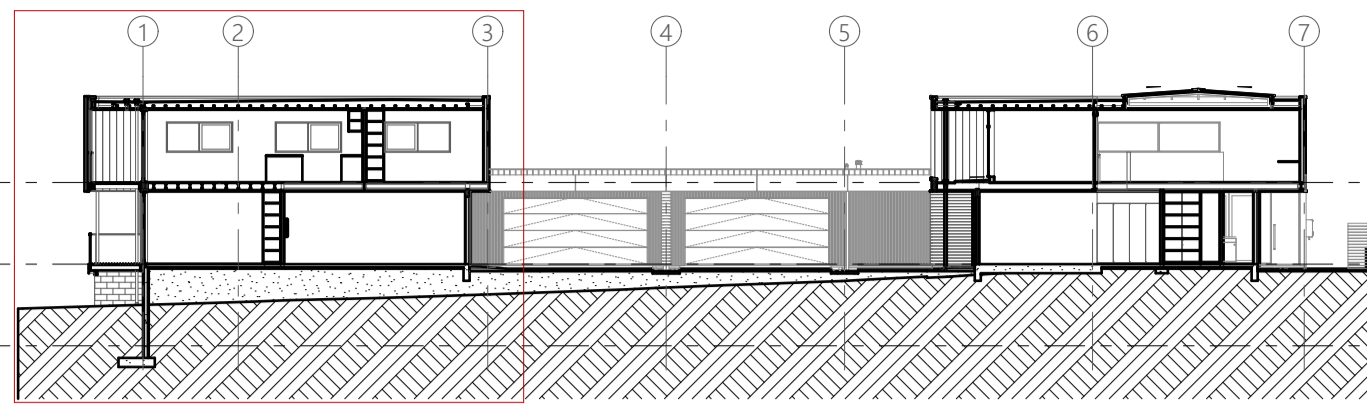
Sheet No. **409**

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Section GG  
 Scale 1:25



- 2.1.1 **Concrete slab on grade**  
100mm concrete slab over 50mm XPS polystyrene on DPM on grade. Refer Structural Engineer's documentation.
- 3.1.1 **Vert. Shiplap wall cladding**  
Rosenfeld Kidson RK38 vertical shiplap timber cladding over 45mm structural cavity battens. Finish with selected Drydens oil. Installed as per the manufacturers documentation. (studs @ 600crs, Dwangs @ 800crs)
- 3.1.2 **Flashclad Euro-line**  
Vertically fixed Euro-line powdercoated aluminium cladding. Installed as per the manufacturers documentation, by Flashclad nationwide distribution network. (studs @ 600crs, Dwangs @ 800crs)
- 3.1.7 **Louvre**  
140x10mm powdercoated steel flat screw fixed both sides of 50x45 timber LVL post. Post fixed at top and bottom. Refer to Structural Engineer's documentation.
- 3.1.8 **Decorative Steel Plate**  
9mm zinc sprayed & powdercoated steel plate to external face FW to RHS. Refer to Structural Engineer's documentation.
- 3.2.1 **Aluminium windows and doors**  
Vantage Pacific Thermal System aluminium joinery. Double glazed IGUs with Argon gas and Low E Coating. Powdercoat finish to aluminium members
- 3.2.3 **External Glass Balustrade**  
Metro 12mm Monolithic TEMPAFLOAT glass on Postglaze PG1205 Hardware System. Toughened with S25 interlinking capping rail to top. Refer to Metro glass details/PS1 for further information
- 3.3.2 **Torch-on membrane**  
Viking Torch-on Lybra SBS Waterproofing membrane installed in accordance with the product manual. Over 17mm HS 2 CCA treated plywood supported at 400crs
- 3.3.3 **Parapet Flashing**  
0.55 BMT Parapet flashing with 5 degree fall to roof and 70mm cover to cladding. Provide concealed clip fixings to exterior face. Colour as per schedule
- 3.4.1 **Grooved ply soffit**  
Ecoply 12mm HS 1 LOSP Grooved soffit lining with over timber framing in accordance with manufacturers documents. Refer to Finishes Schedule for paint finish.
- 3.4.2 **Timber battens**  
Decorative 90x45 timber battens fixed to underside of deck framing battens spaced @ 145 CRS. Selected drydens oil finish.
- 4.1.1 **GIB wall lining**  
10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish.
- 4.1.5 **GIB ceiling lining**  
13mm GIB standard lining on Rondo battens. Stop smooth to level 4 finish to receive paint finish.
- 4.1.9 **Ceiling Ply lining**  
12mm ply ceiling lining adhesive and brad fixed with selected oil finish.
- 4.1.10 **Wall Ply lining**  
9mm ply wall lining adhesive and brad fixed with selected oil finish.  
Min. R4.0 140mm thick exterior wall insulation
- 4.2.1 **140mm insulation**  
Min. R4.0 140mm thick exterior wall insulation
- 4.2.3 **Ceiling insulation - 165mm**  
R3.6 165mm ceiling insulation for tight areas, ensure a 25mm air gap to underside of roofing
- 4.2.5 **90mm acoustic insulation**  
90mm acoustic insulation to internal framed walls
- 4.3.1 **Ply Flooring Substrate**  
17mm Ecoply Flooring Substrate Tounge and Groove. installed as per the manufacturers instructions. Refer to Engineers documents for any diaphragm areas. Install 150mm midfloor acoustic insulation under.
- 6.1.1 **Downpipe**  
80Ø Colorsteel DP with matching munzing ring standoff brackets at 1200mm crs. Refer to finishes schedule for colour.
- 6.1.4 **Overflow Drain**  
Viking Roofspec 80mm clamped overflow drain SDM049 with 304 S/S domed grate, installed as per manufacturers instructions. Overflow outlet to extend 10mm below soffit
- 6.1.5 **Roof Drain**  
Viking Roofspec 80mm clamped drain SDM049 with 304 S/S domed grate, installed as per manufacturers instructions
- 8.1.1 **Decking**  
Selected 19 x 90mm Hardwood decking with oil finish or composite decking board. Over timber framed structure refer to engineers details.

**Building Consent**

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604 2011 and the New Zealand Building Code.

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|------|------------|------------------------|
| Rev. | Date       | Issue                  |
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Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

Section H

|            |             |
|------------|-------------|
| Scale @ A1 | 1:25, 1:250 |
| File No.   | R19015      |
| Date       | 9/06/2021   |
| Revision   | -           |

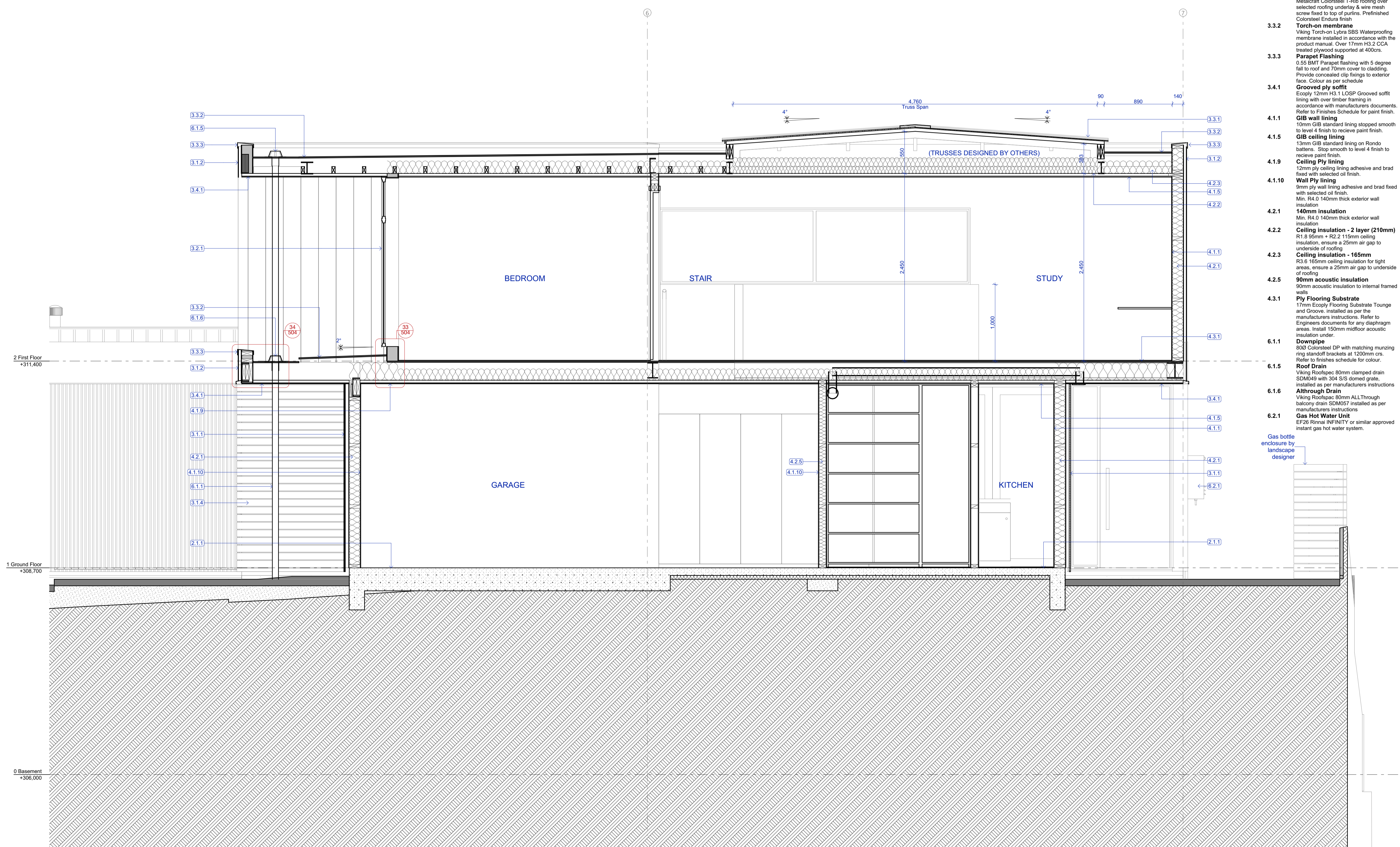
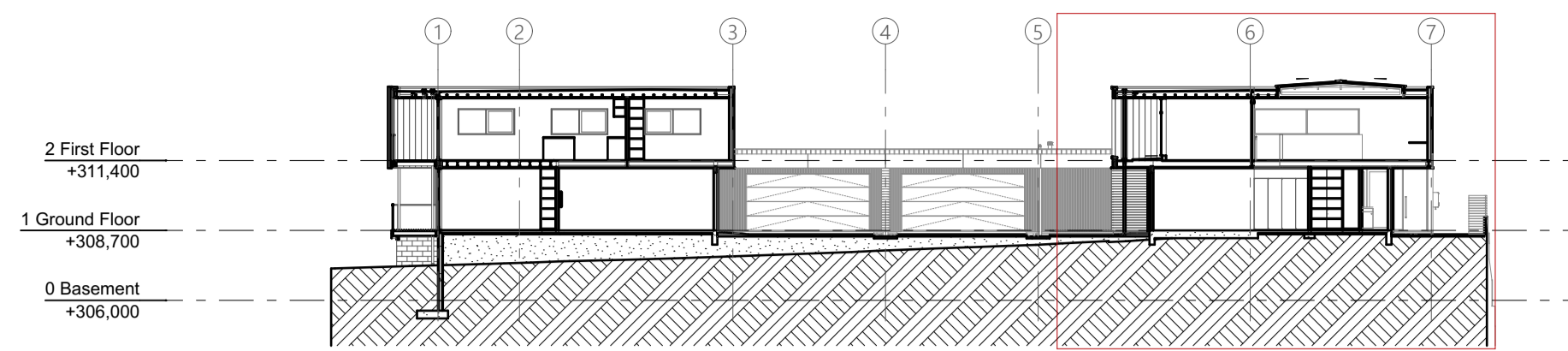
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Section HH  
 Scale 1:25



- 2.1.1 **Concrete slab on grade**  
 100mm concrete slab over 50mm XPS polystyrene on DPM on grade. Refer Structural Engineer's documentation.
- 3.1.1 **Vert. Shiplap wall cladding**  
 Rosenfeld Kidson RK38 vertical shiplap timber cladding over 45mm structural cavity battens. Finish with selected Drydens oil. Installed as per the manufacturers documentation. (studs @ 600crs, Dwargs @ 800crs)
- 3.1.2 **Flashclad Euro-line**  
 Vertically fixed Euro-line powdercoated aluminium cladding. Installed as per the manufacturers documentation, by Flashclad nationwide distribution network. (studs @ 600crs, Dwargs @ 800crs)
- 3.1.4 **Horizontal Cedar Batten**  
 Horizontal 60x20 cedar batten over 45mm H3.2 cavity battens (painted out black) over Concrete block walls. Finish with selected Drydens oil.
- 3.2.1 **Aluminium windows and doors**  
 Vantage Pacific Thermal System aluminium joinery. Double glazed IGUs with Argon gas and Low E coating. Powdercoat finish to aluminium members
- 3.3.1 **Colorsteel roofing**  
 Metacraft Colorsteel T-Rib roofing over selected roofing underlay & wire mesh screw fixed to top of purlins. Prefinished Colorsteel Endura finish
- 3.3.2 **Torch-on membrane**  
 Viking Torch-on Lyra SBS Waterproofing membranes installed in accordance with the product manual. Over 17mm H3.2 CCA treated plywood supported at 400crs.
- 3.3.3 **Parapet Flashing**  
 0.55 BMT Parapet flashing with 5 degree fall to roof and 70mm cover to cladding. Provide concealed clip fixings to exterior face. Colour as per schedule
- 3.4.1 **Grooved ply soffit**  
 Ecoply 12mm H3.1 LOSP Grooved soffit lining with over timber framing in accordance with manufacturers documents. Refer to Finishes Schedule for paint finish.
- 4.1.1 **GIB wall lining**  
 15mm GIB standard lining stopped smooth to level 4 finish to receive paint finish.
- 4.1.5 **GIB ceiling lining**  
 15mm GIB standard lining on Rondo battens. Stop smooth to level 4 finish to receive paint finish.
- 4.1.9 **Ceiling Ply lining**  
 12mm ply ceiling lining adhesive and brad fixed with selected oil finish.
- 4.1.10 **Wall Ply lining**  
 9mm ply wall lining adhesive and brad fixed with selected oil finish. Min. R4.0 140mm thick exterior wall insulation.
- 4.2.1 **140mm insulation**  
 Min. R4.0 140mm thick exterior wall insulation
- 4.2.2 **Ceiling insulation - 2 layer (210mm)**  
 R1.8 65mm + R2.2 115mm ceiling insulation, ensure a 25mm air gap to underside of roofing
- 4.2.3 **Ceiling insulation - 165mm**  
 R3.6 165mm ceiling insulation for tight areas, ensure a 25mm air gap to underside of roofing
- 4.2.5 **90mm acoustic insulation**  
 90mm acoustic insulation to internal framed walls
- 4.3.1 **Ply Flooring Substrate**  
 17mm Ecoply Flooring Substrate Tounge and Groove. Installed as per the manufacturers instructions. Refer to Engineers documents for any diaphragm areas. Install 150mm midfloor acoustic insulation under.
- 6.1.1 **Downpipe**  
 800 Colorsteel DP with matching muzzing ring standoff brackets at 1200mm crs. Refer to finishes schedule for colour.
- 6.1.5 **Roof Drain**  
 Viking Roofspec 80mm clamped drain SDM049 with 304 SIS domed grate. Installed as per manufacturers instructions
- 6.1.6 **Althrough Drain**  
 Viking Roofspec 80mm ALLThrough balcony drain SDM057 installed as per manufacturers instructions
- 6.2.1 **Gas Hot Water Unit**  
 EF26 Rinnai INFINITY or similar approved instant gas hot water system.

**Building Consent**

Notes:  
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| Rev. | Date       | Issue                  |
| 1    | 16/04/2021 | Building Consent Issue |

**Three Sixty Architecture**



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

Section H Continued

|            |             |
|------------|-------------|
| Scale @ A1 | 1:25, 1:250 |
| File No.   | R19015      |
| Date       | 9/06/2021   |
| Revision   | -           |

Sheet No. **411**

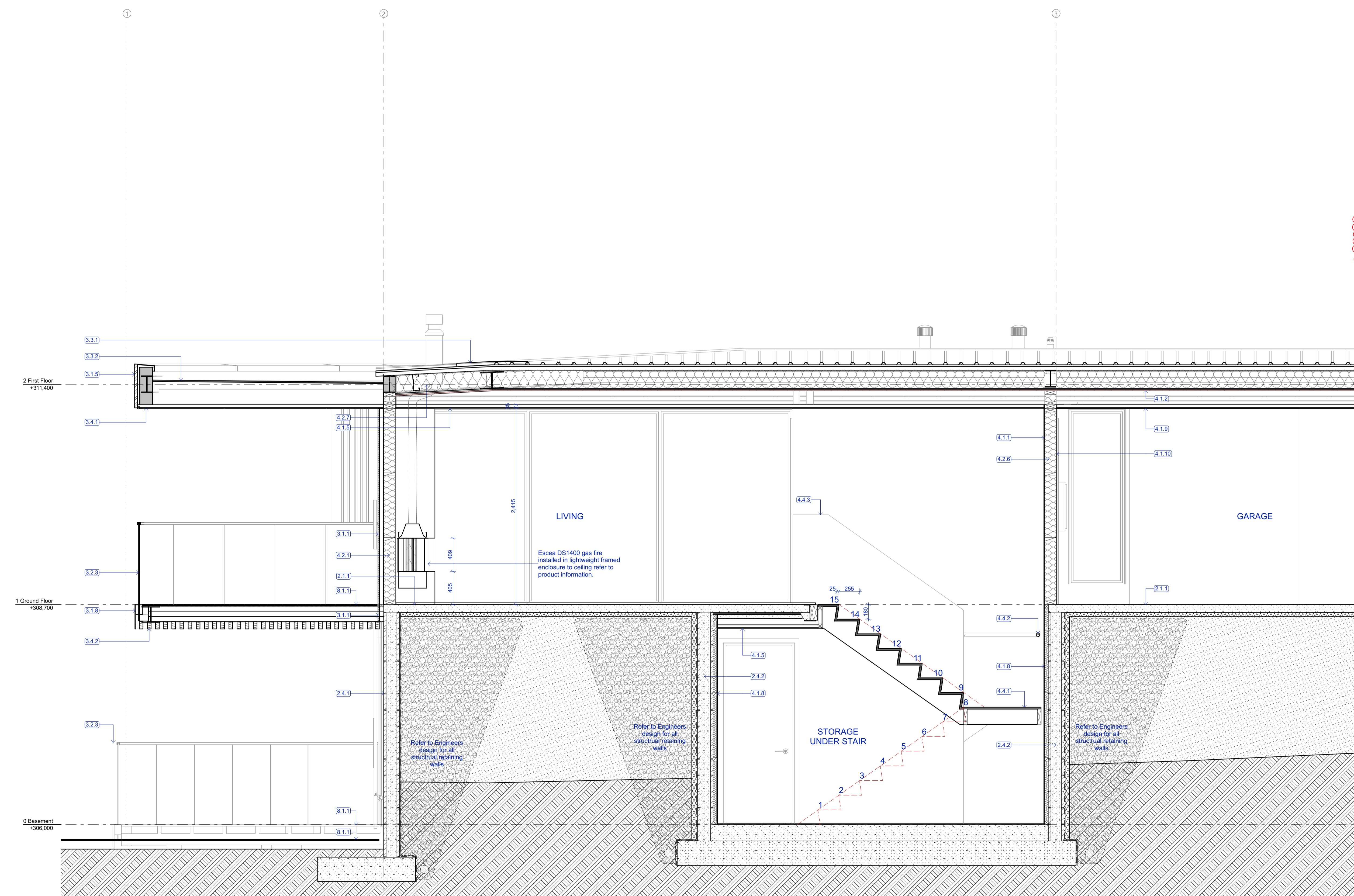
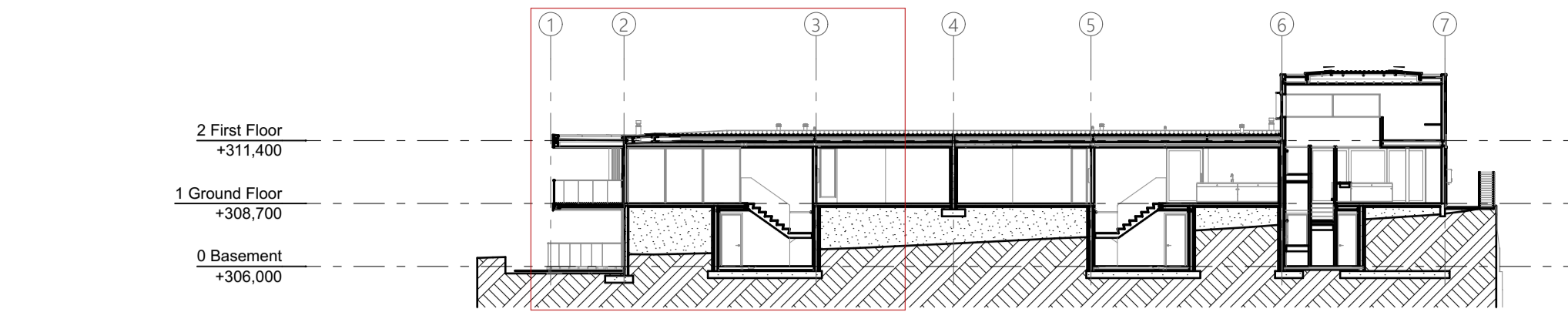
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Section HH

Scale 1:25



- 2.1.1 **Concrete slab on grade**  
100mm concrete slab over 50mm XPS polystyrene on DPM on grade. Refer Structural Engineer's documentation.
- 2.4.1 **20 Series Concrete Block Exterior Wall**  
20 Series concrete block. Refer to Structural Engineer's documentation. Allow for sealer/finish coat and paint finish to exposed faces.
- 2.4.2 **20 Series Concrete Block + Insulation**  
20 Series concrete block. Refer to Structural Engineer's documentation. 70mm XPS insulation to external face integral with the engineers retaining wall design.
- 3.1.1 **Vert. Shiplap wall cladding**  
Rosenfeld Kidson RK58 vertical shiplap timber cladding over 45mm structural cavity battens. Finish with selected Drydens oil. Installed as per the manufacturers documentation. (studs @ 600crs, Dwangs @ 800crs)
- 3.1.5 **Cudoclad Alpolic FR**  
Cudoclad Alpolic FR composite aluminium cladding system installed by qualified installers in accordance with the manufacturers documents.
- 3.1.8 **Decorative Steel Plate**  
9mm zinc sprayed & powdercoated steel plate to external face FW to RHS. Refer to Structural Engineer's documentation.
- 3.2.3 **External Glass Balustrade**  
Metro 12mm Monoitic TEMPAFLOAT glass on Posiglaze PG120S Hardware System. Toughened with S25 interlinking capping rail to top. Refer to Metro glass details/PS1 for further information.
- 3.3.1 **Colorsteel roofing**  
Metalcraft Colorsteel T-Rib roofing over selected roofing underlay & wire mesh screw fixed to top of purlins. Prefinished Colorsteel Endura finish.
- 3.3.2 **Torch-on membrane**  
Viking Torchon Lybra SBS Waterproofing membrane installed in accordance with the product manual. Over 17mm H3.2 CCA treated plywood supported at 400crs.
- 3.4.1 **Grooved ply soffit**  
Ecoply 12mm H3.1 LOSP Grooved soffit lining with over timber framing in accordance with manufacturers documents. Refer to Finishes Schedule for paint finish.
- 3.4.2 **Timber battens**  
Decorative 90x45 timber battens fixed to underside of deck framing battens spaced @ 145 CRS. Selected drydens oil finish.
- 4.1.1 **GIB wall lining**  
10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish.
- 4.1.2 **GIB Fyreline ceiling lining**  
16mm GIB Fyreline ceiling lining installed in accordance with GIB Fire Rated Systems Manual GBLUC 30. Over Rondo 308 metal batten or direct fixed to timber gutter framing. All fixings as per structural diaphragm requirements.
- 4.1.5 **GIB ceiling lining**  
15mm GIB standard lining on Rondo battens. Stop smooth to level 4 finish to receive paint finish.
- 4.1.8 **45mm Stap and line**  
45mm timber strapping with 10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish. Insulate with R1.2 50mm Masonry batts between strapping.
- 4.1.9 **Ceiling Ply lining**  
12mm ply ceiling lining adhesive and brad fixed with selected oil finish.
- 4.1.10 **Wall Ply lining**  
9mm ply wall lining adhesive and brad fixed with selected oil finish.
- 4.2.1 **140mm insulation**  
Min. R4.0 140mm thick exterior wall insulation.
- 4.2.6 **140mm acoustic insulation**  
140mm acoustic insulation to internal framed walls.
- 4.2.7 **Ceiling insulation - 220mm**  
R5 220mm ceiling insulation, ensure a 25mm air gap to underside of roofing.
- 4.4.1 **Timber Joinery Stair**  
Main private stair riser 180mm height, Tread 280mm min. including 25mm nosing.
- 4.4.2 **Timber Handrail**  
400 solid timber handrail fixed on Halliday + Baillie HB 520 brackets fixed to wall @ 800 CRS. Provide solid blocking as necessary.
- 4.4.3 **Gib Lined Balustrade**  
Timber framed wall to extend 1m above floor level and pitch of stair to form solid balustrade. Line all sides with 10mm GIB ready for paint finish. Refer to engineers details for structural support.
- 8.1.1 **Decking**  
Selected 19 x 90mm Hardwood decking with oil finish or composite decking board. Over timber framed structure refer to engineers details.

**Building Consent**

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604 2011 and the New Zealand Building Code.

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Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

Section I

|            |             |
|------------|-------------|
| Scale @ A1 | 1:25, 1:250 |
| File No.   | R19015      |
| Date       | 9/06/2021   |
| Revision   | A           |

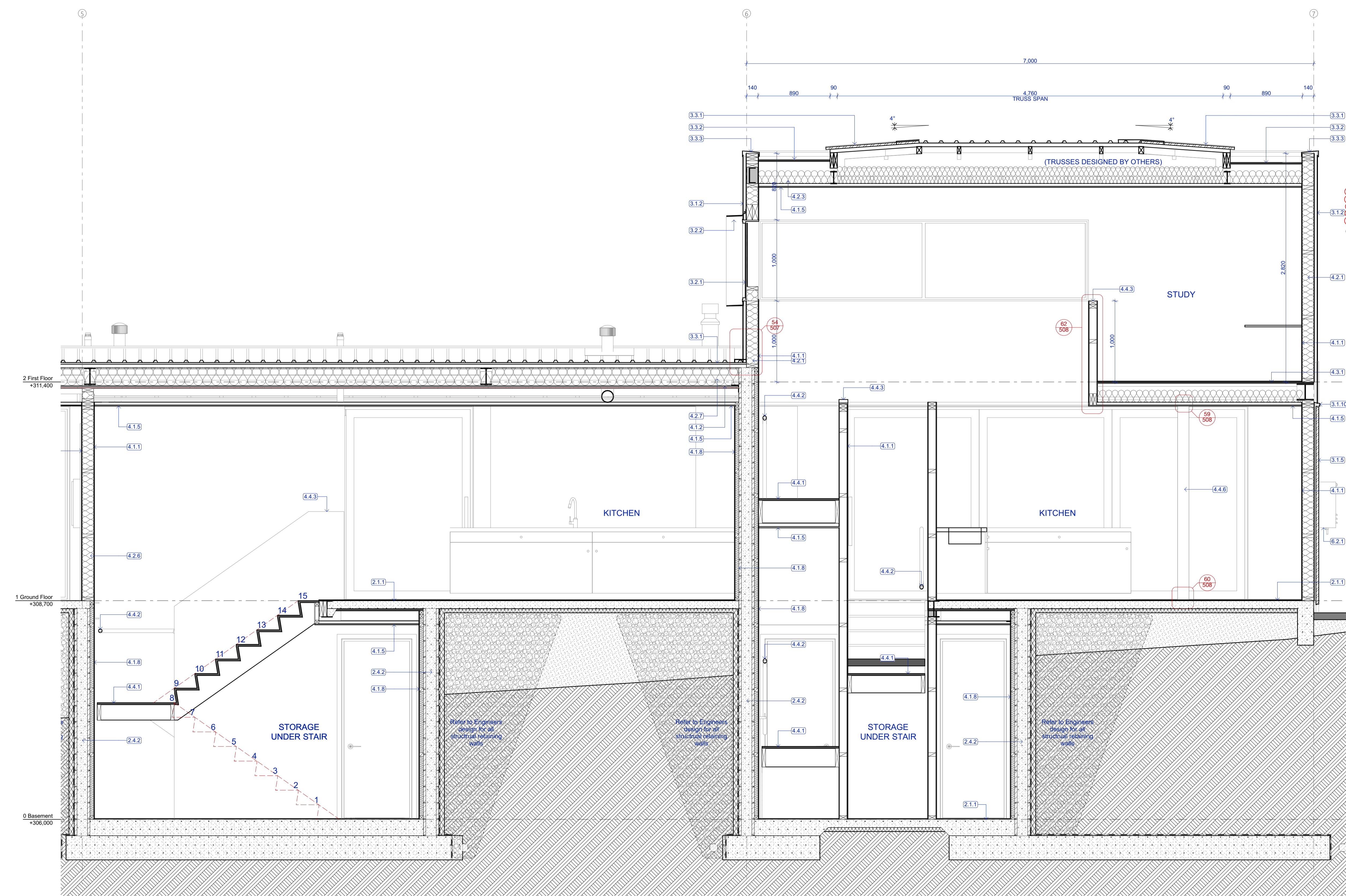
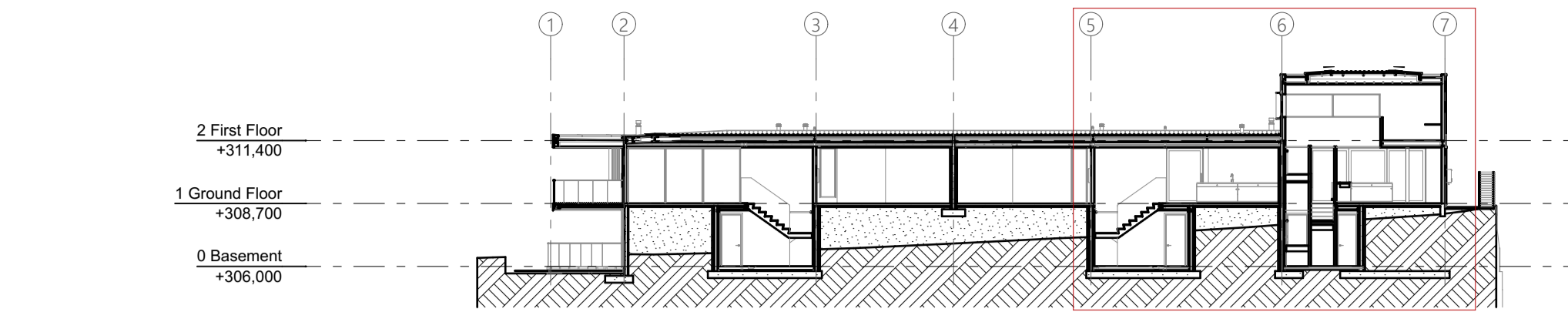
Sheet No. **412**

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Section II  
 Scale 1:25



- 2.1.1 **Concrete slab on grade**  
100mm concrete slab over 50mm XPS polystyrene on DPM on grade. Refer Structural Engineer's documentation.
- 2.4.2 **20 Series Concrete Block + Insulation**  
20 Series concrete block. Refer to Structural Engineer's documentation. 70mm XPS insulation to external face integral with the engineers retaining wall design.
- 3.1.2 **Flashclad Euro-line**  
Vertically fixed Euro-line powdercoated aluminium cladding. Installed as per the manufacturers documentation, by Flashclad nationwide distribution network. (stud @ 600ors, Dwangs @ 800ors)
- 3.1.5 **Cudoclad Alpolic FR**  
Cudoclad Alpolic FR composite aluminium cladding system installed by qualified installers in accordance with the manufacturers documents.
- 3.1.10 **Vertical change in cladding flashing**  
0.55BMT pre-finished flashing at change in cladding height. Colour as per finishing schedule.
- 3.2.1 **Aluminium windows and doors**  
Vantage Pacific Thermal System aluminium joinery. Double glazed IGUs with Argon gas and Low E coating. Powdercoat finish to aluminium members.
- 3.2.2 **Powdercoated Aluminium Window Frame**  
6mm Powdercoated aluminium window frame with 5deg fall at head & sill. Shop drawing and installation by Flashclad nationwide distribution network. Allow to pack out cladding to ensure a min. 30mm cavity to entire face.
- 3.3.1 **Colorsteel roofing**  
Metalcraft Colorsteel T-Rib roofing over selected roofing underlay & wire mesh screw fixed to top of purlins. Prefinished Colorsteel Endura finish.
- 3.3.2 **Torch-on membrane**  
Viking Torchon Lybra SBS Waterproofing membrane installed in accordance with the product manual. Over 17mm H3.2 CCA treated plywood supported at 400ors.
- 3.3.3 **Parapet Flashing**  
0.55 BMT Parapet flashing with 5 degree fall to roof and 70mm cover to cladding. Provide concealed clip fixings to exterior face. Colour as per schedule.
- 4.1.1 **GIB wall lining**  
10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish.
- 4.1.2 **GIB Fyreline ceiling lining**  
16mm GIB Fyreline ceiling lining installed in accordance with GIB Fire Rated Systems Manual GBLUC 30. Over Rondo 308 metal batten or direct fixed to timber gutter framing. All fixings as per structural diaphragm requirements.
- 4.1.5 **GIB ceiling lining**  
13mm GIB standard lining on Rondo battens. Stop smooth to level 4 finish to receive paint finish.
- 4.1.8 **45mm Stap and line**  
45mm timber strapping with 10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish. Insulate with R1.2 50mm Masonry balls between strapping.
- 4.1.10 **Wall Ply lining**  
9mm ply wall lining adhesive and brad fixed with selected oil finish. Min. R4.0 140mm thick exterior wall insulation.
- 4.2.1 **140mm insulation**  
Min. R4.0 140mm thick exterior wall insulation.
- 4.2.3 **Ceiling insulation - 165mm**  
R3.6 165mm ceiling insulation for light areas, ensure a 20mm air gap to underside of roofing.
- 4.2.6 **140mm acoustic insulation**  
140mm acoustic insulation to internal framed walls.
- 4.2.7 **Ceiling insulation - 220mm**  
R5 220mm ceiling insulation, ensure a 20mm air gap to underside of roofing.
- 4.3.1 **Ply Flooring Substrate**  
17mm Ecoply Flooring Substrate Tongue and Groove, installed as per the manufacturers instructions. Refer to Engineers documents for any diaphragm areas. Install 150mm midfloor acoustic insulation under.
- 4.4.1 **Timber Joinery Stair**  
Main private stair riser 180mm height. Tread 280mm min, including 25mm nosing.
- 4.4.2 **Timber Handrail**  
400 solid timber handrail fixed on Halliday + Baillie HB 520 brackets fixed to wall @ 800 CRS. Provide solid blocking as necessary.
- 4.4.3 **Gib Lined Balustrade**  
Timber framed wall to extend 1m above floor level and pitch of stair to form solid balustrade. Line all sides with 10mm GIB ready for paint finish. Refer to engineers details for structural support.
- 4.4.6 **Internal Cedar Fins**  
50mm thick internal cedar fins at 150ors (width to match wall thickness) adhesive fixed to rails top and bottom. Finish with selected Drydens oil.
- 6.2.1 **Gas Hot Water Unit**  
EF26 Rinnai INFINITY or similar approved instant gas hot water system.

**Building Consent**

Notes:  
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Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

Section I Continued

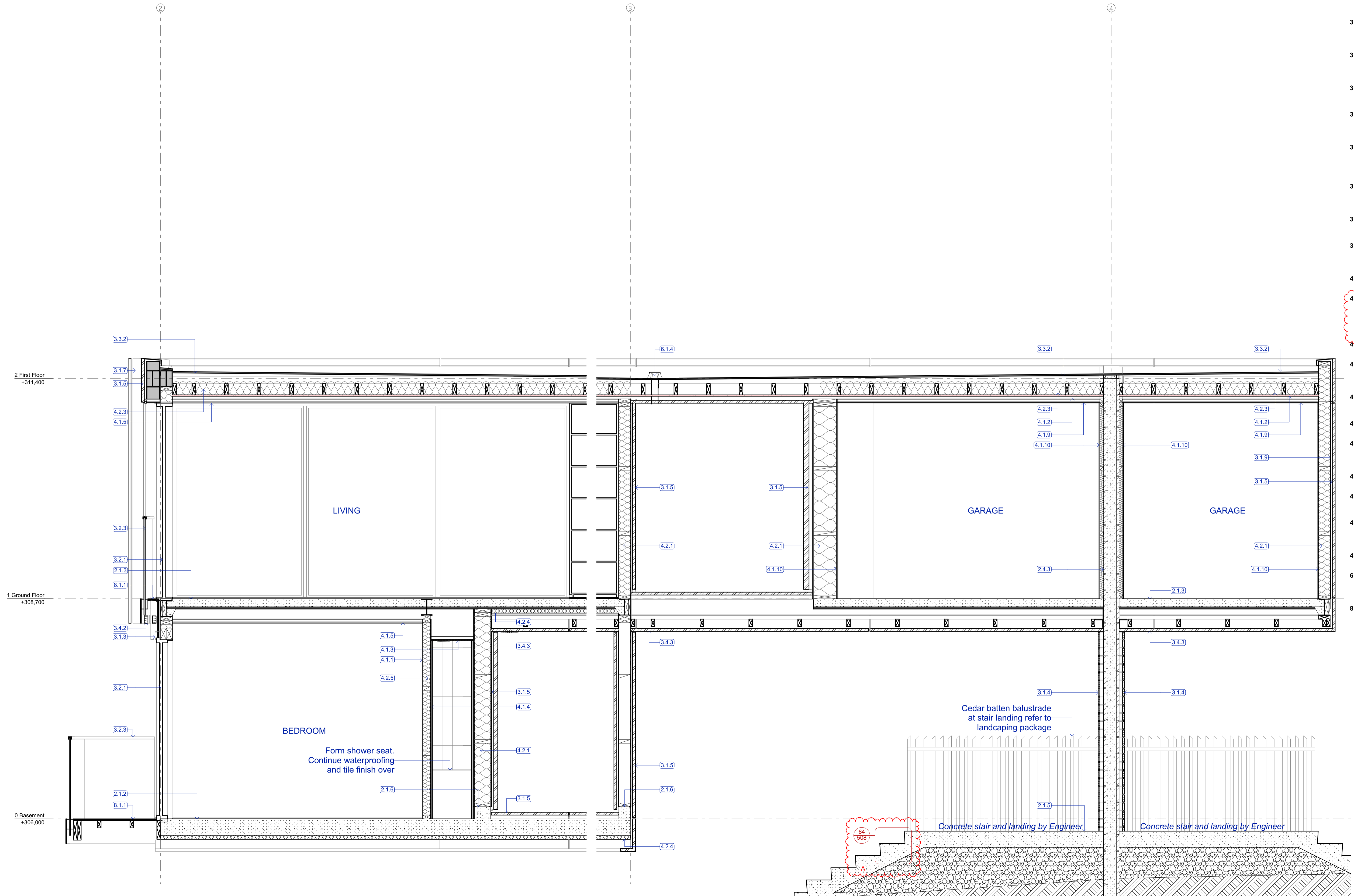
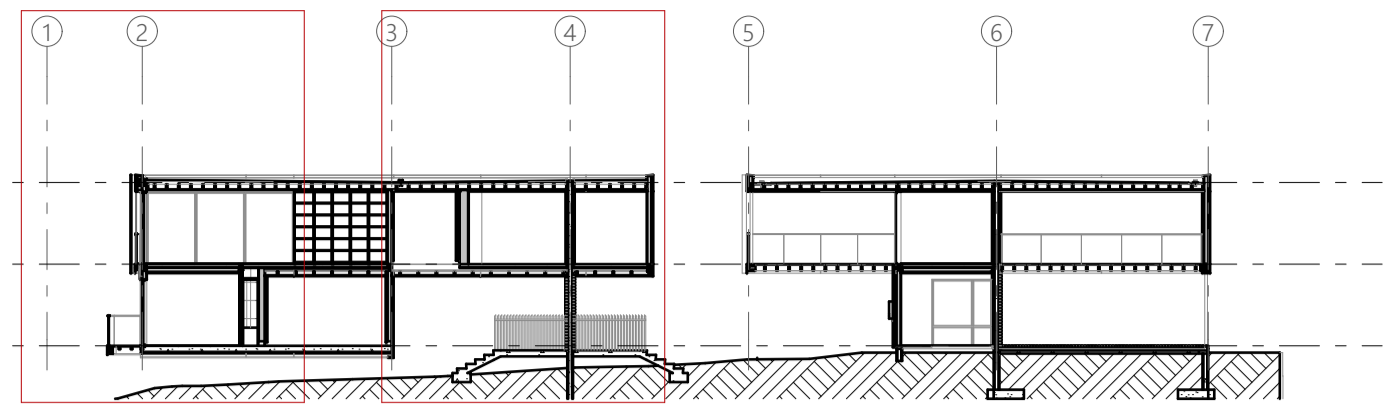
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| Scale @ A1 | 1:25, 1:250 |
| File No.   | R19015      |
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| Revision   | A           |

Sheet No. **413**

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- 2.1.2 **Cantilevered slab**  
Cantilevered 200mm concrete slab with 50mm R2.5 Kingspan Kooltherm K10 G2 Soffit board installed to underside of exposed slab areas to complete thermal envelope. Refer Structural Engineer's documentation.
- 2.1.3 **Stairton floor**  
Stairton rib & infill with 125mm deep ribs and 100mm thick topping. Refer Structural Engineer's documentation.
- 2.1.5 **Precast concrete stair**  
Precast concrete stair. Refer Structural Engineer's documentation.
- 2.1.6 **Concrete rib**  
150mm Concrete rib. Refer Structural Engineer's documentation.
- 2.4.3 **20 Series Concrete Block Wall**  
20 Series concrete block. Refer to Structural Engineer's documentation.
- 3.1.3 **Vertical Cedar Batten**  
Vertical 40x40 cedar batten rainscreen @ 100c/s over 45mm H3.2 cavity battens (painted out black) over Titan Facade panel cladding system on 70x19mm CLD structural cavity batten. Finish with selected Drydens oil.
- 3.1.4 **Horizontal Cedar Batten**  
Horizontal 60x20 cedar batten over 45mm H3.2 cavity battens (painted out black) over Concrete block walls. Finish with selected Drydens oil.
- 3.1.5 **Cudoclad Alpolic FR**  
Cudoclad Alpolic FR composite aluminium cladding system installed by qualified installers in accordance with the manufacturers documents.
- 3.1.7 **Louvre**  
140x10mm powdercoated steel flat screw fixed both sides of 90x45 timber LVL post. Post fixed at top and bottom. Refer to Structural Engineer's documentation.
- 3.1.9 **Rigid Air Barrier**  
7mm Ecoply barrier system, fixed in accordance with manufacturer's instructions including all taped junctions.
- 3.2.1 **Aluminium windows and doors**  
Vantage Pacific Thermal System aluminium joinery. Double glazed IGUs with Argon gas and Low E coating. Powdercoat finish to aluminium members.
- 3.2.3 **External Glass Balustrade**  
Metro 12mm Monolithic TEMPAFLOAT glass on Posiglaze PG120S Hardware System. Toughened with S25 interlinking capping rail to top. Refer to Metro glass details/PS1 for further information.
- 3.3.2 **Torch-on membrane**  
Viking Torch-on Lyra SBS Waterproofing membrane installed in accordance with the product manual. Over 17mm H3.2 CCA treated plywood supported at 400c/s.
- 3.4.2 **Timber battens**  
Decorative 90x45 timber battens fixed to underside of deck framing battens spaced @ 145 C/S. Selected drydens oil finish.
- 3.4.3 **Cudoclad Alpolic FR Soffit**  
Cudoclad Alpolic FR composite aluminium cladding system installed by qualified installers in accordance with the manufacturers documents.
- 4.1.1 **GIB wall lining**  
10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish.
- 4.1.2 **GIB Fyreline ceiling lining**  
10mm GIB Fyreline ceiling lining installed in accordance with GIB Fire Rated Systems Manual GBLUC 30. Over Rondo 308 metal batten or direct fixed to timber gutter framing. All fixings as per structural diaphragm requirements.
- 4.1.3 **GIB Aqualine (Painted)**  
13mm GIB Aqualine stopped smooth to level 4 finish ready for painted finish.
- 4.1.4 **GIB Aqualine (Tiled)**  
Selected wall tiles bedded on Ardex Abaflex or Ardex X56 tile adhesive over Ardex WPM002 waterproof membrane, over 10mm GIB Aqualine.
- 4.1.5 **GIB ceiling lining**  
15mm GIB standard lining on Rondo battens. Stop smooth to level 4 finish to receive paint finish.
- 4.1.9 **Ceiling Ply lining**  
12mm ply ceiling lining adhesive and brad fixed with selected oil finish.
- 4.1.10 **Wall Ply lining**  
9mm ply wall lining adhesive and brad fixed with selected oil finish.
- 4.2.1 **140mm insulation**  
Min. R4.0 140mm thick exterior wall insulation.
- 4.2.3 **Ceiling insulation - 165mm**  
R3.6 165mm ceiling insulation for tight areas, ensure a 25mm air gap to underside of roofing.
- 4.2.4 **K10 G2 Soffit Board**  
50mm R2.5 Kingspan Kooltherm K10 G2 Soffit board installed to underside of exposed slab areas to complete thermal envelope.
- 4.2.5 **90mm acoustic insulation**  
90mm acoustic insulation to internal framed walls.
- 6.1.4 **Overflow Drain**  
Viking Roofspec 80mm clamped overflow drain SDM049 with 304 S/S domed grate, installed as per manufacturers instructions. Overflow outlet to extend 10mm below soffit walls.
- 8.1.1 **Decking**  
Selected 19 x 90mm Hardwood decking with oil finish or composite decking board. Over timber framed structure refer to engineers details.

**Building Consent**

Notes:  
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Chalmers Street  
 Apartments  
 20 Chalmers Street  
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Section J

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|------------|-------------|
| Scale @ A1 | 1:25, 1:250 |
| File No.   | R19015      |
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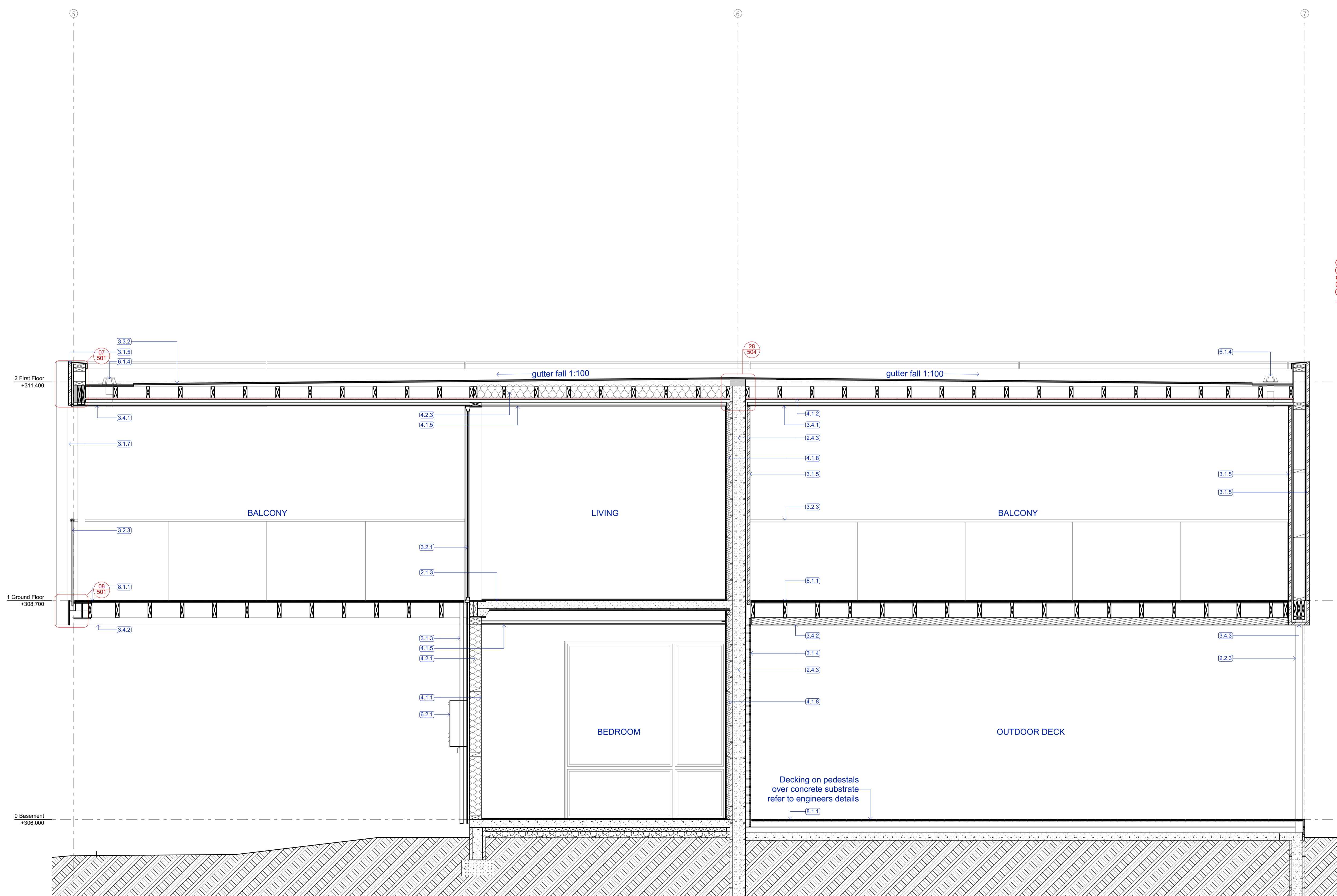
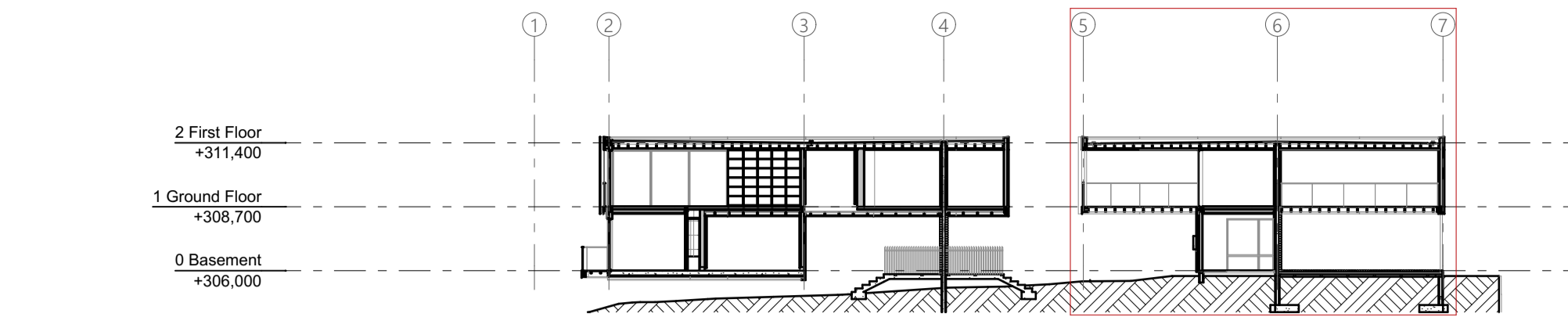
Sheet No. **414**

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- 2.1.3 **Stahlton floor**  
Stahlton rib & infill with 125mm deep ribs and 100mm thick topping. Refer Structural Engineer's documentation.
- 2.2.3 **SHS 89x89**  
89x89 SHS. Refer to Structural Engineer's documentation. Refer to Specification for paint finish where steelwork is exposed. Ensure separation layer to timber where packing proposed.
- 2.4.3 **20 Series Concrete Block Wall**  
20 Series concrete block. Refer to Structural Engineer's documentation.
- 3.1.3 **Vertical Cedar Batten**  
Vertical 40x40 cedar batten rainscreen @ 100c/s over 45mm H3.2 cavity battens (painted out black) over Titan Facade panel cladding system on 70x19mm CLD structural cavity batten. Finish with selected Drydens oil.
- 3.1.4 **Horizontal Cedar Batten**  
Horizontal 60x20 cedar batten over 45mm H3.2 cavity battens (painted out black) over Concrete block walls. Finish with selected Drydens oil.
- 3.1.5 **Cudoclad Alpolic FR**  
Cudoclad Alpolic FR composite aluminium cladding system installed by qualified installers in accordance with the manufacturers documents.
- 3.1.7 **Louvre**  
140x10mm powdercoated steel flat screw fixed both sides of 90x45 timber LVL post. Post fixed at top and bottom. Refer to Structural Engineer's documentation.
- 3.2.1 **Aluminium windows and doors**  
Vantage Pacific Thermal System aluminium joinery. Double glazed IGUs with Argon gas and Low E coating. Powdercoat finish to aluminium members.
- 3.2.3 **External Glass Balustrade**  
Metro 12mm Monoethic TEMPAFLOAT glass on Posiglaze PG120S Hardware System. Toughened with S25 interlinking capping nail to top. Refer to Metro glass details/PS1 for further information.
- 3.3.2 **Torch-on membrane**  
Viking Torch-on Lytra SBS Waterproofing membrane installed in accordance with the product manual. Over 17mm H3.2 CCA treated plywood supported at 400c/s.
- 3.4.1 **Grooved ply soffit**  
Ecoply 12mm H3.1 LOSP Grooved soffit lining with over timber framing in accordance with manufacturers documents. Refer to Finishes Schedule for paint finish.
- 3.4.2 **Timber battens**  
Decorative 90x45 timber battens fixed to underside of deck framing battens spaced @ 145 CRS. Selected drydens oil finish.
- 3.4.3 **Cudoclad Alpolic FR Soffit**  
Cudoclad Alpolic FR composite aluminium cladding system installed by qualified installers in accordance with the manufacturers documents.
- 4.1.1 **GIB wall lining**  
10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish.
- 4.1.2 **GIB Fyreline ceiling lining**  
16mm GIB Fyreline ceiling lining installed in accordance with GIB Fire Rated Systems Manual GBUC 30. Over Rondo 308 metal batten or direct fixed to timber gutter framing. All fixings as per structural diaphragm requirements.
- 4.1.5 **GIB ceiling lining**  
12mm GIB standard lining on Rondo battens. Stop smooth to level 4 finish to receive paint finish.
- 4.1.8 **45mm Stap and line**  
45mm timber strapping with 10mm GIB standard lining stopped smooth to level 4 finish to receive paint finish. Insulate with R1.2 50mm Masonry batts between strapping.  
Min. R4.0 140mm thick exterior wall insulation.
- 4.2.1 **140mm insulation**  
Min. R4.0 140mm thick exterior wall insulation.
- 4.2.3 **Ceiling insulation - 165mm**  
R3.6 165mm ceiling insulation for tight areas, ensure a 25mm air gap to underside of roofing.
- 6.1.4 **Overflow Drain**  
Viking Roofspec 80mm clamped overflow drain SDM049 with 304 S/S domed grate, installed as per manufacturers instructions. Overflow outlet to extend 10mm below soffit.
- 6.2.1 **Gas Hot Water Unit**  
EF26 Rmaia INFINITY or similar approved instant gas hot water system.
- 8.1.1 **Decking**  
Selected 19 x 90mm Hardwood decking with oil finish or composite decking board. Over timber framed structure refer to engineers details.

**Building Consent**

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604 2011 and the New Zealand Building Code.

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| Scale @ A1 | 1:25, 1:250 |
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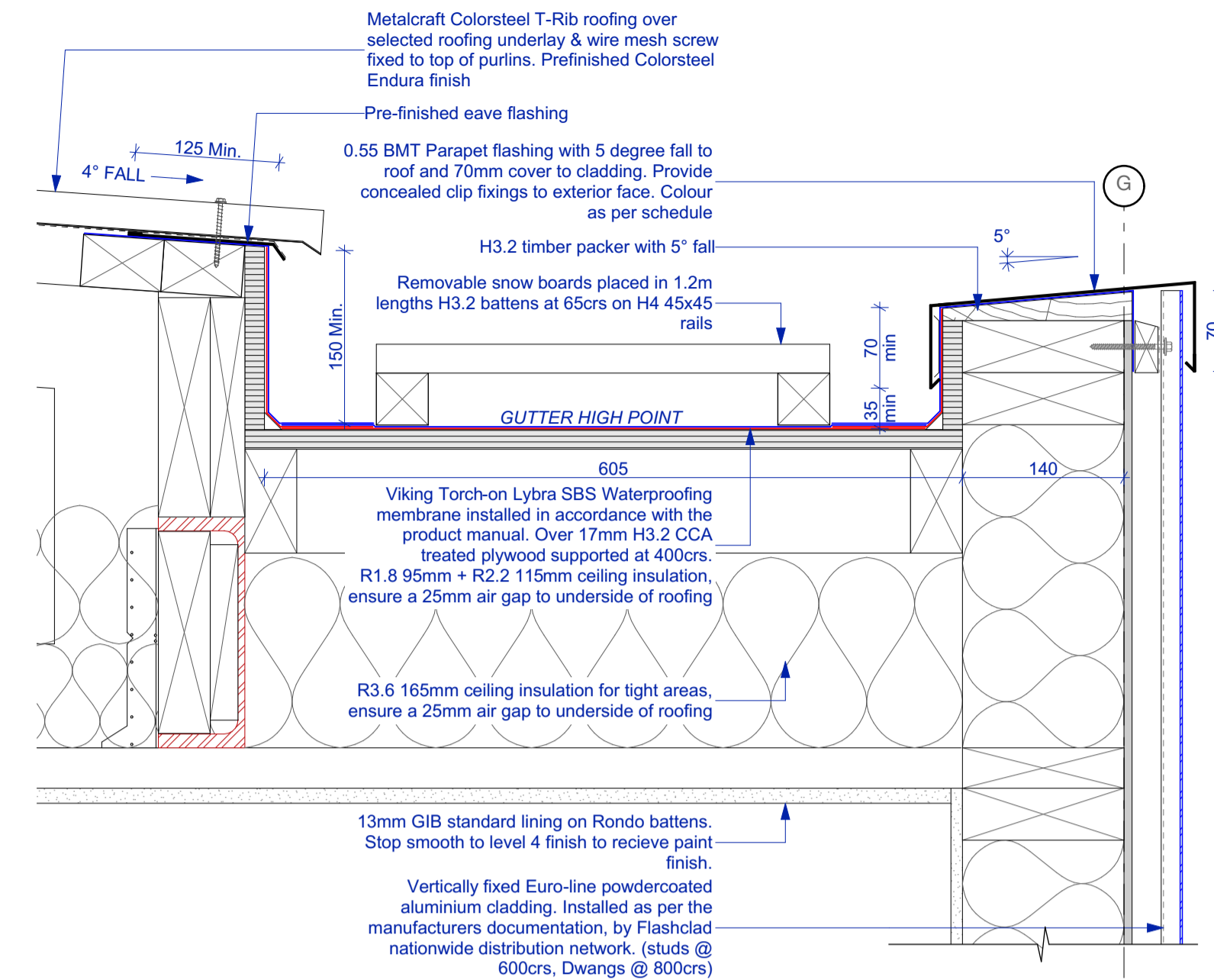
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 173 St Asaph Street  
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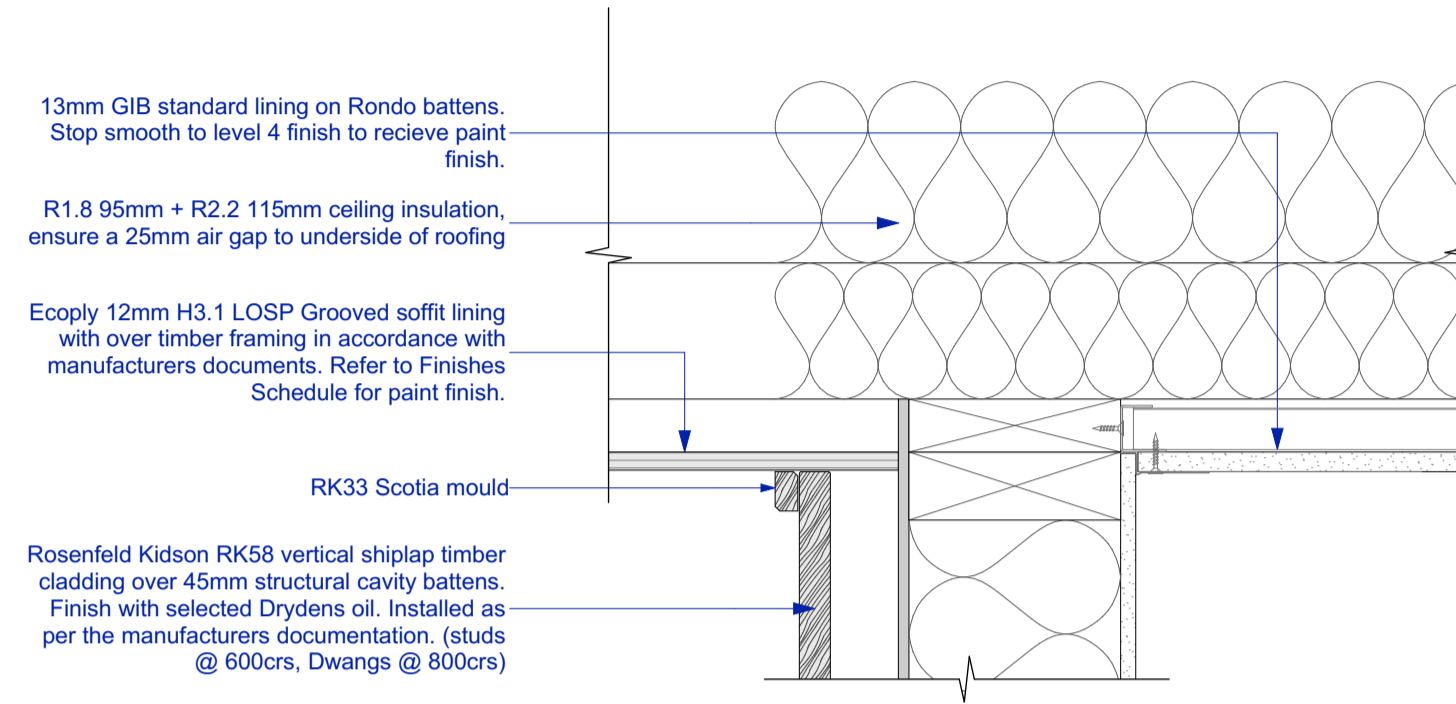
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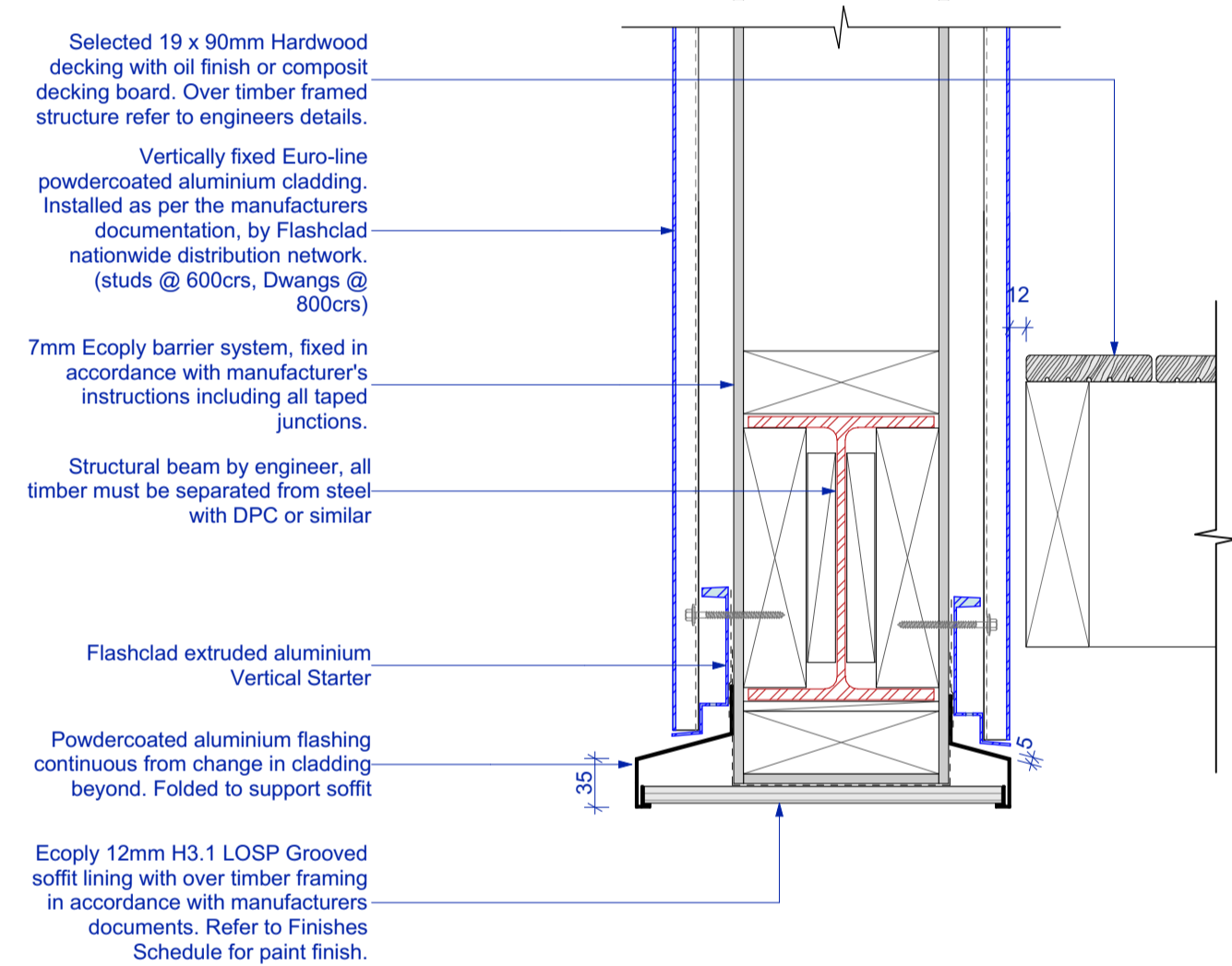
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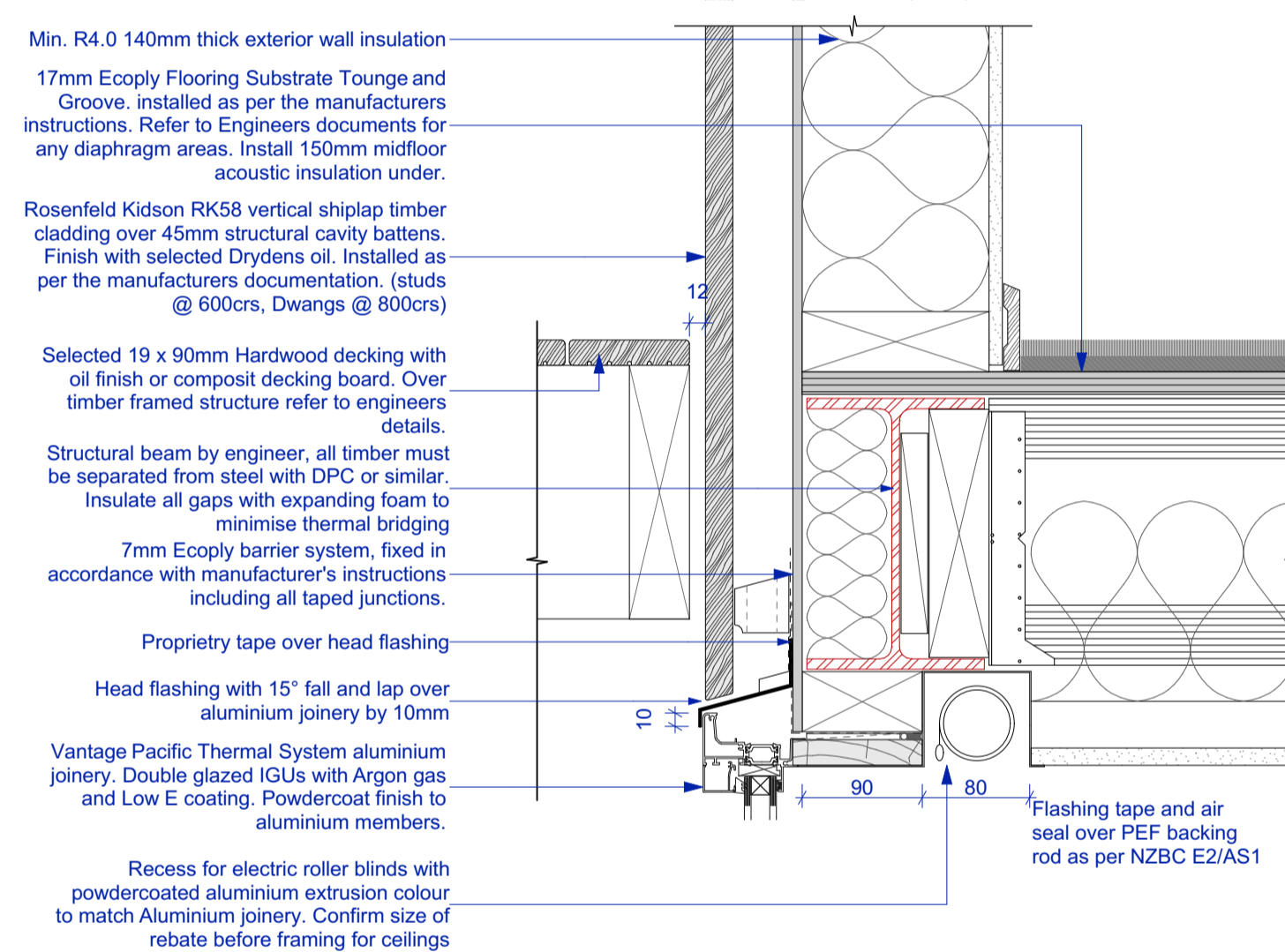
14 Parapet/Internal gutter  
 401 Scale 1:5



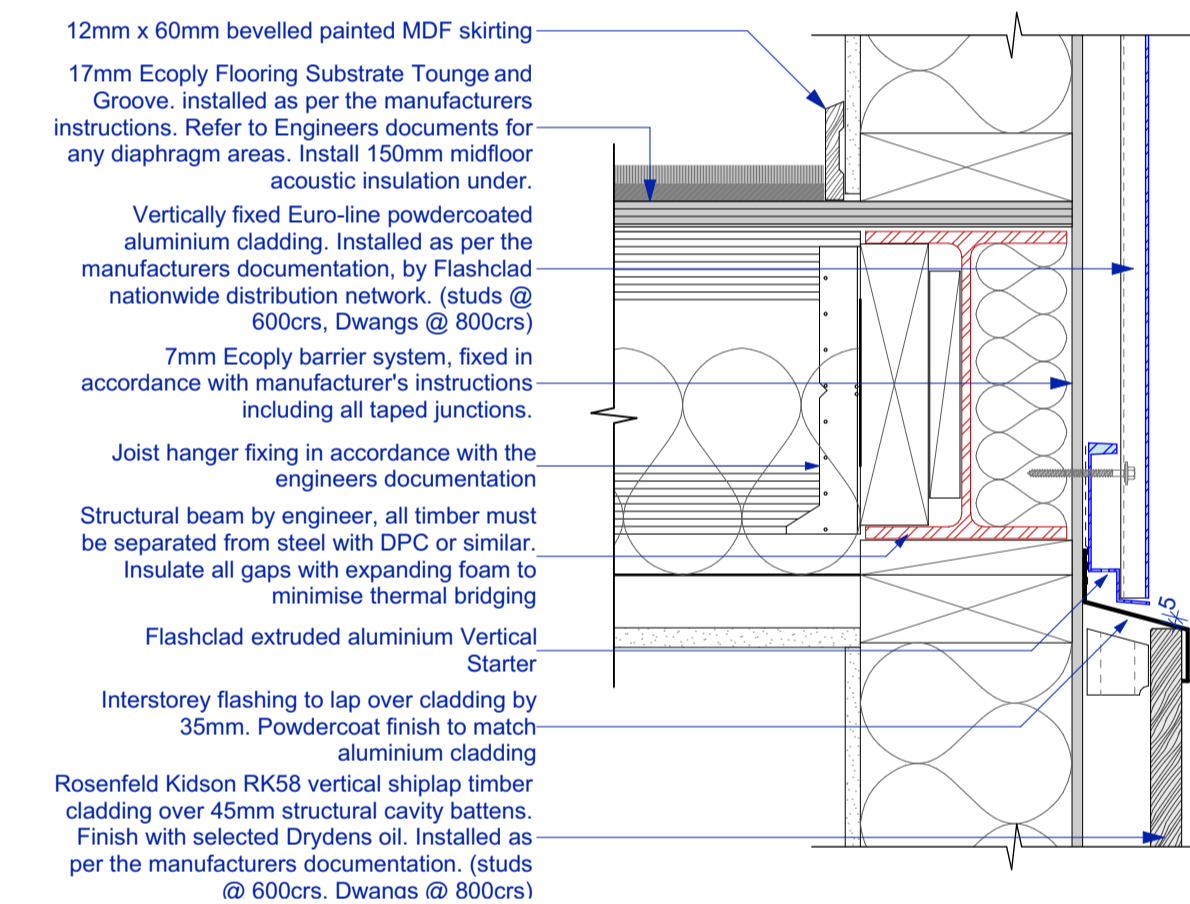
11 Vert. Shiplap to Soffit  
 401 Scale 1:5



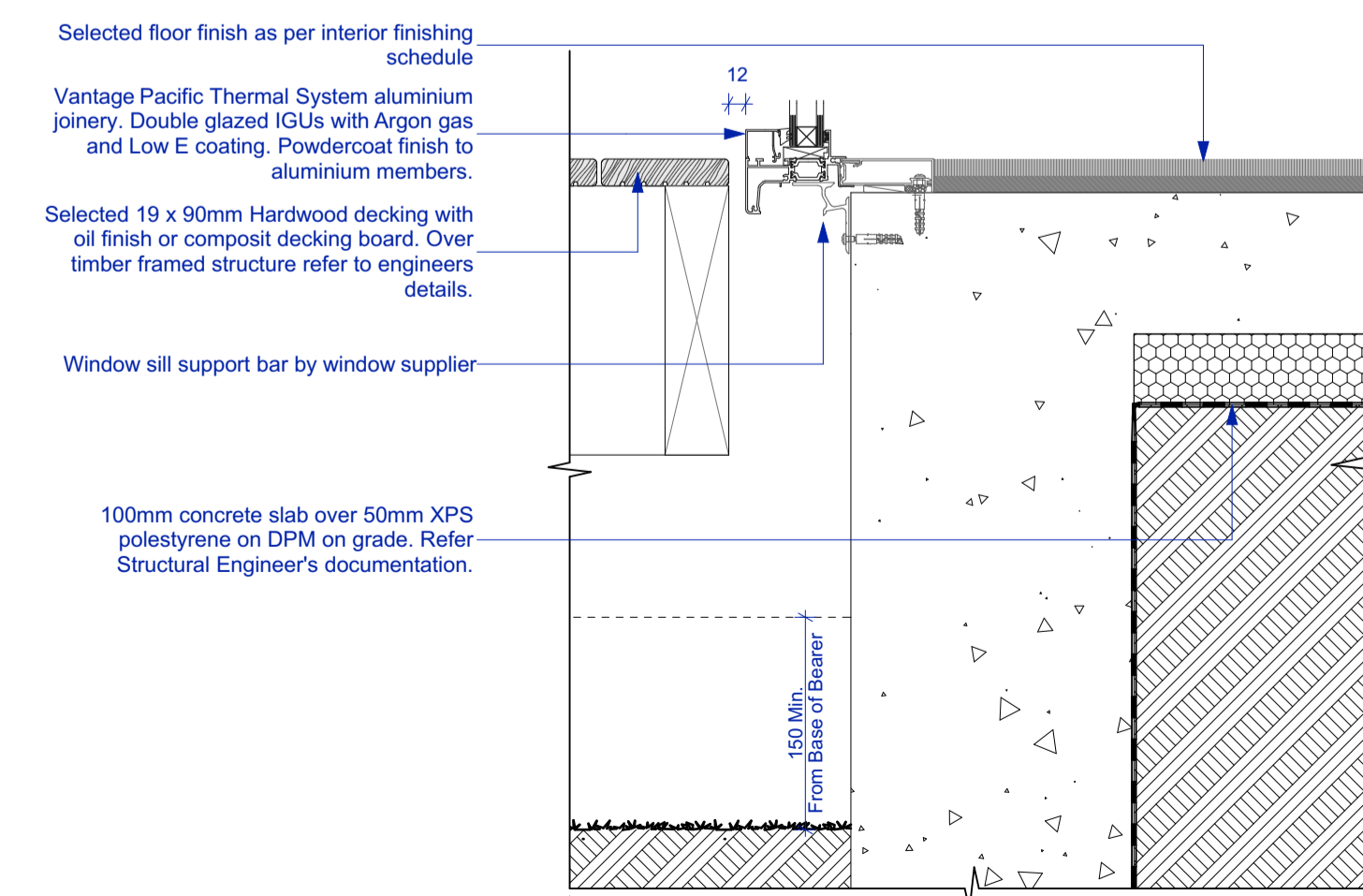
10 Steel Support Cladding Base  
 401 Scale 1:5



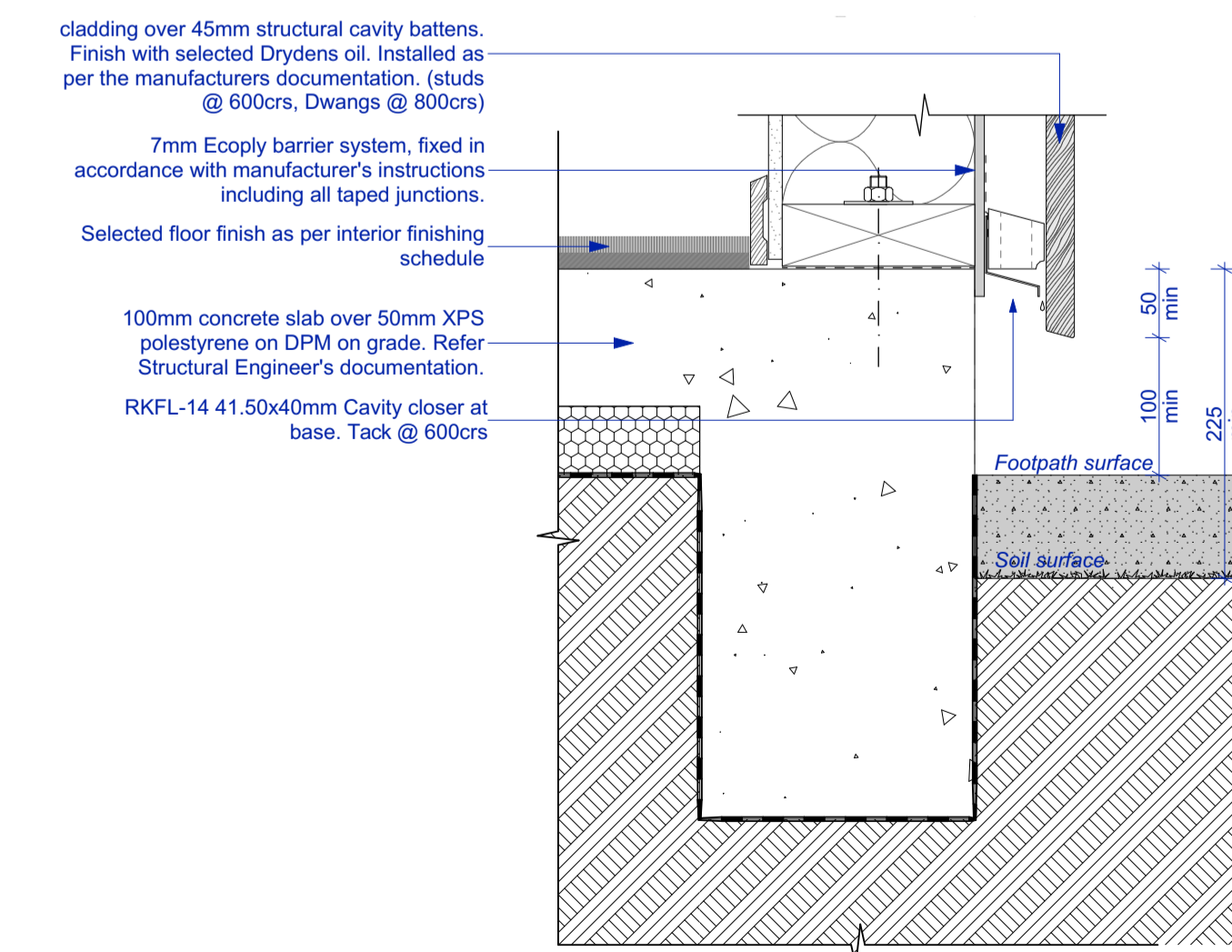
12 Deck to Inter-story Floor  
 401 Scale 1:5



15 Vertical Cladding Change  
 401 Scale 1:5



13 Deck to Window Base  
 401 Scale 1:5



16 Vert. Shiplap Base  
 401 Scale 1:5

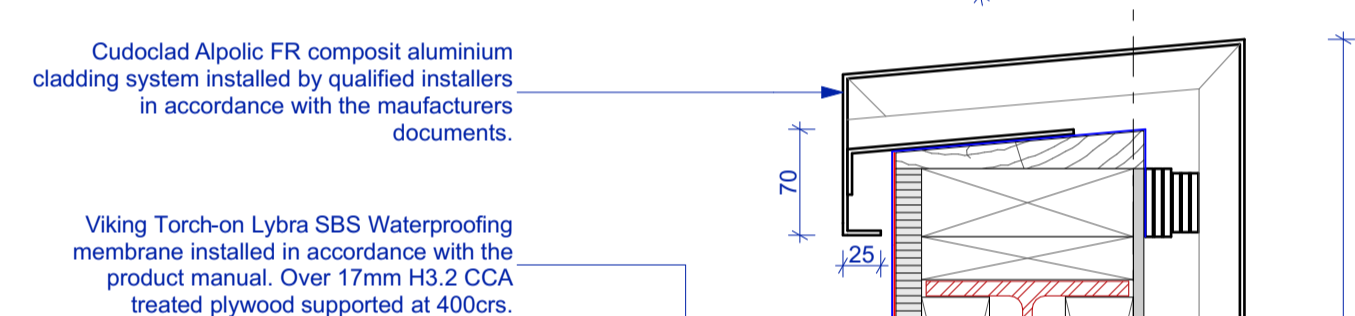




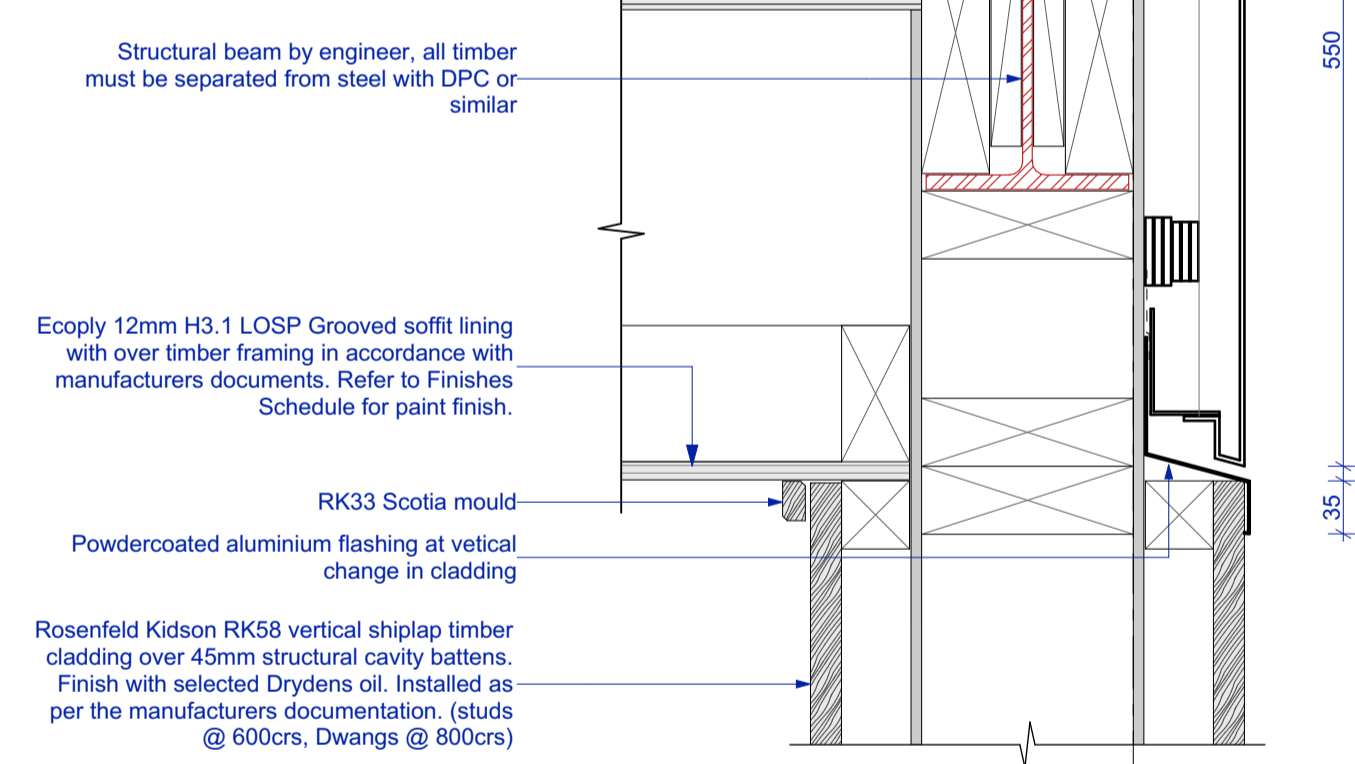
**17 Parapet band to vert. shiplap**  
 402 Scale 1:5



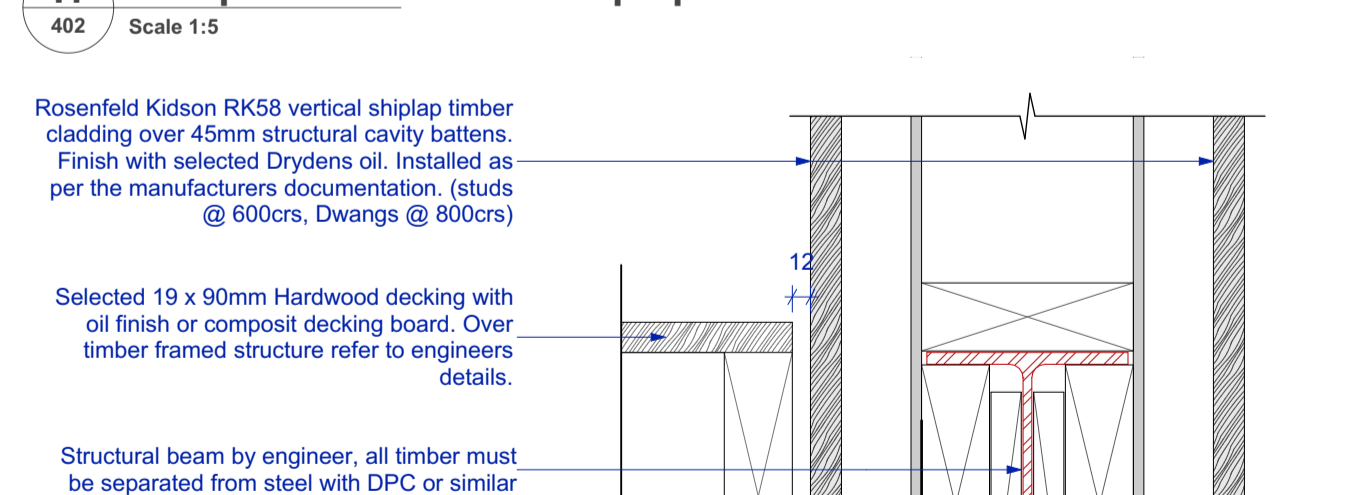
**18 Steel Support Cladding Base**  
 402 Scale 1:5



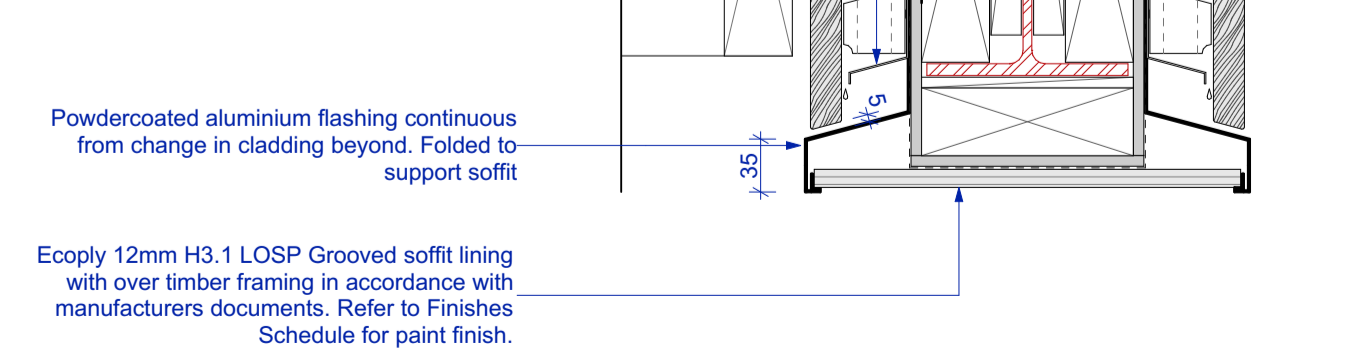
**19 Vert. Shiplap over Block**  
 402 Scale 1:5



**20 Flashclad External Corner**  
 206 Scale 1:5



**21 Flashclad Window Head**  
 Scale 1:5



**22 Flashclad Window Sill**  
 Scale 1:5



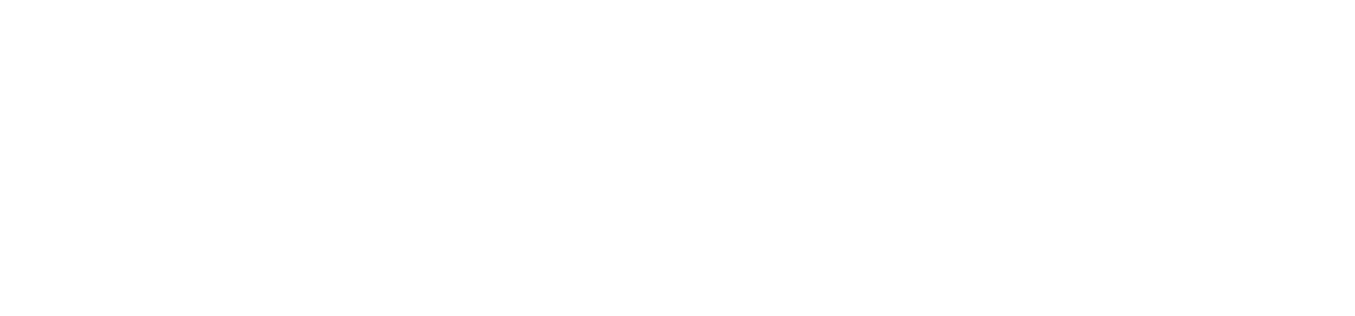
**23 Flashclad Window Jamb**  
 206 Scale 1:5



**24 Flashclad Window Jamb with Corner Frame**  
 206 Scale 1:5



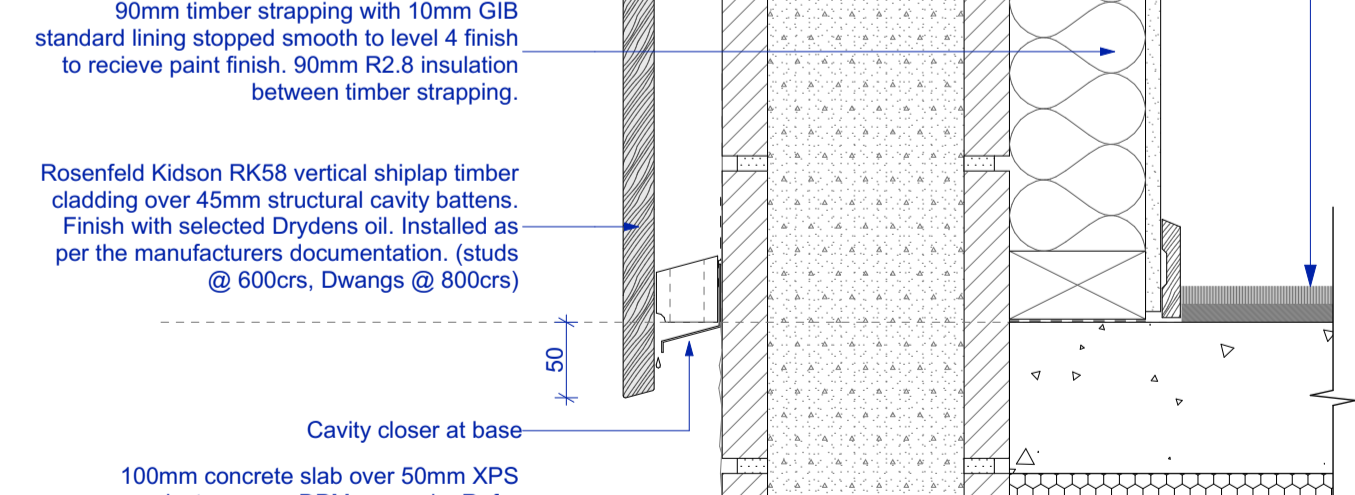
**25 Flashclad Window Head with Frame**  
 402 Scale 1:5



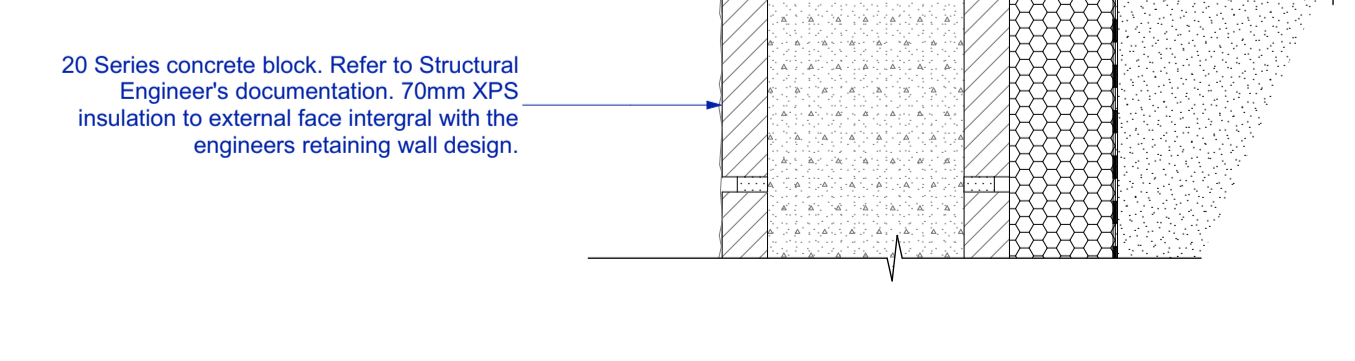
**26 Flashclad Window Sill with Frame**  
 402 Scale 1:5



**27 Flashclad Window Jamb with Frame**  
 206 Scale 1:5



**28 Flashclad Window Jamb with Frame**  
 206 Scale 1:5



**29 Flashclad Window Jamb with Frame**  
 206 Scale 1:5



**30 Flashclad Window Jamb with Frame**  
 206 Scale 1:5

**Building Consent**

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604 2011 and the New Zealand Building Code.

Rev. Code Issue  
 1 16/04/2021 Building Consent Issue



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

**Details**

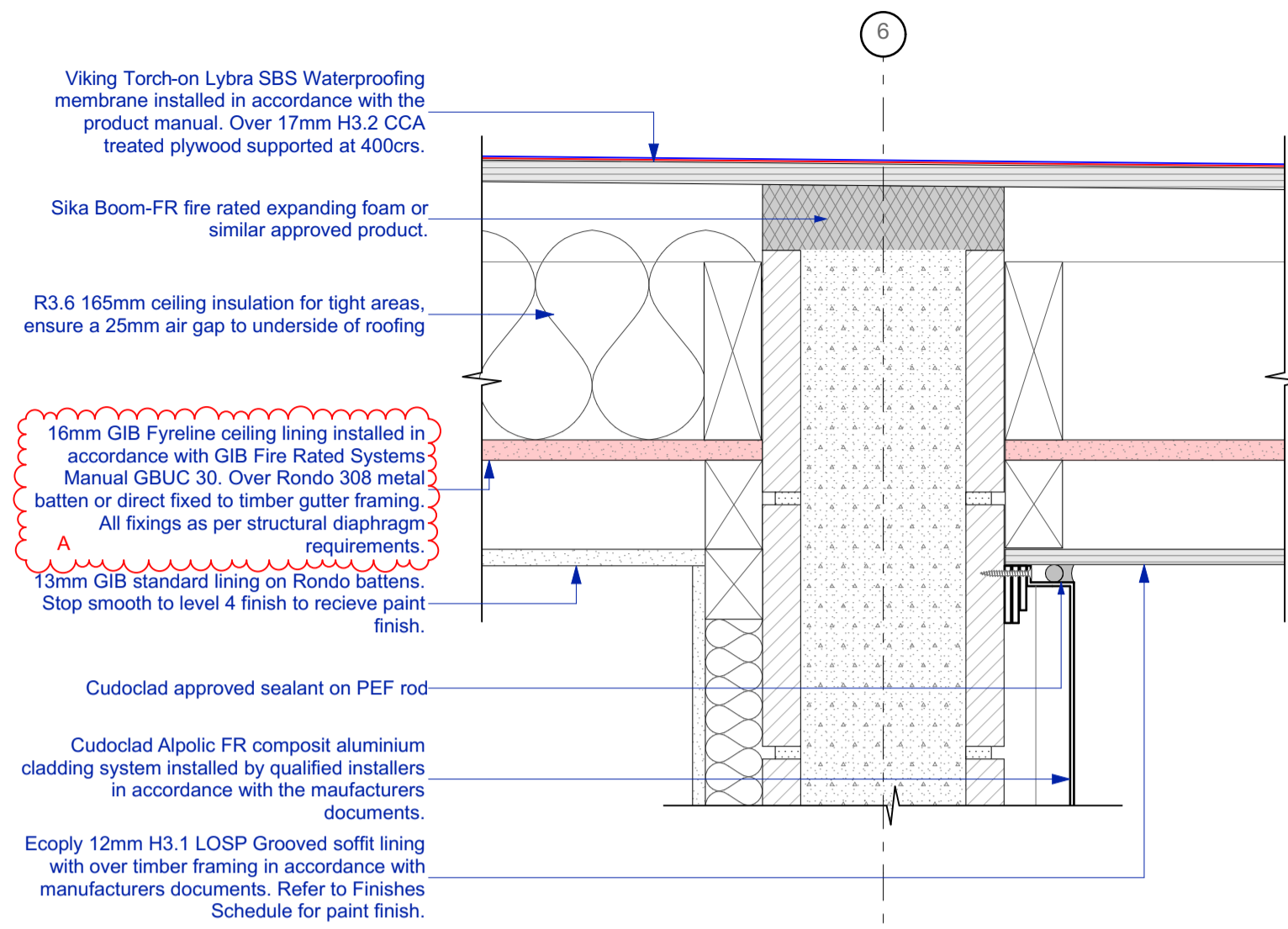
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| File No.   | R19015    |
| Date       | 9/06/2021 |
| Revision   | -         |

Sheet No. **503**

Three Sixty Architects Limited  
 Level 1, The Yard  
 173 St Asaph Street  
 Christchurch 8140

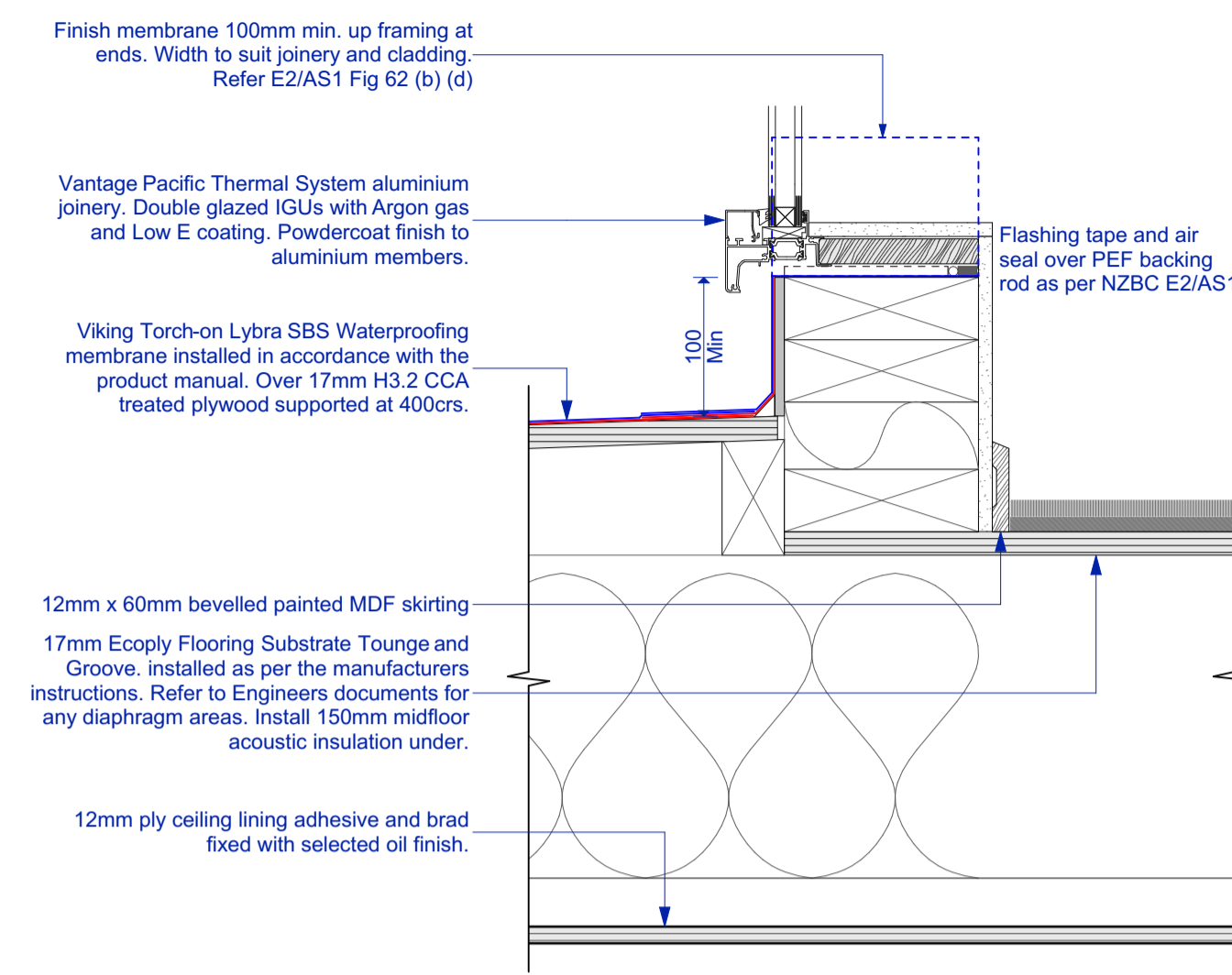
t: 03 366 3349

office@threesixtyarch.co.nz  
 www.threesixtyarch.co.nz



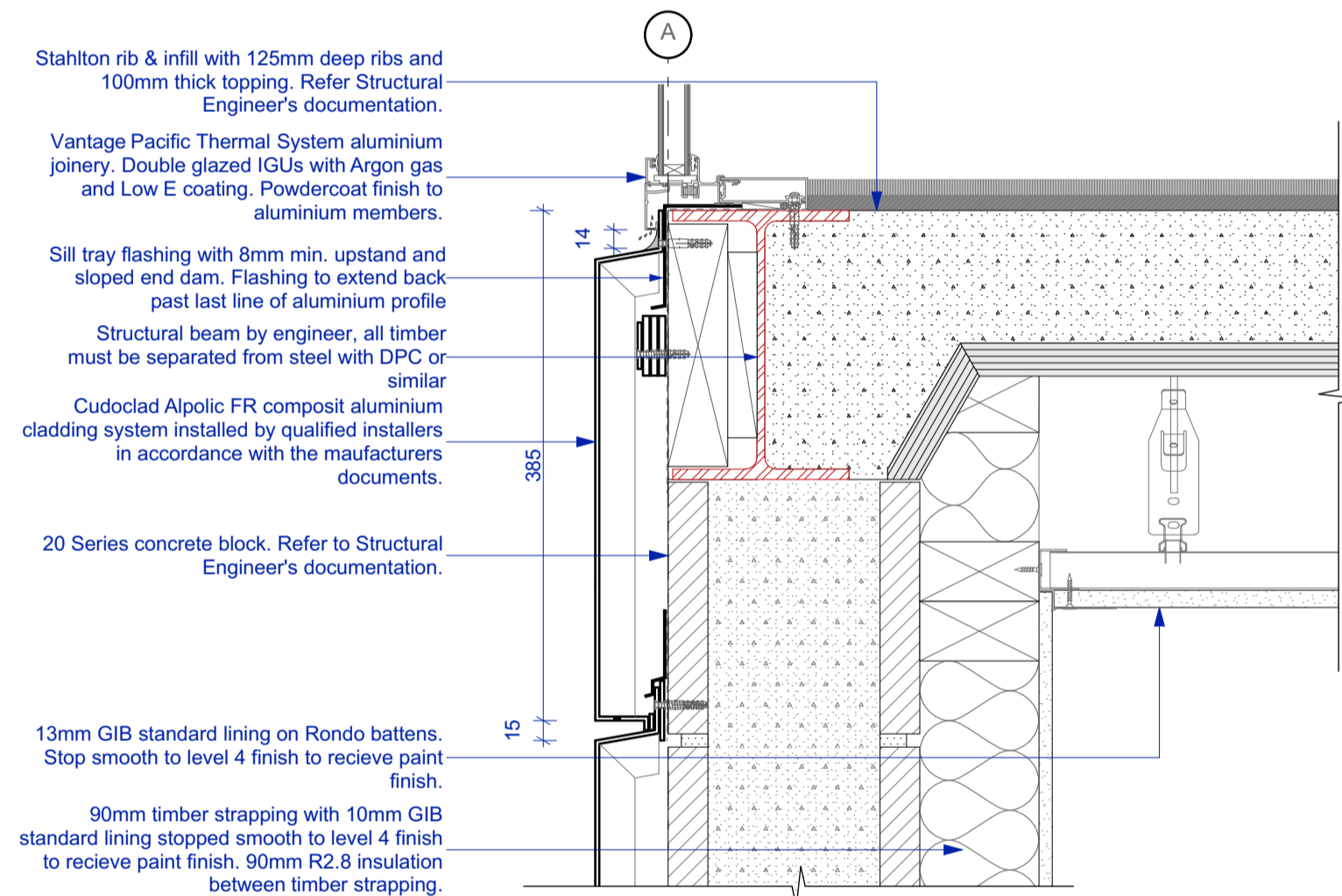
28 Blockwall top sealant

415 Scale 1:5



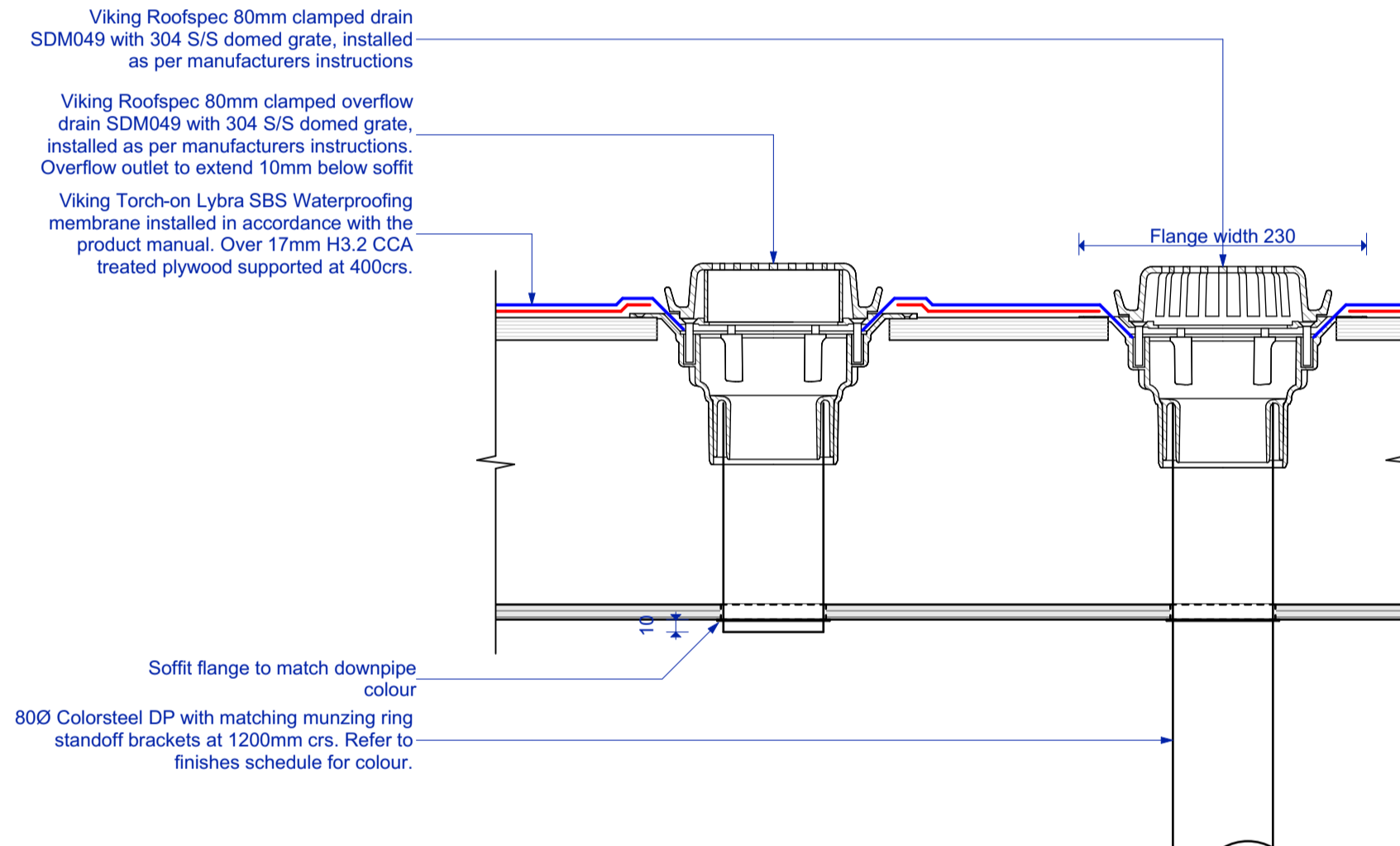
33 Window Sill to membrane roof

411 Scale 1:5



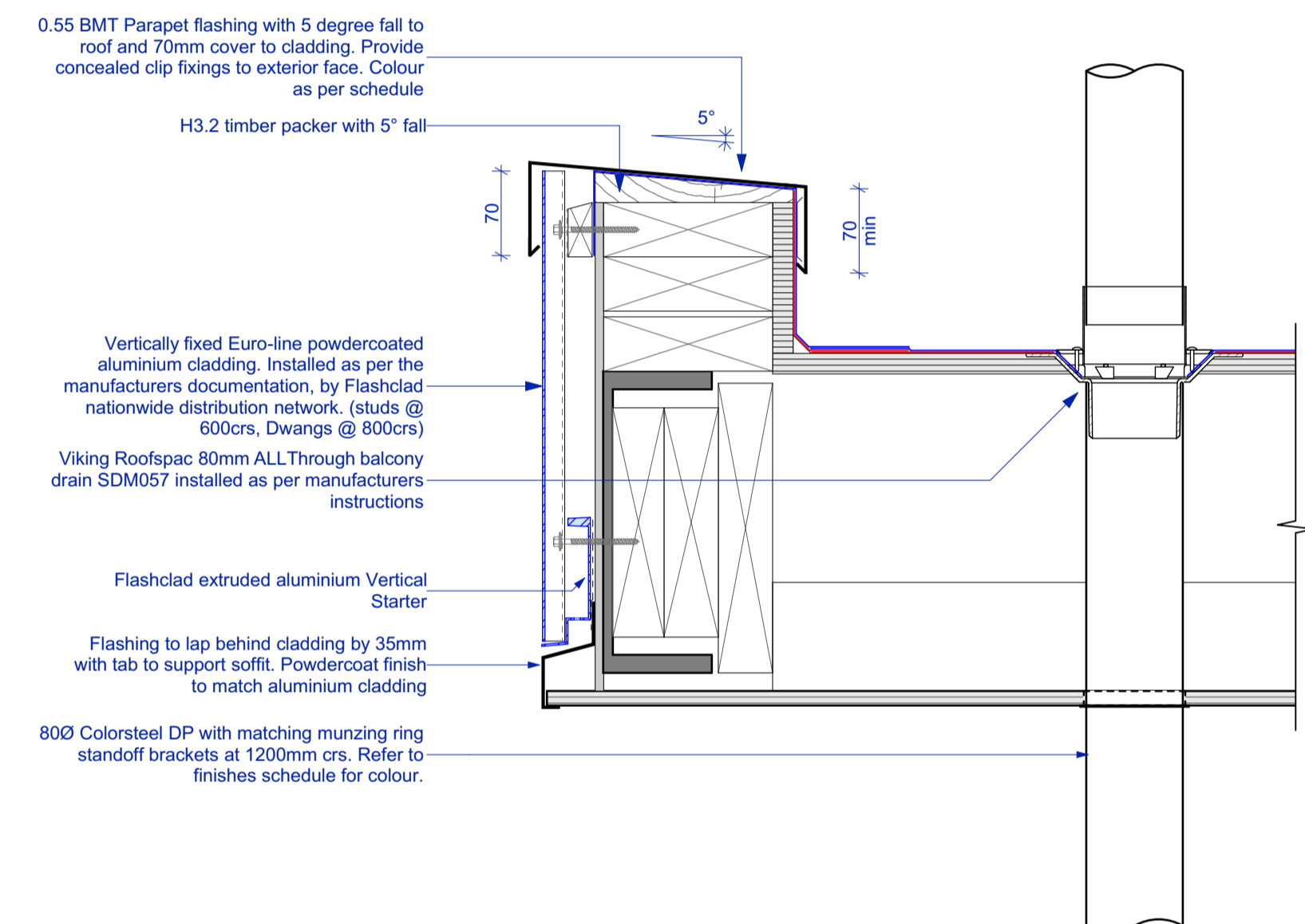
29 Composite Window Sill

403 Scale 1:5



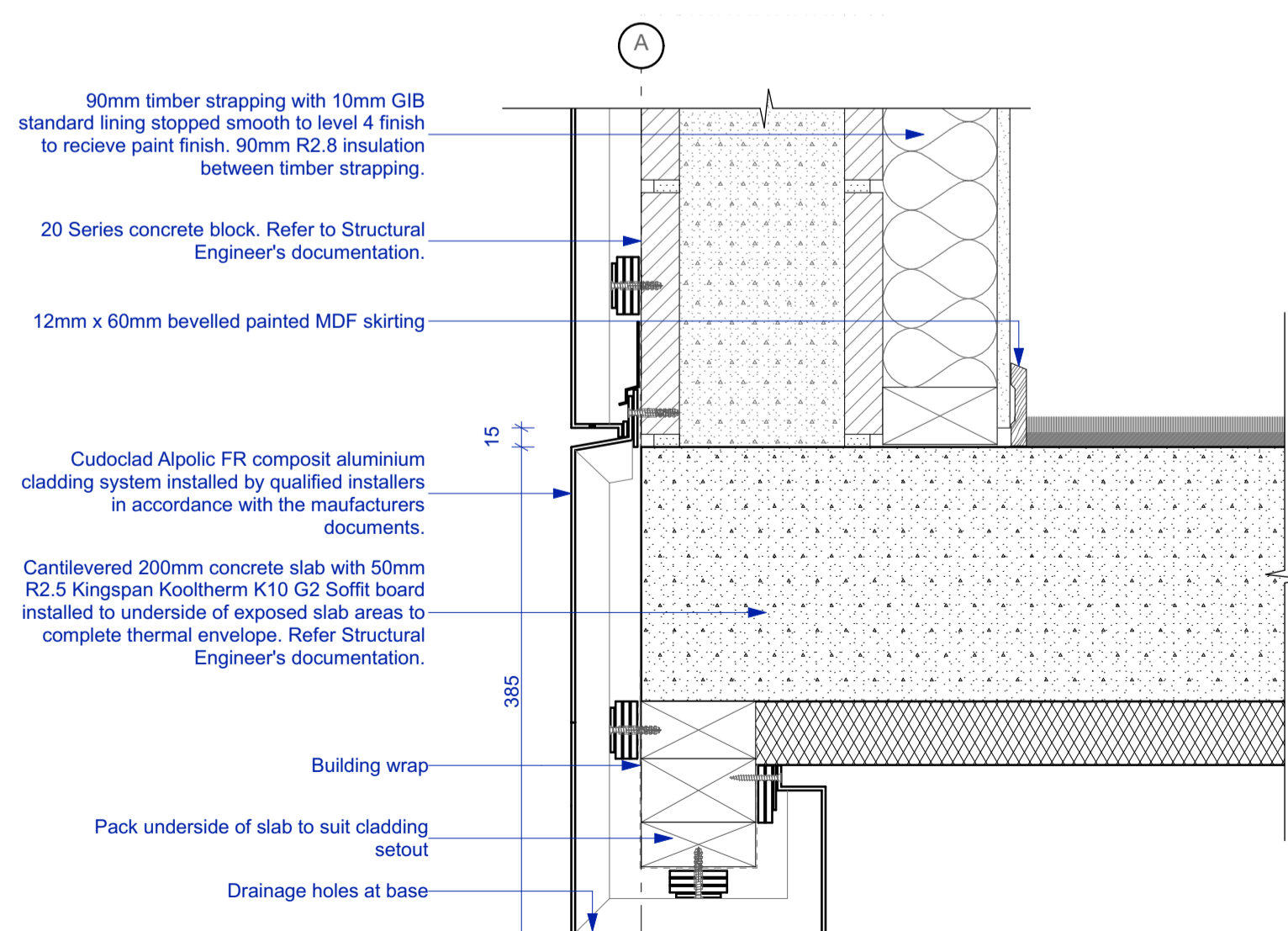
31 Roof drain and overflow

410 Scale 1:5



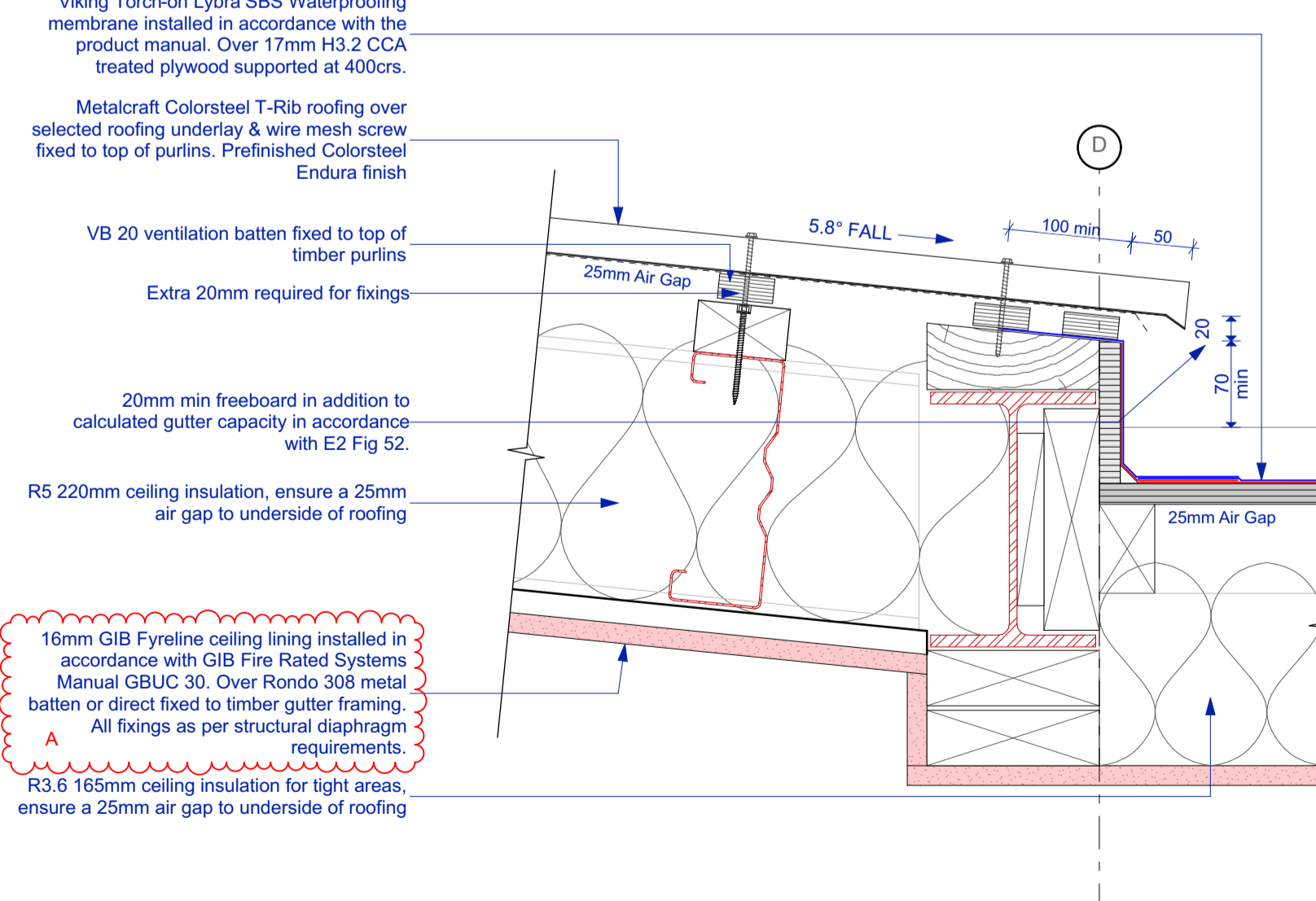
34 All through drain

411 Scale 1:5



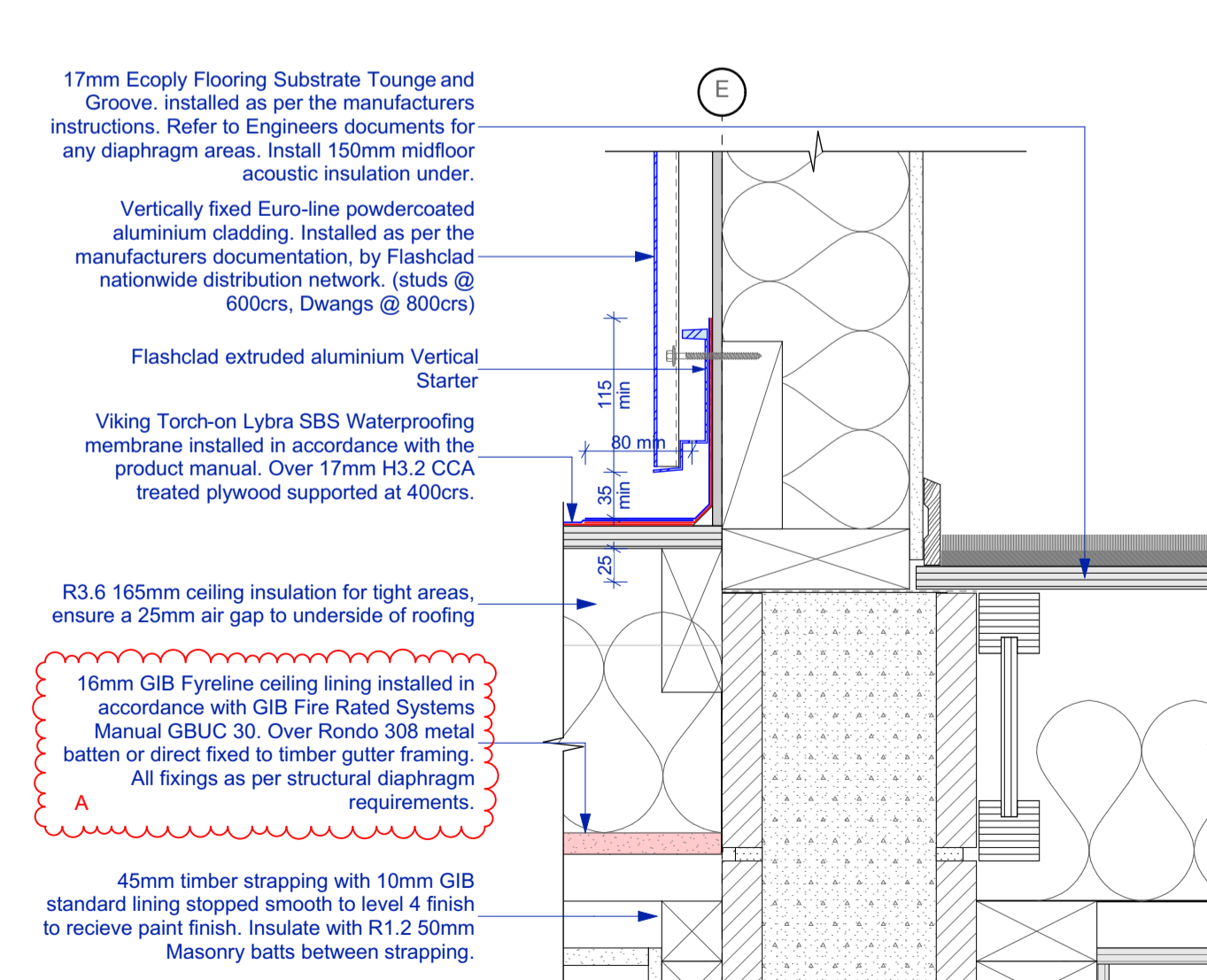
30 Exposed slab base

403 Scale 1:5



32 Colorsteel to membrane roof

403 Scale 1:5



35 Membrane Roof Apron

403 Scale 1:5

Three Sixty Architecture



Chalmers Street Apartments  
 20 Chalmers Street  
 Wanaka

Details

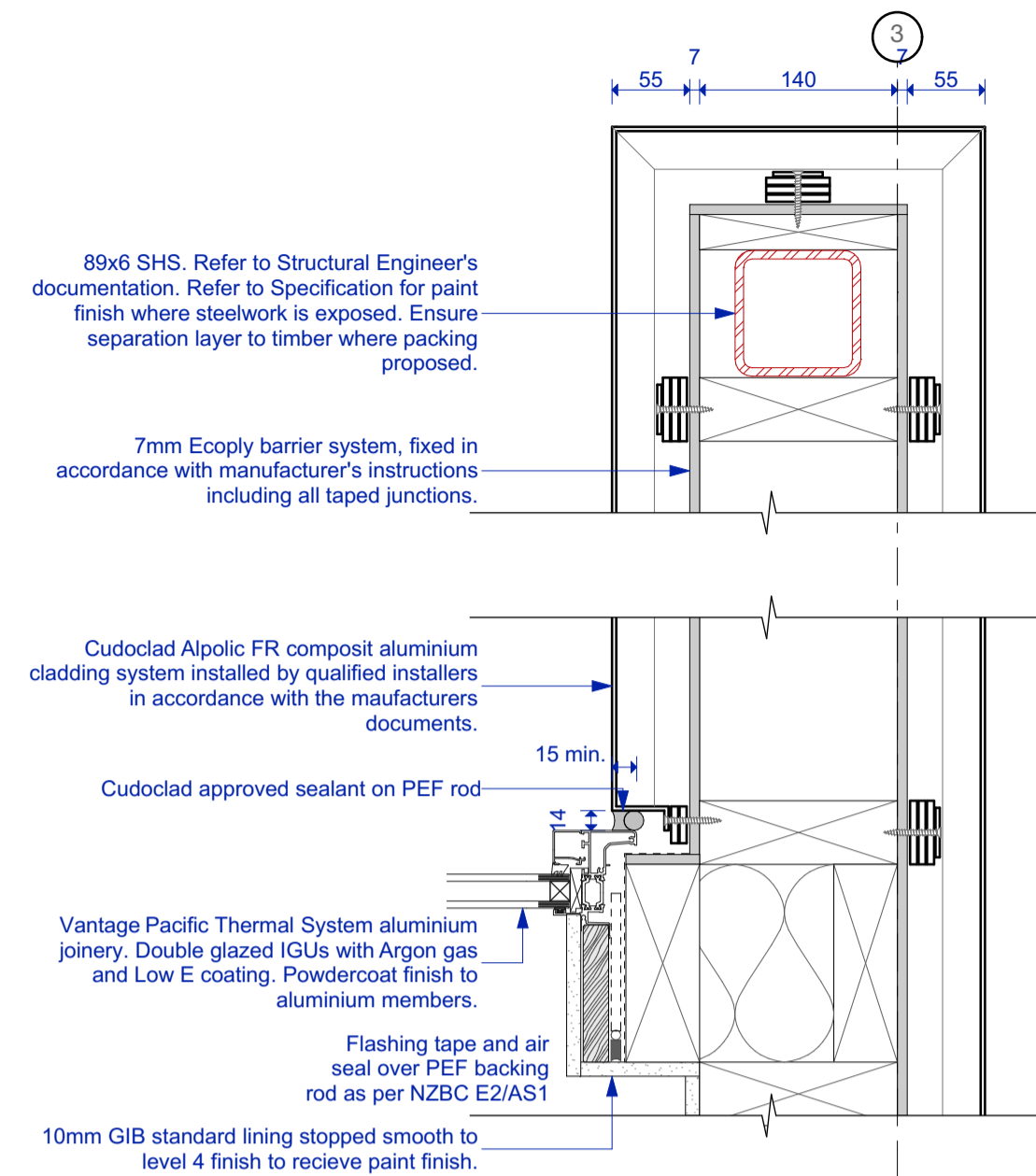
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| File No.   | R19015    |
| Date       | 9/06/2021 |
| Revision   | A         |

Sheet No. **504**

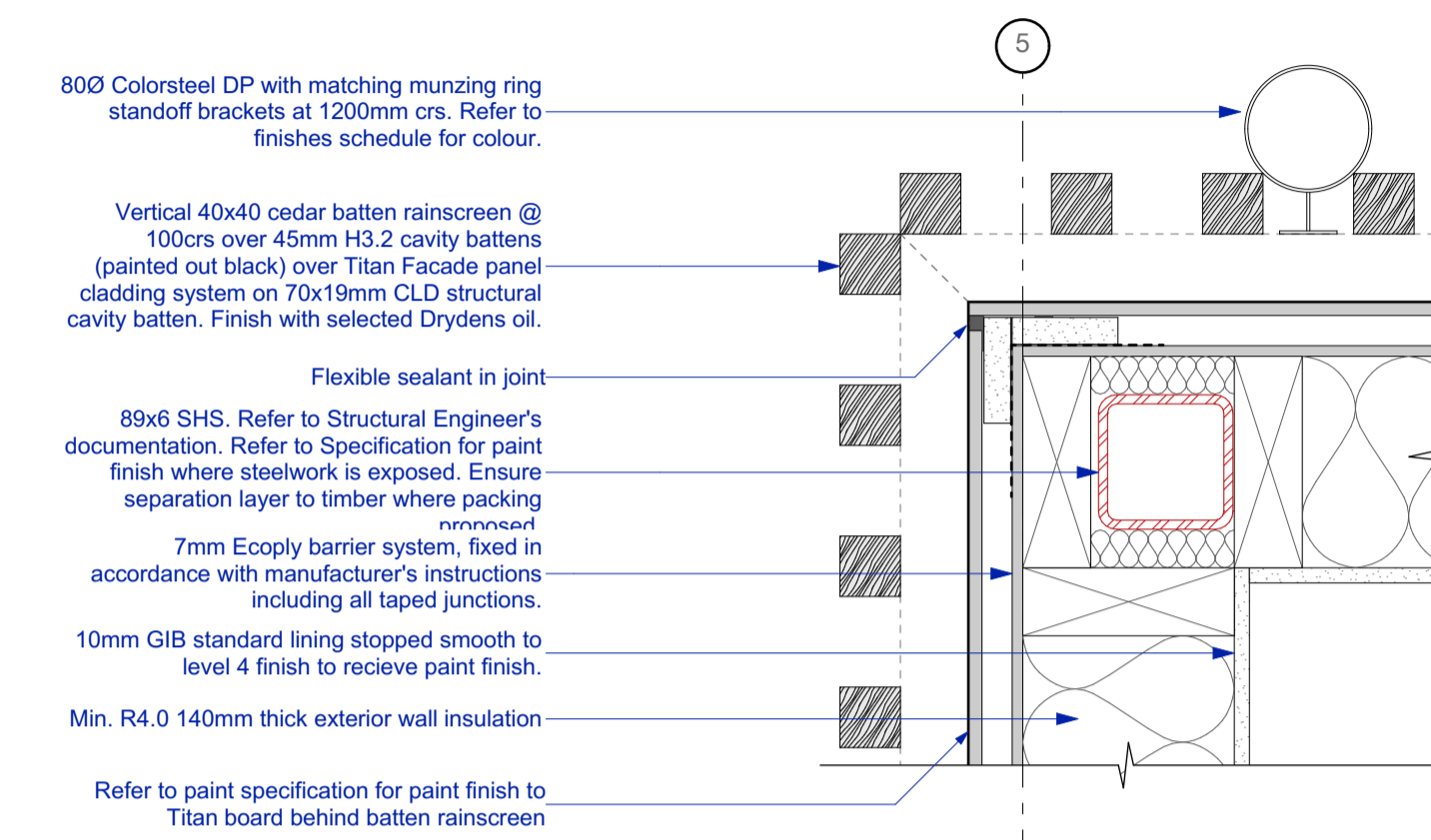
Three Sixty Architects Limited  
 Level 1, The Yard  
 173 St Asaph Street  
 Christchurch 8140

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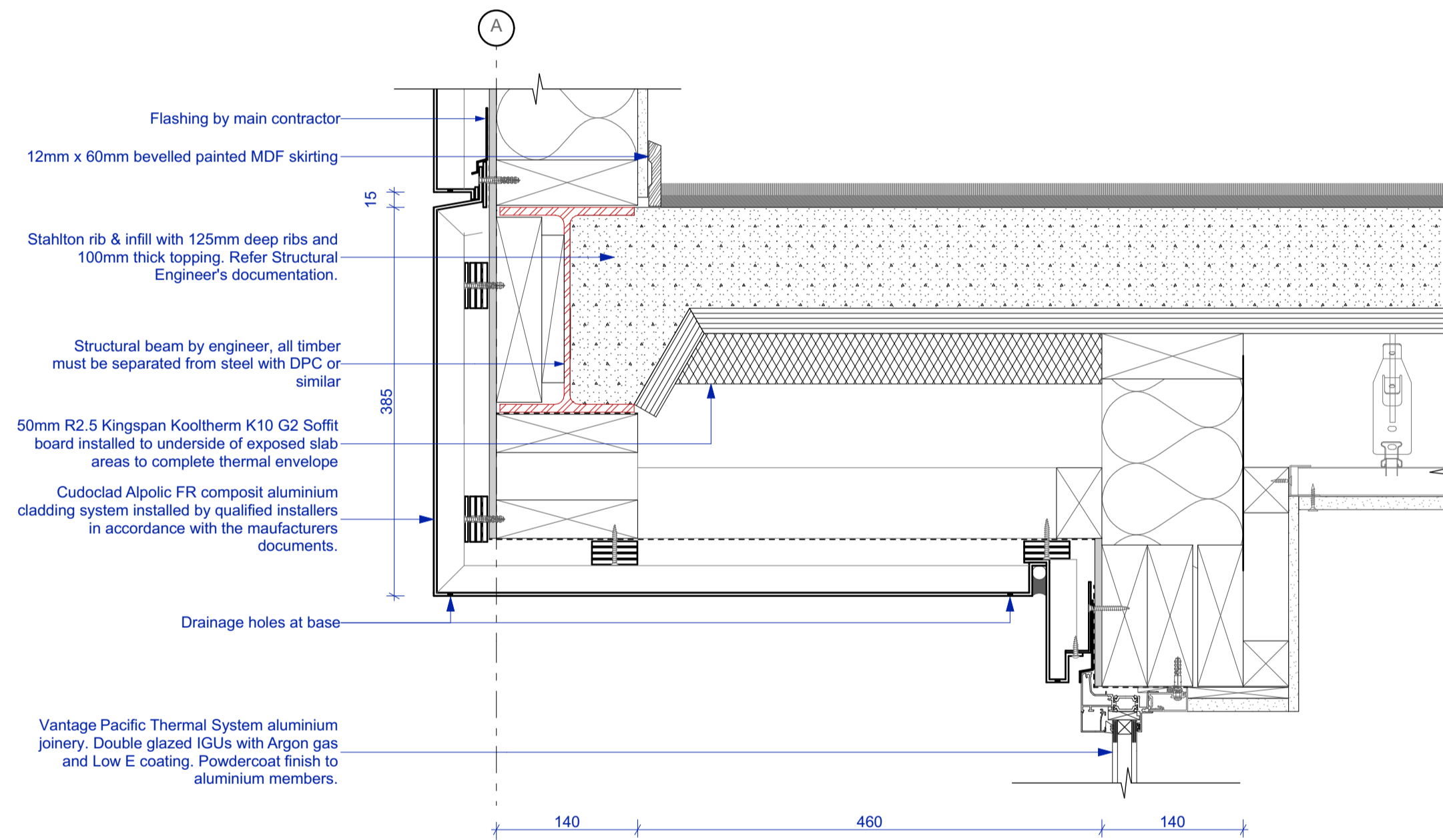
office@threesixtyarch.co.nz  
 www.threesixtyarch.co.nz



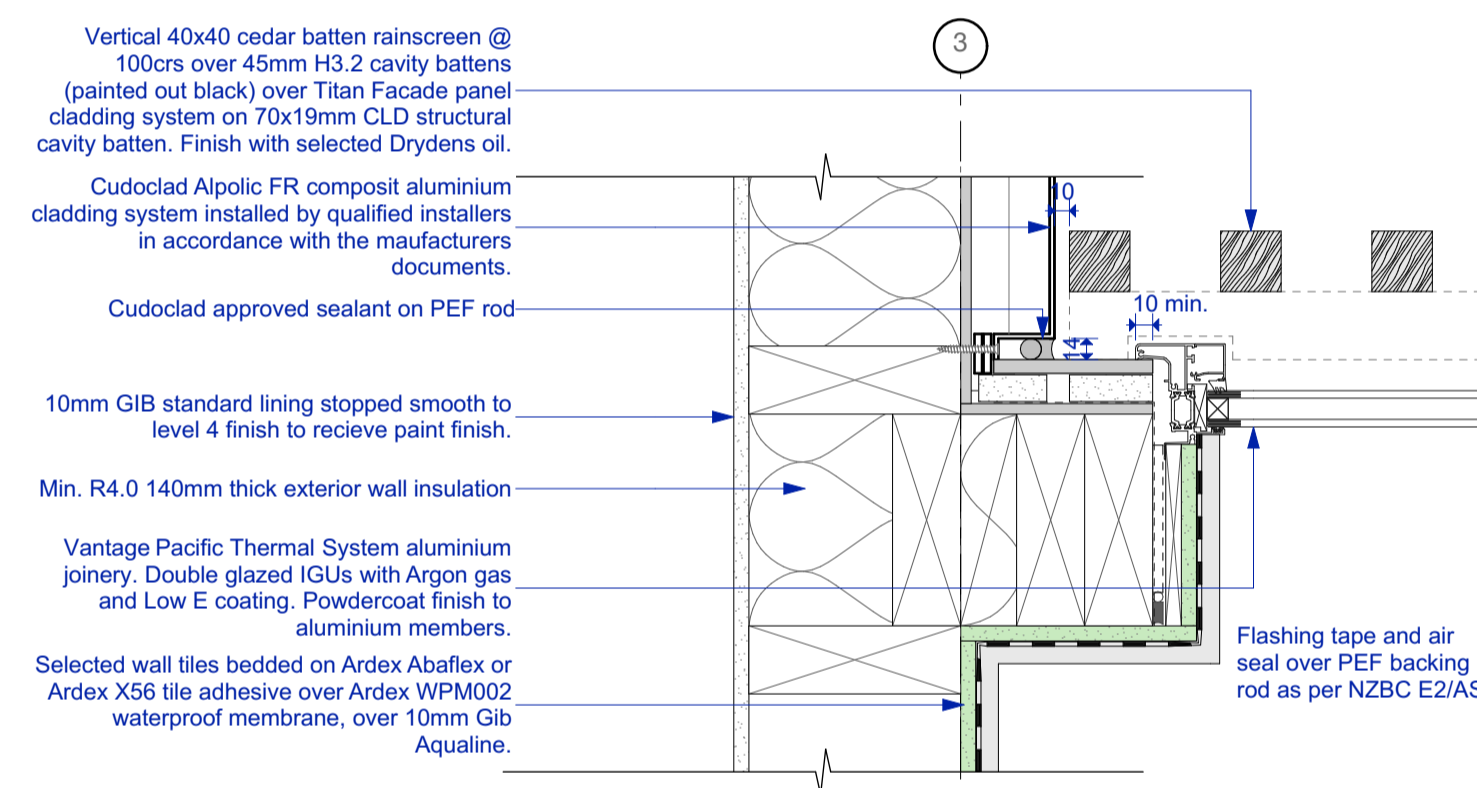
**38 Composite Aluminium Jamb External Corner**  
 204 Scale 1:5



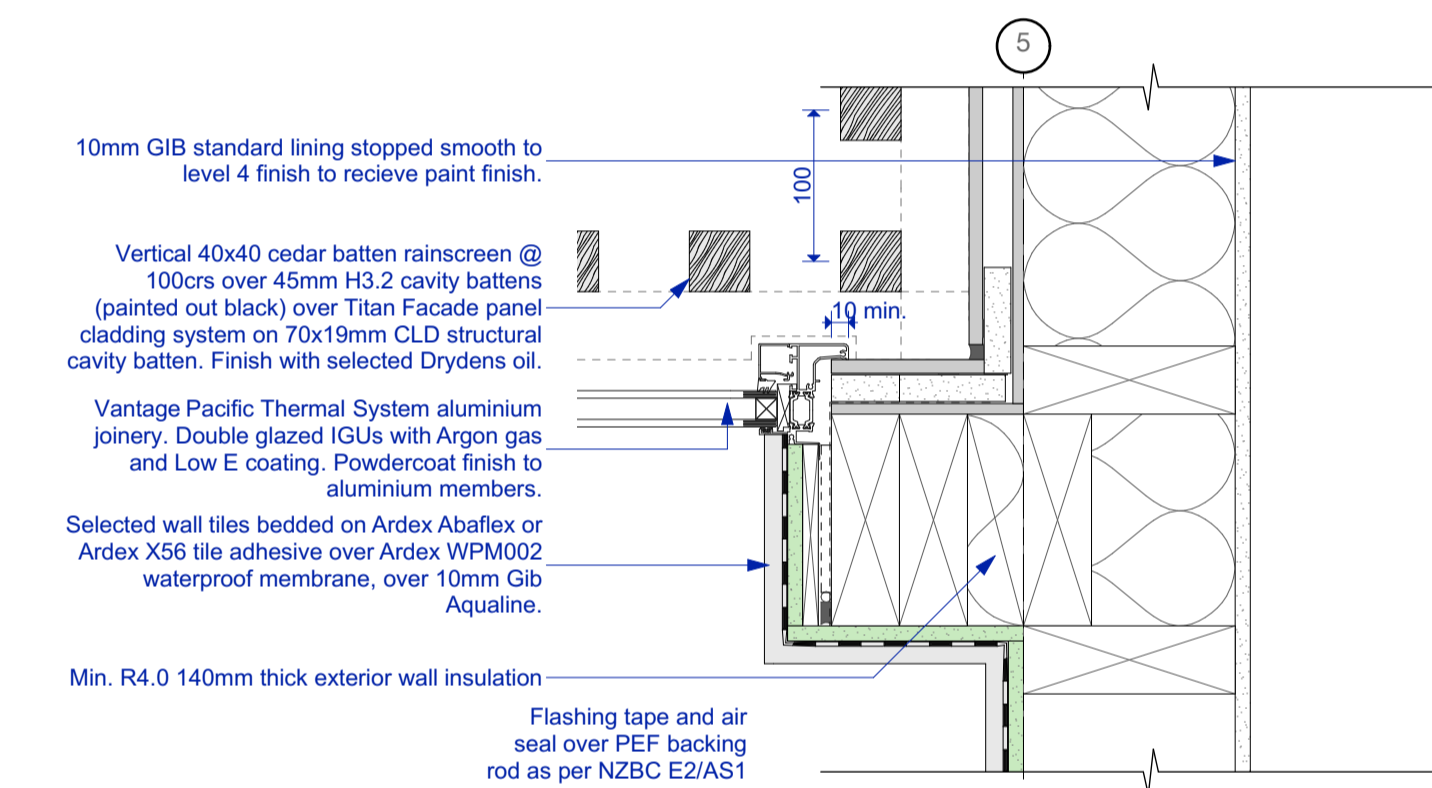
**41 Vert Cedar Batten External Corner**  
 204 Scale 1:5



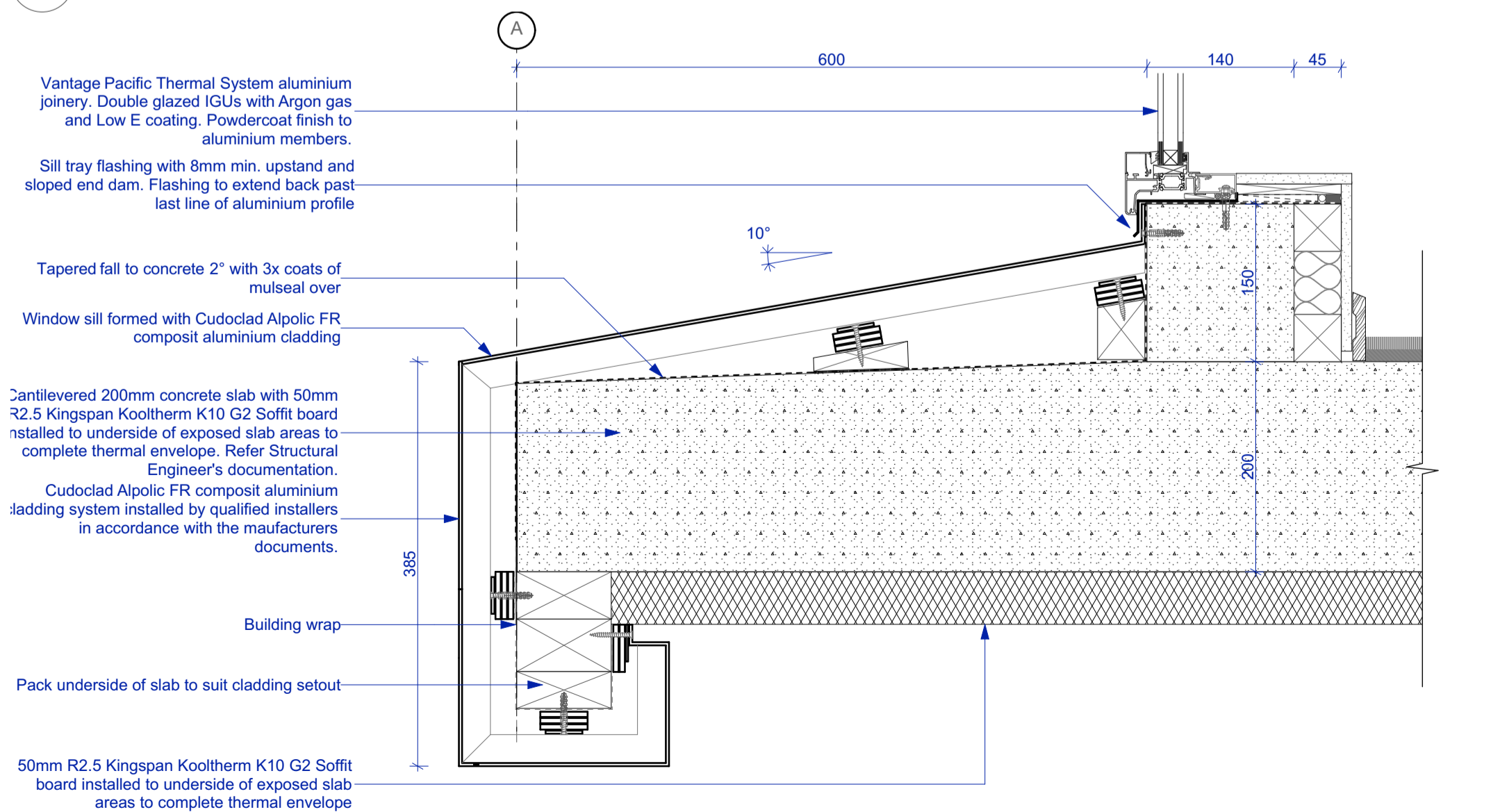
**36 Cladding to Soffit Junction**  
 405 Scale 1:5



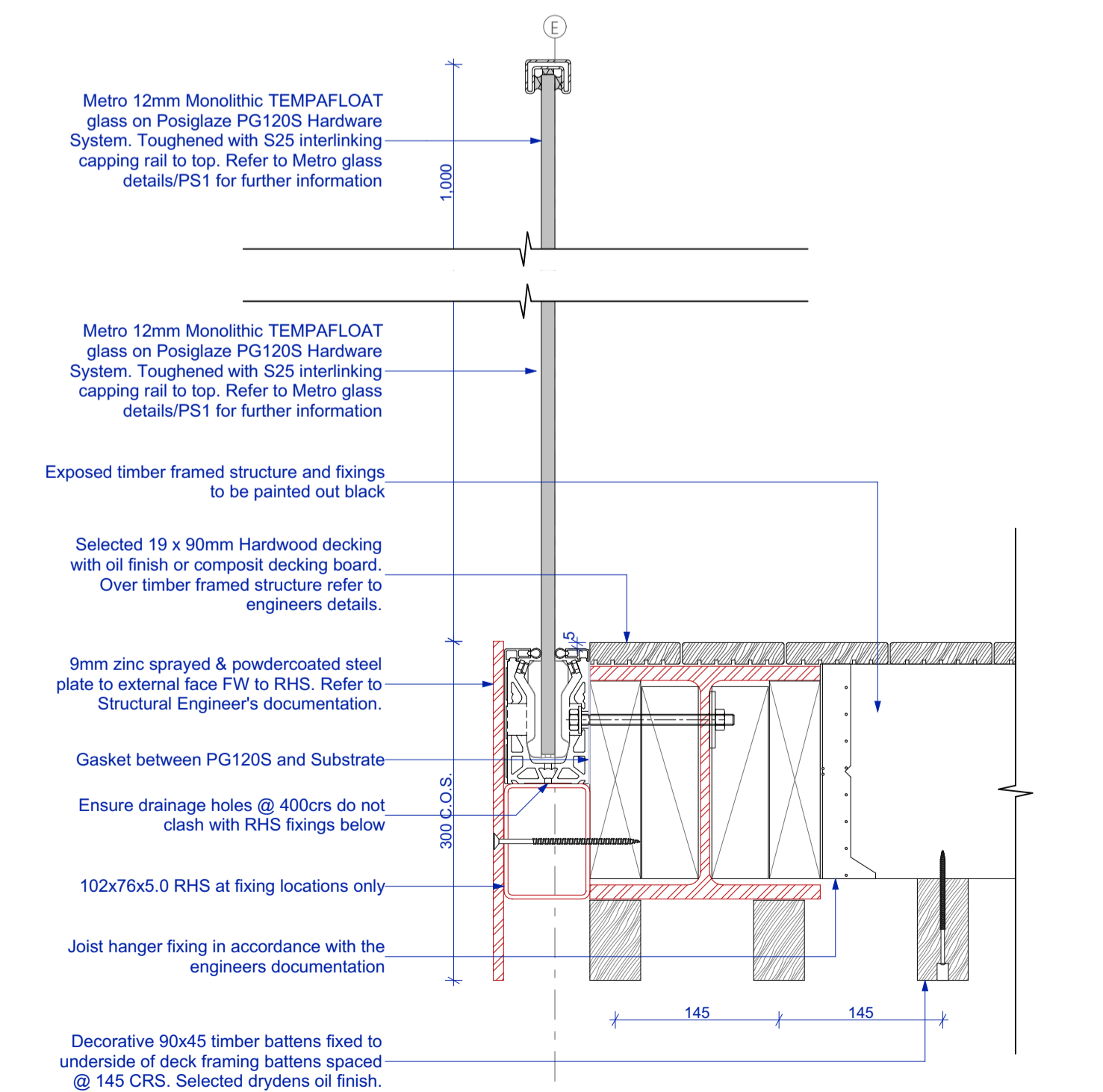
**39 Composite Aluminium to Fibre Cement**  
 204 Scale 1:5



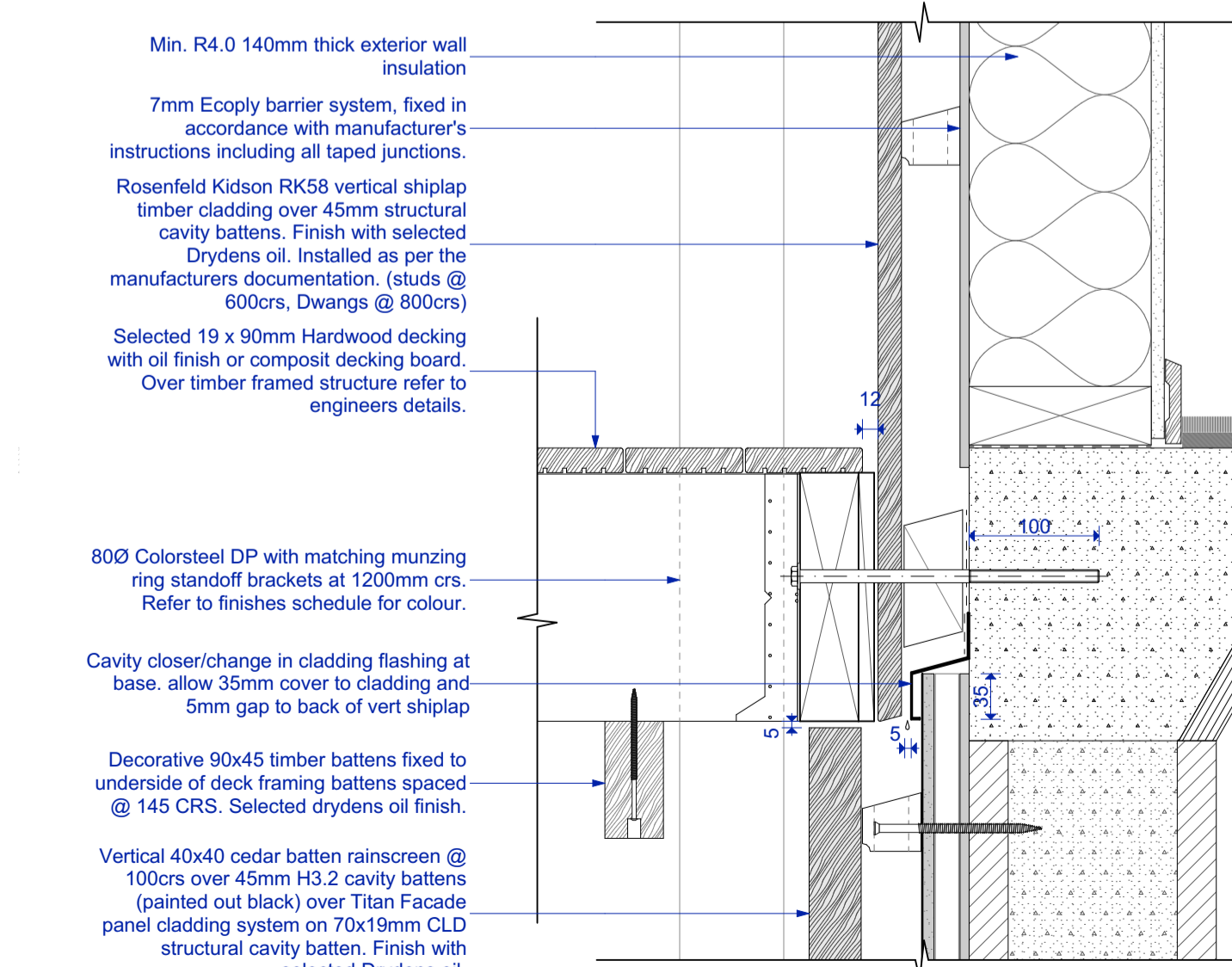
**42 Vert Cedar Batten Internal Corner**  
 204 Scale 1:5



**37 Cantilever floor**  
 405 Scale 1:5



**40 Deck Balustrade**  
 407 Scale 1:5



**43 Deck to cladding**  
 407 Scale 1:5

**Three Sixty Architecture**



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

Details

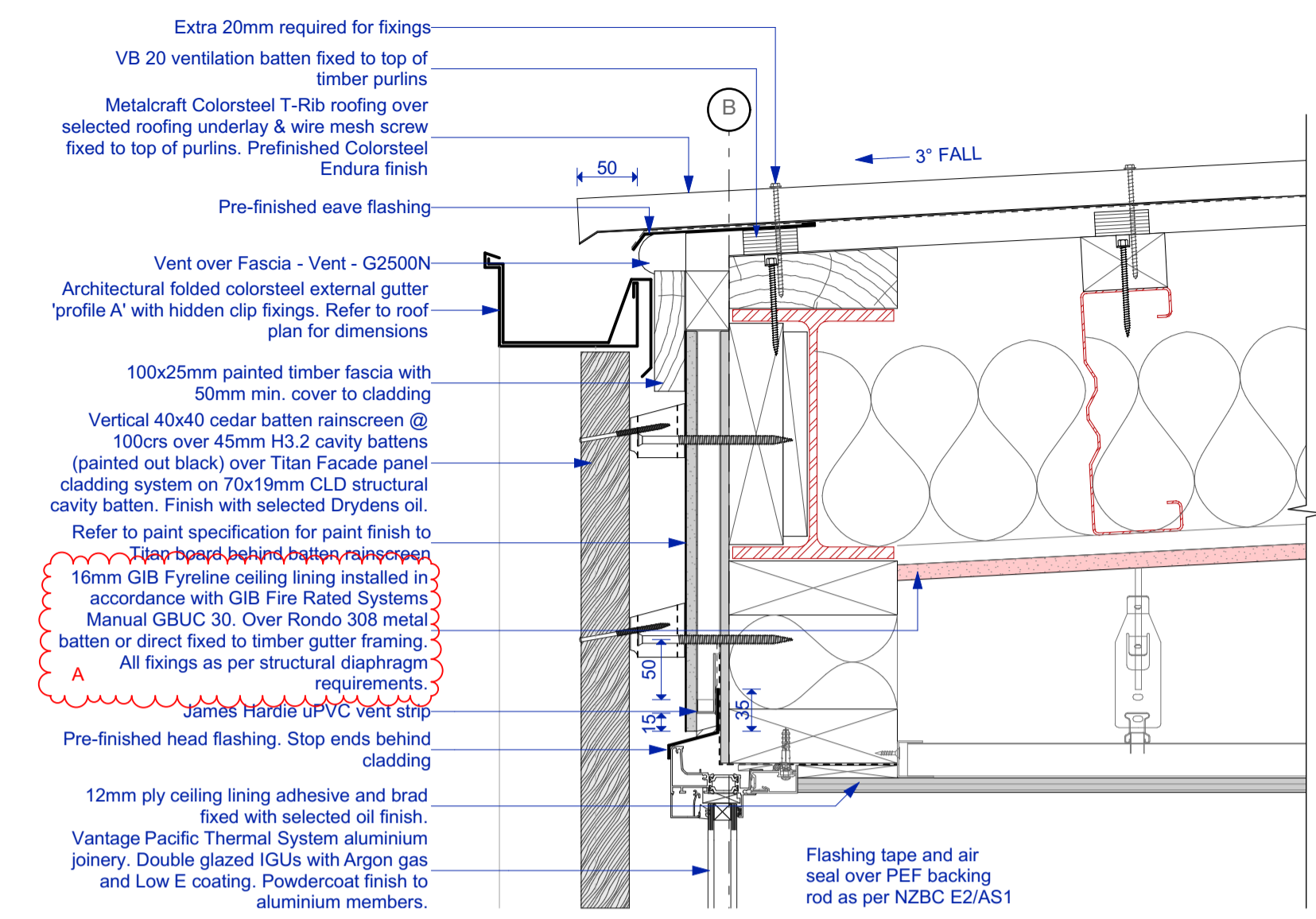
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 File No. R19015  
 Date 9/06/2021  
 Revision

Sheet No. **505**

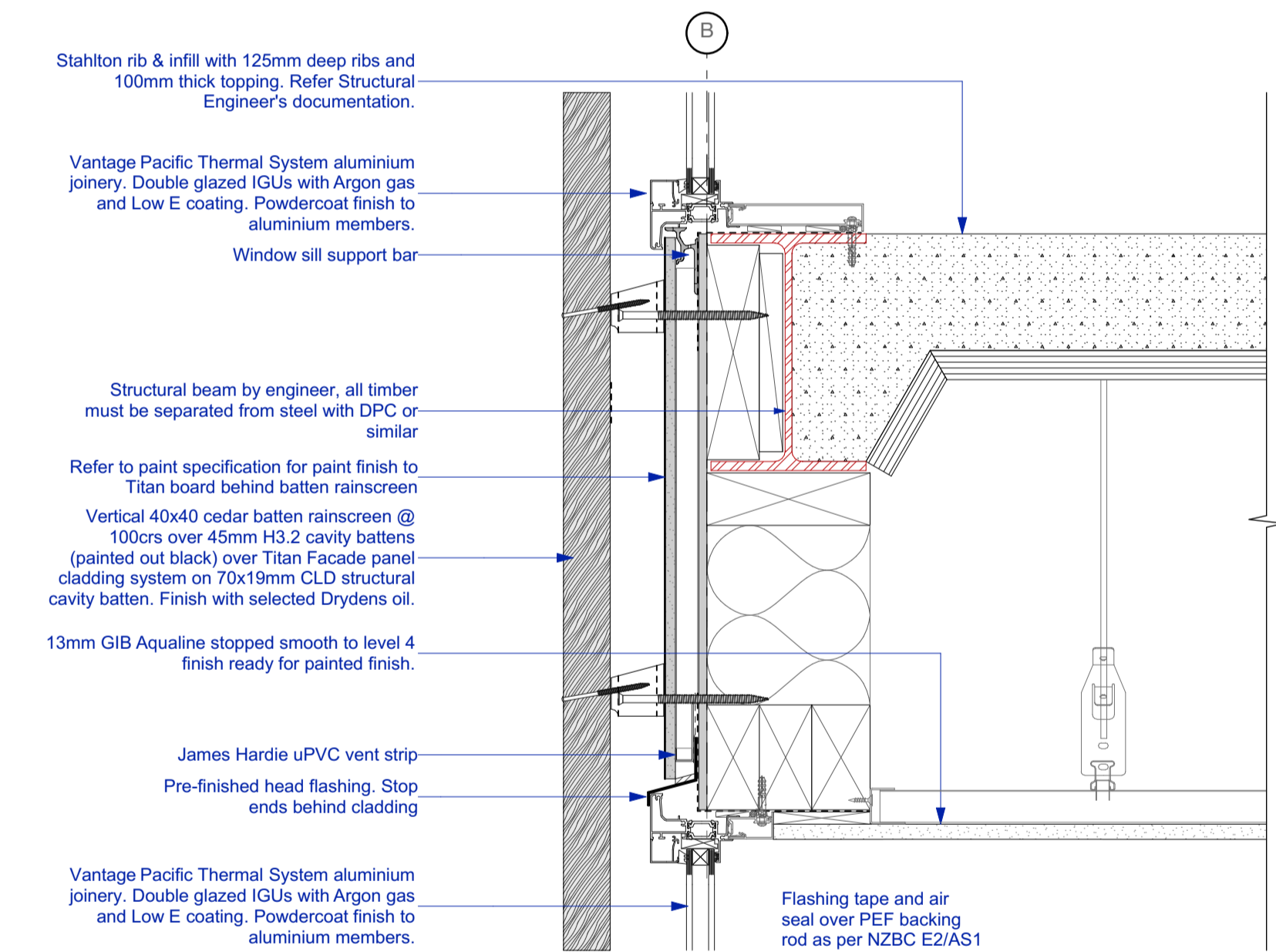
Three Sixty Architects Limited  
 Level 1, The Yard  
 173 St Asaph Street  
 Christchurch 8140

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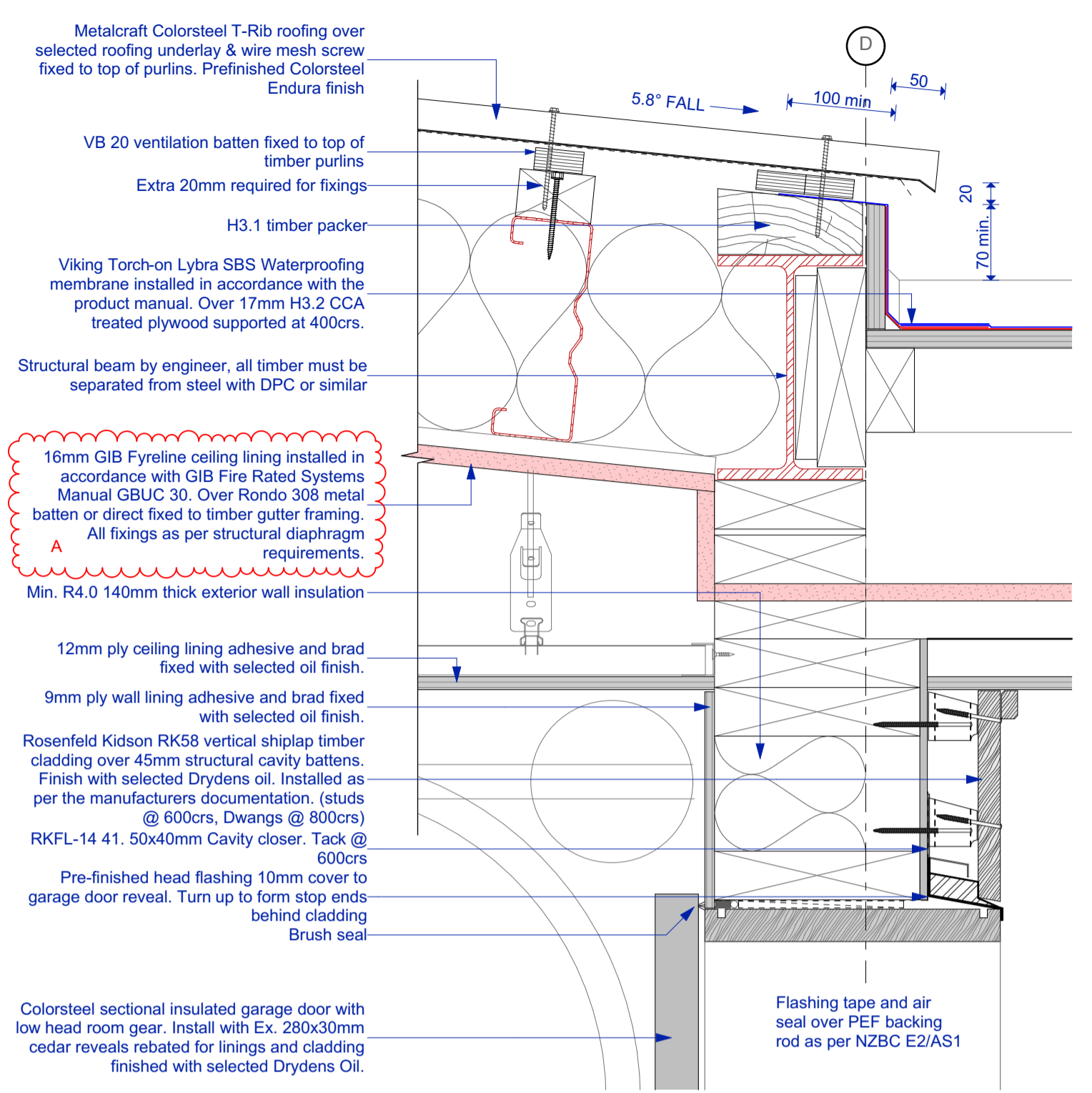
office@threesixtyarch.co.nz  
 www.threesixtyarch.co.nz



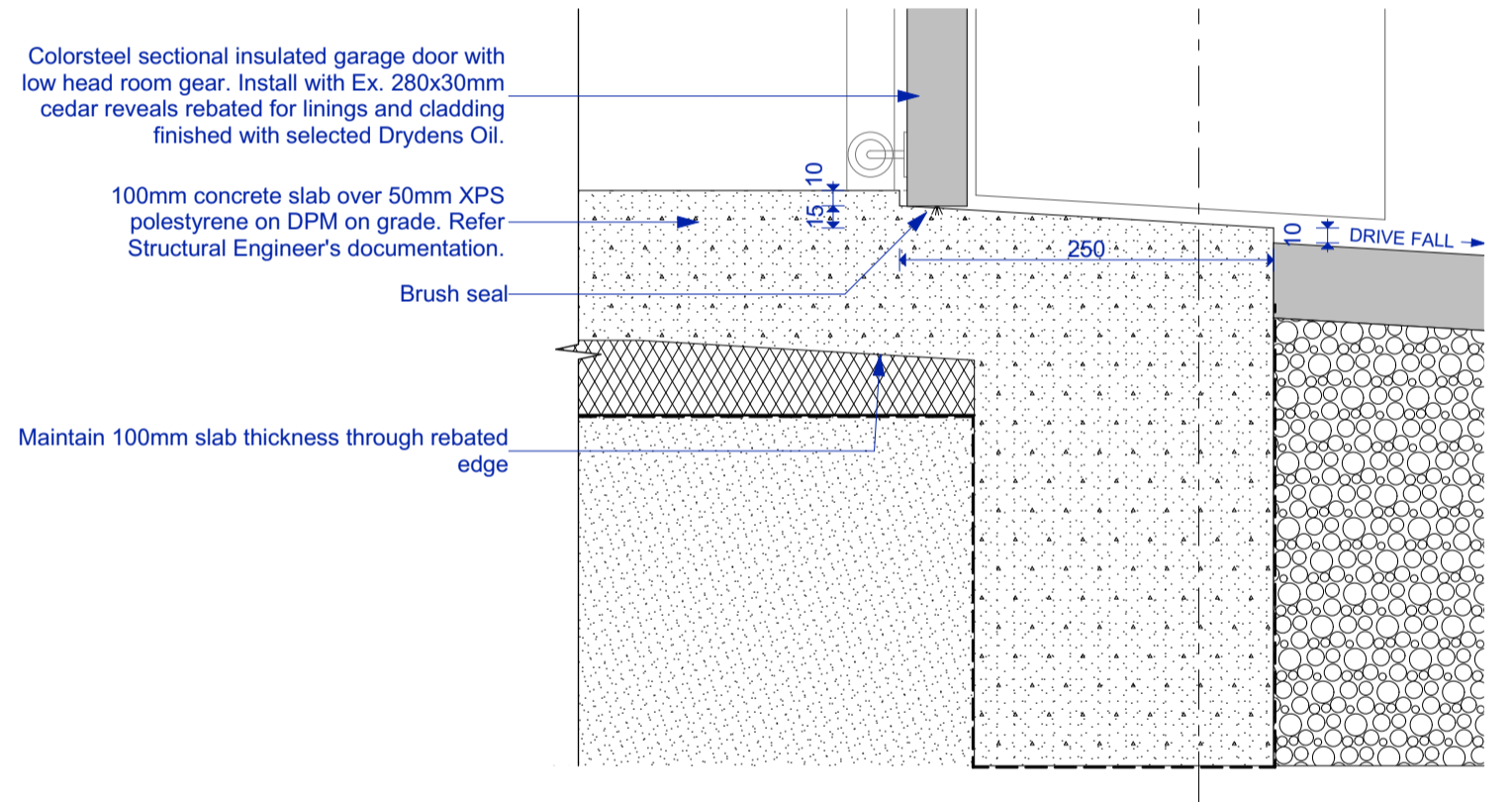
**44 External gutter detail**  
 406 Scale 1:5



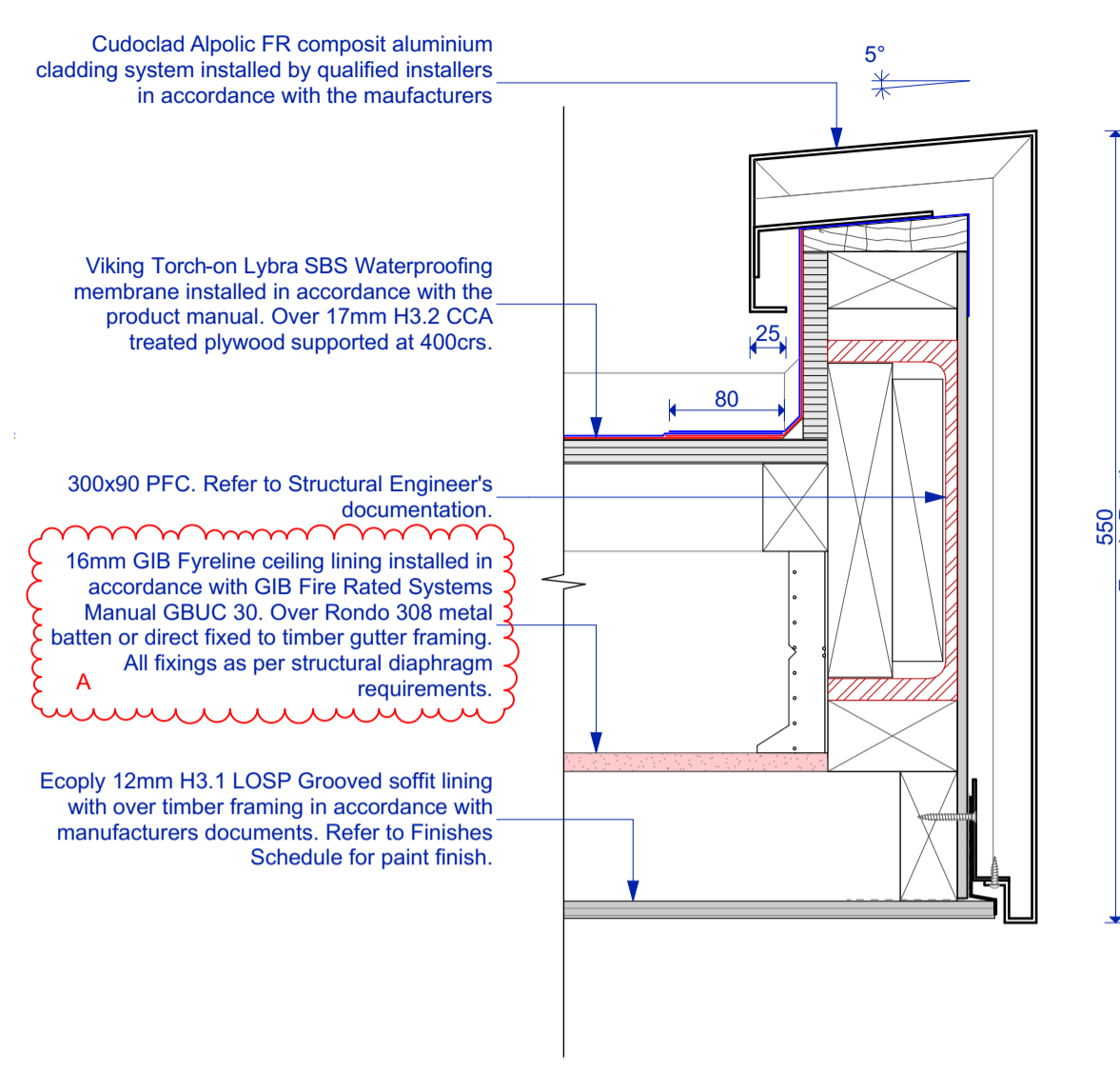
**45 Window Sill cedar batten over**  
 406 Scale 1:5



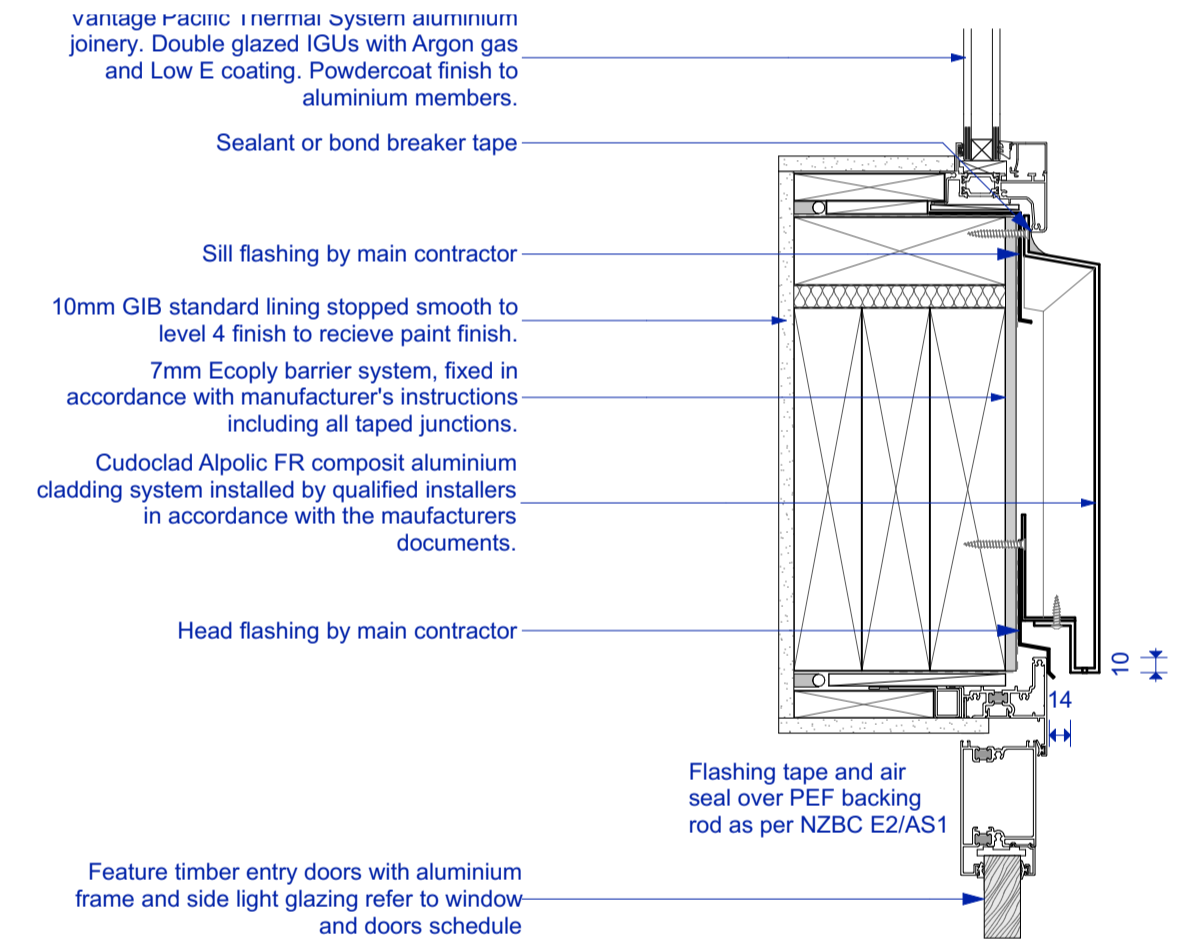
**46 Garage Door Head**  
 406 Scale 1:5



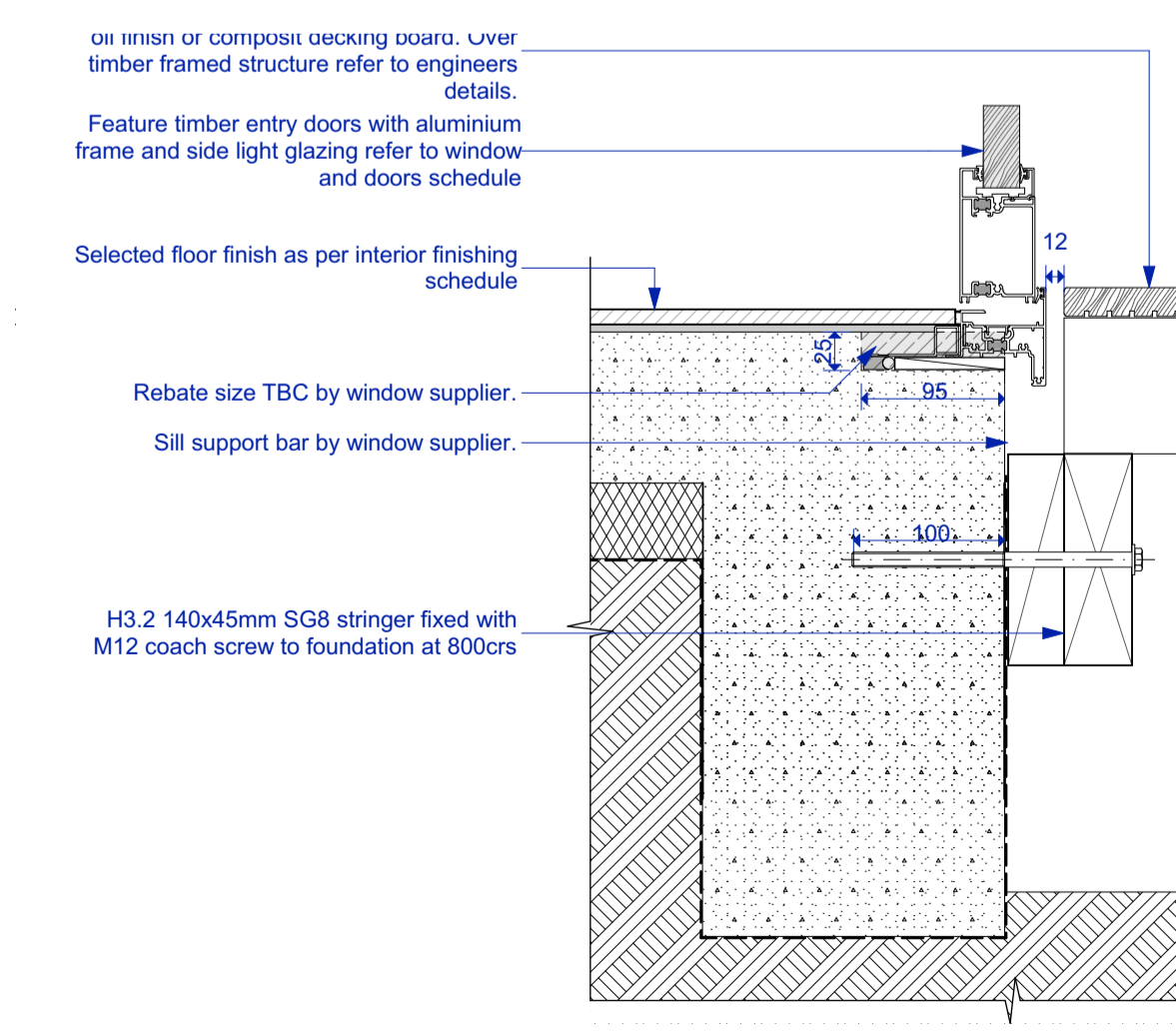
**47 Garage Door Base**  
 406 Scale 1:5



**48 Parapet Fascia Detail**  
 406 Scale 1:5



**49 Entry door Head**  
 409 Scale 1:5



**50 Entry Door Base**  
 409 Scale 1:5

**Building Consent**

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604:2011 and the New Zealand Building Code.

|          |           |                                    |
|----------|-----------|------------------------------------|
| Rev. No. | Date      | Issue                              |
| A        | 9/06/2021 | Building Consent Issue Council RFI |



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

**Details**

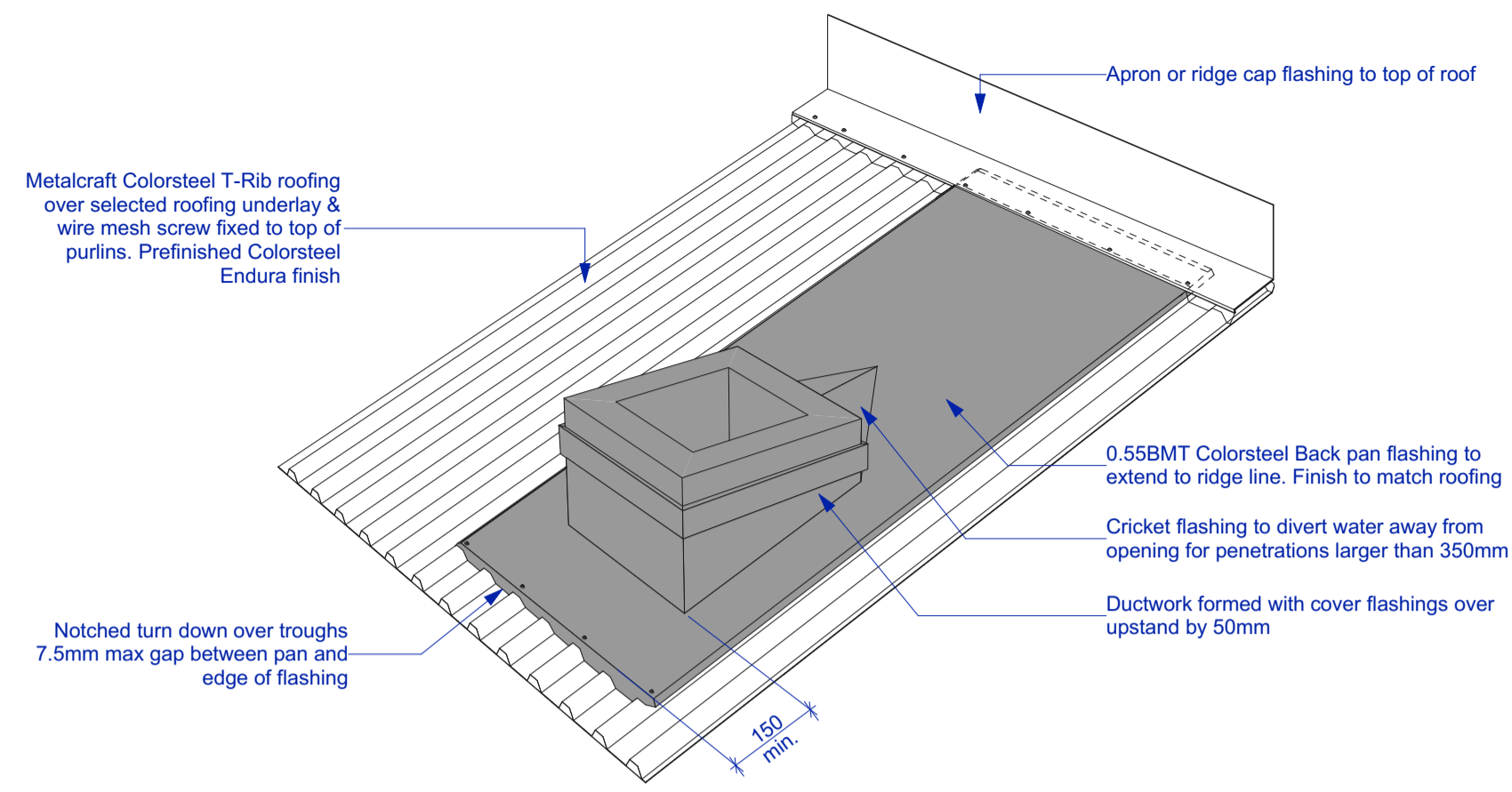
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| File No.   | R19015    |
| Date       | 9/06/2021 |
| Revision   | A         |

Sheet No. **506**

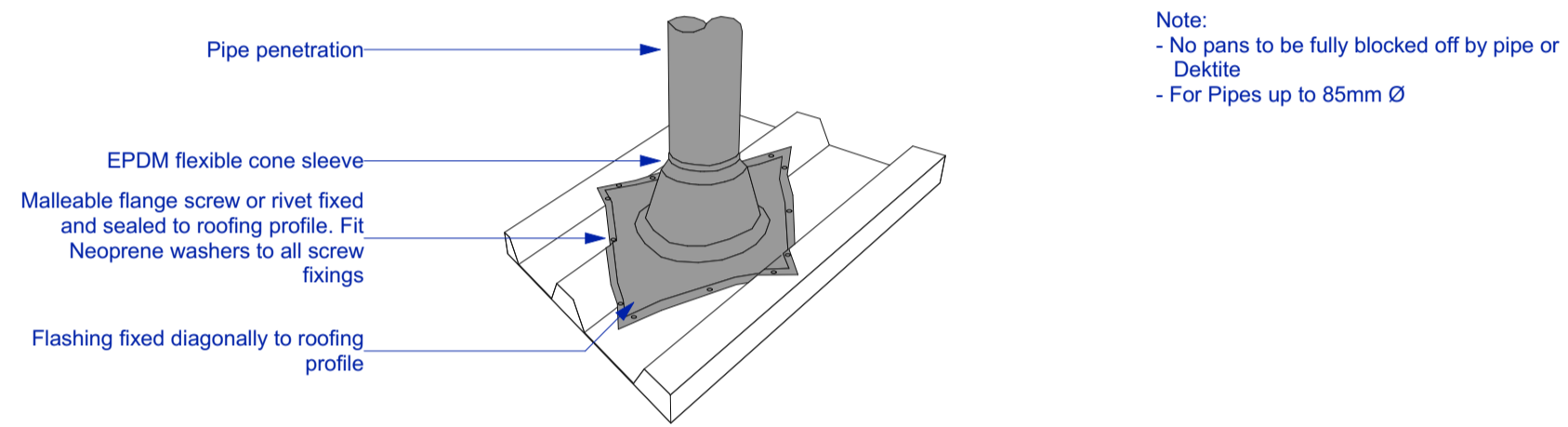
Three Sixty Architects Limited  
 Level 1, The Yard  
 173 St Asaph Street  
 Christchurch 8140

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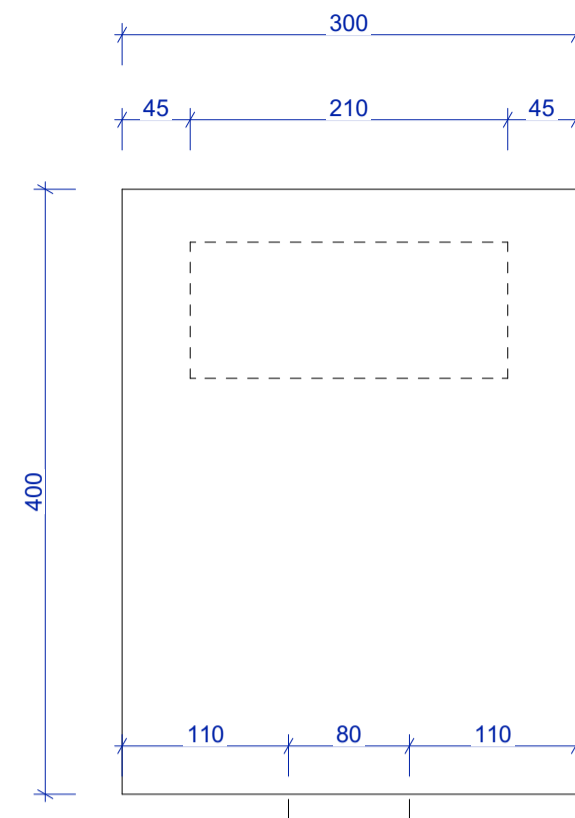
Typical Large Penetration



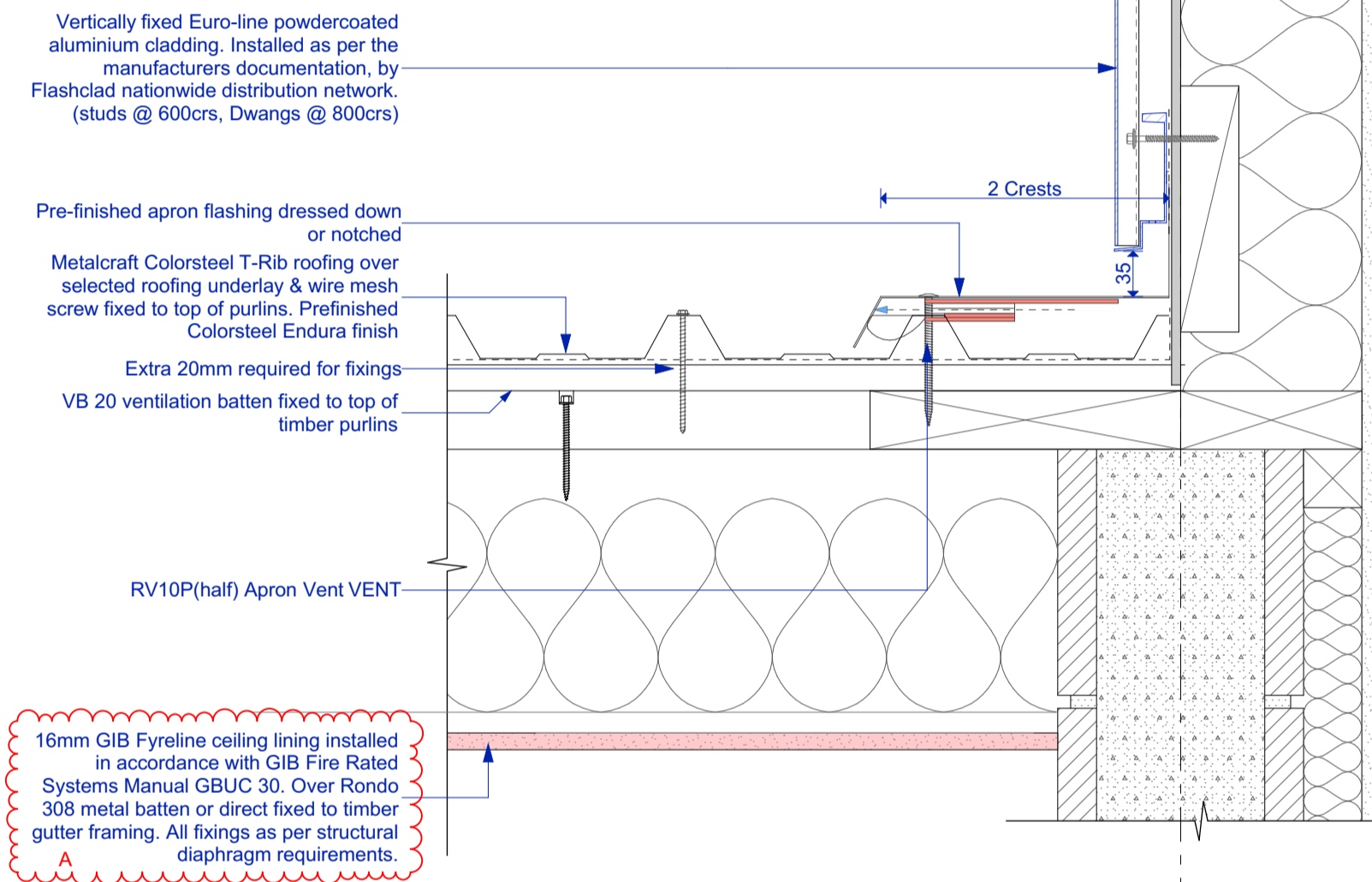
Typical Pipe Penetration

51 Typical Roof Penetration Details  
 Scale 1:10

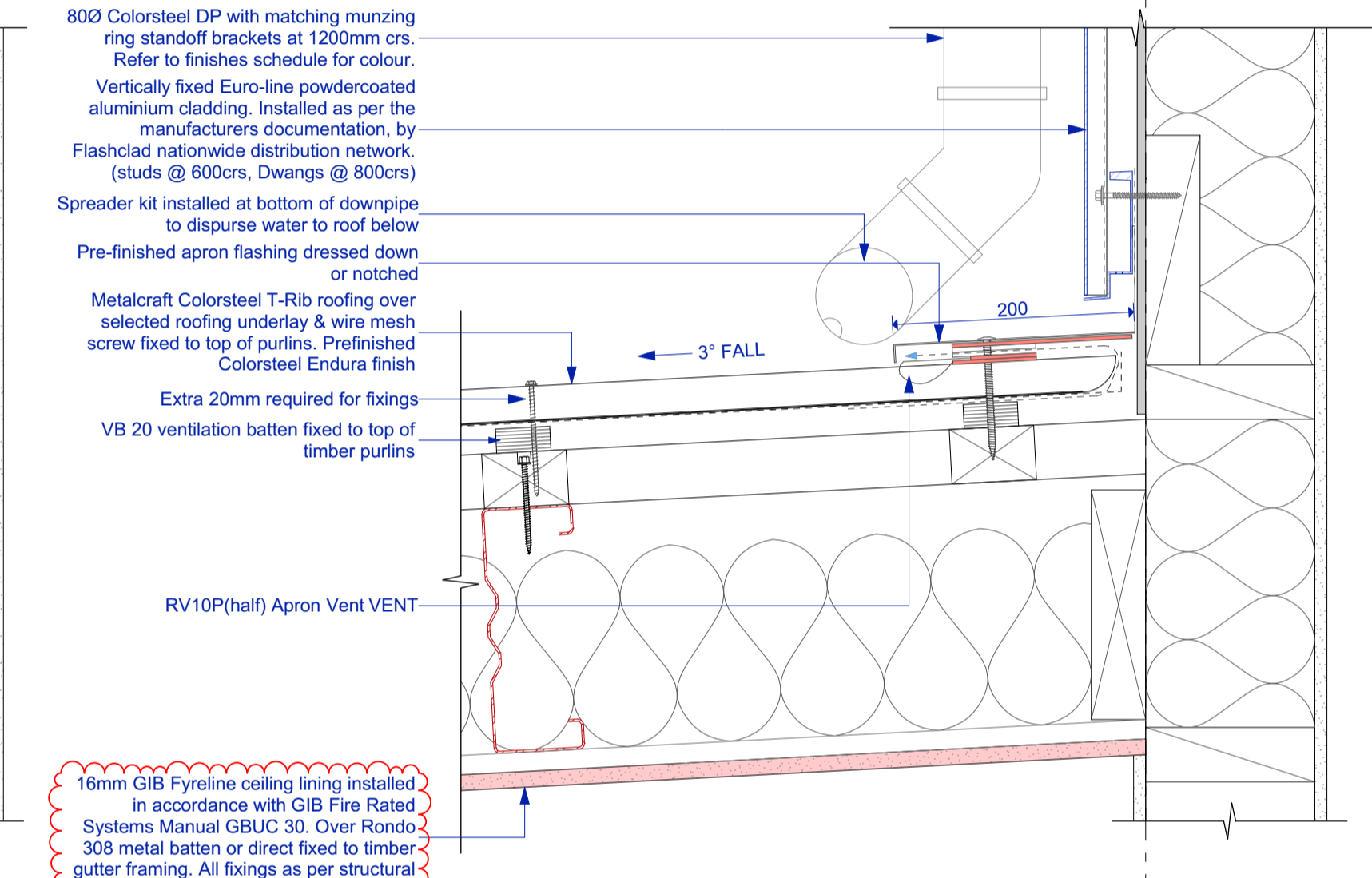
Note:  
 - No pans to be fully blocked off by pipe or Deklite  
 - For Pipes up to 85mm Ø



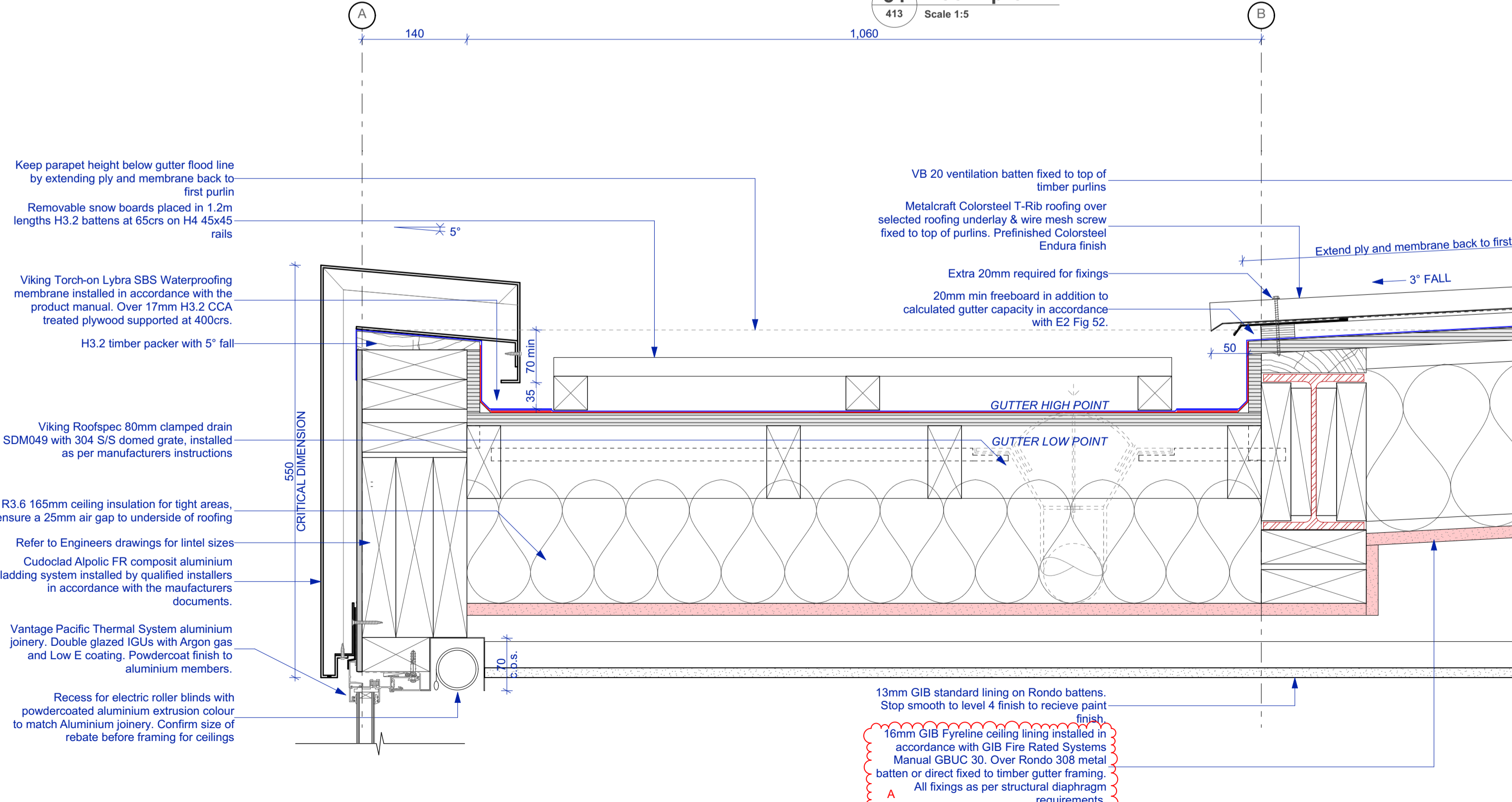
53 Rain water head outlet  
 407 Scale 1:5



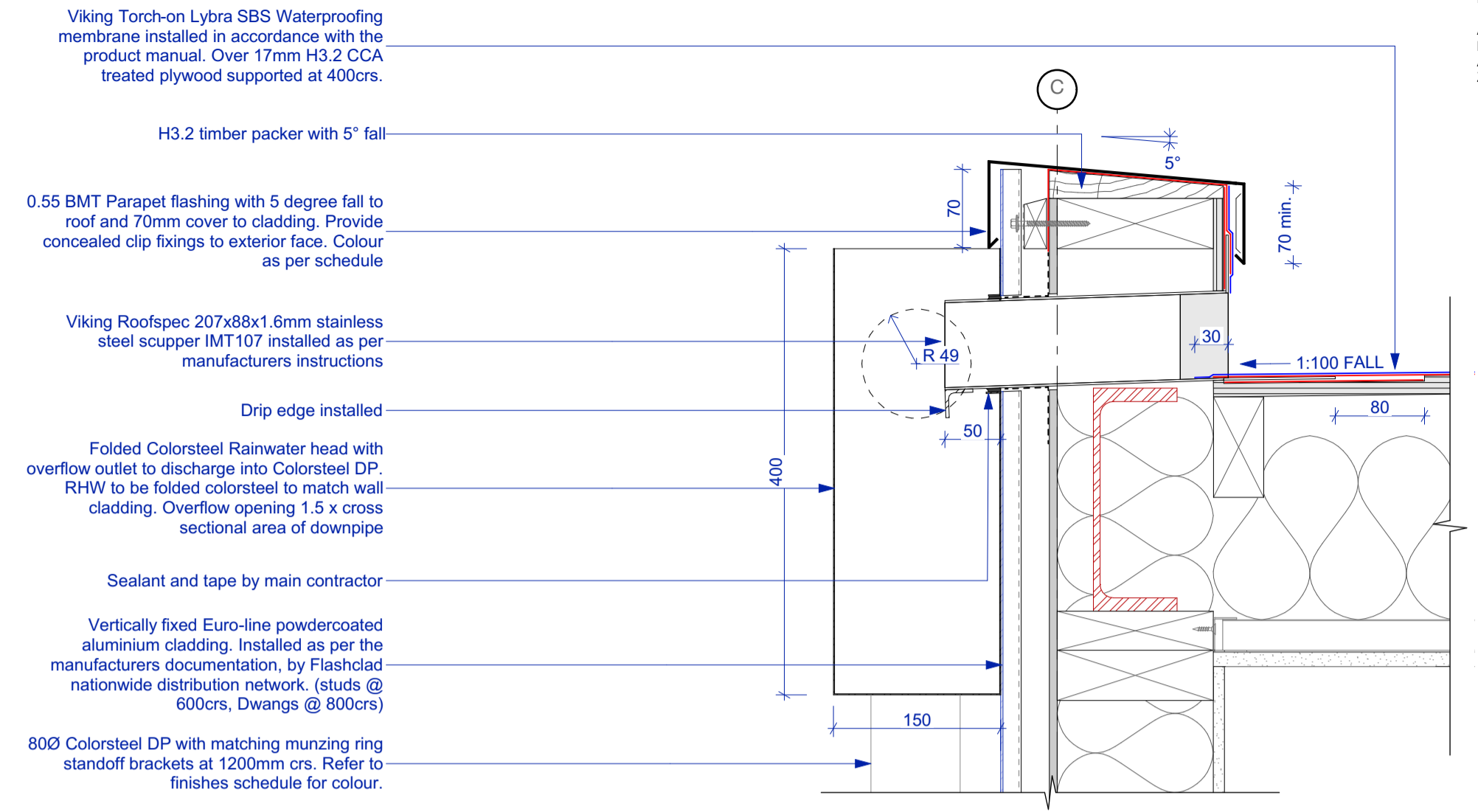
54 Roof Apron  
 413 Scale 1:5



55 Roof apron detail  
 407 Scale 1:5



52 Parapet/Internal gutter  
 403 Scale 1:5



56 Colorsteel Roof Apex  
 405 Scale 1:5

Building Consent

Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604 2011 and the New Zealand Building Code.  
 Rev. Date: 16/04/2021 Issue: Building Consent Issue Council RFI  
 A 9/06/2021

Three Sixty Architecture



Chalmers Street Apartments  
 20 Chalmers Street  
 Wanaka

Details

Scale @ A1 1:5, 1:10  
 File No. R19015  
 Date 9/06/2021  
 Revision A

Sheet No. 507

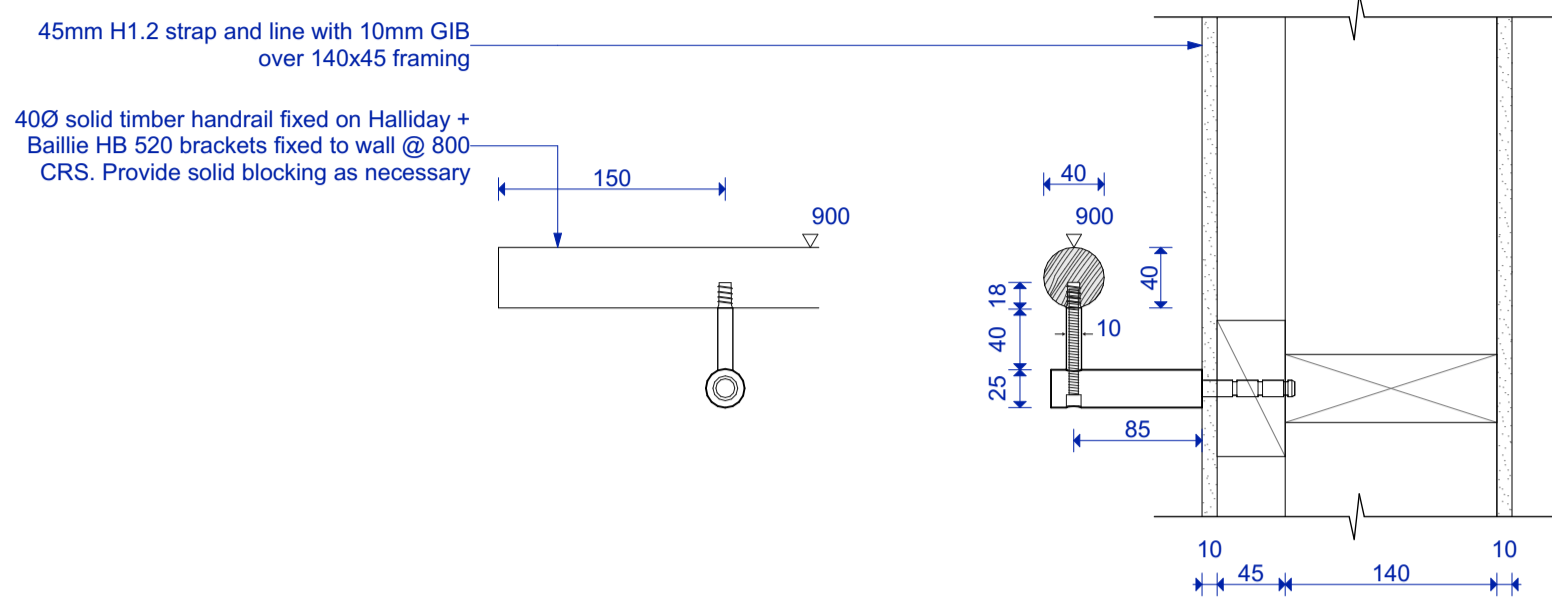
Three Sixty Architects Limited  
 Level 1, The Yard  
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 Christchurch 8140

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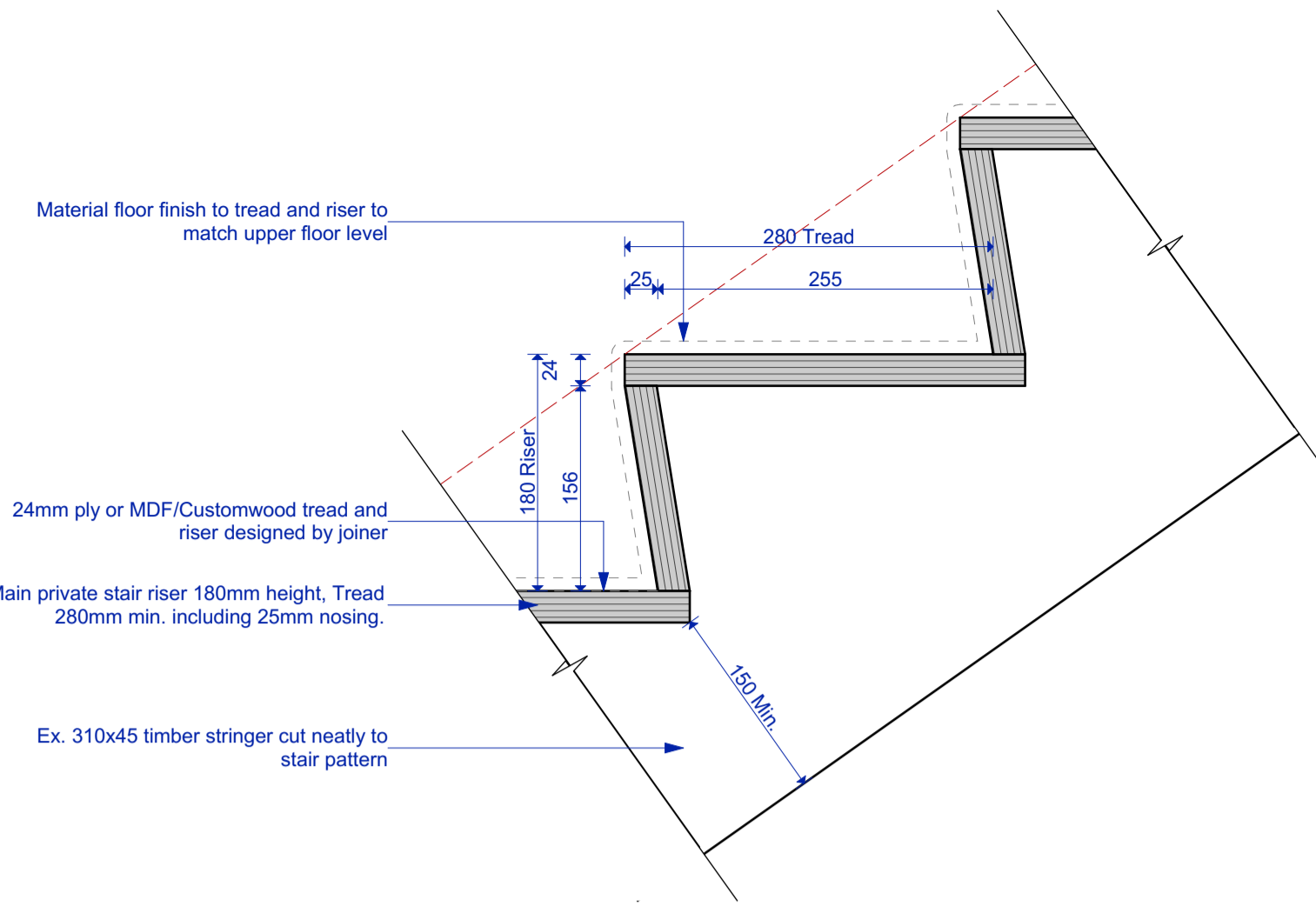
office@threesixtyarch.co.nz  
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Notes:  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604 2011 and the New Zealand Building Code.

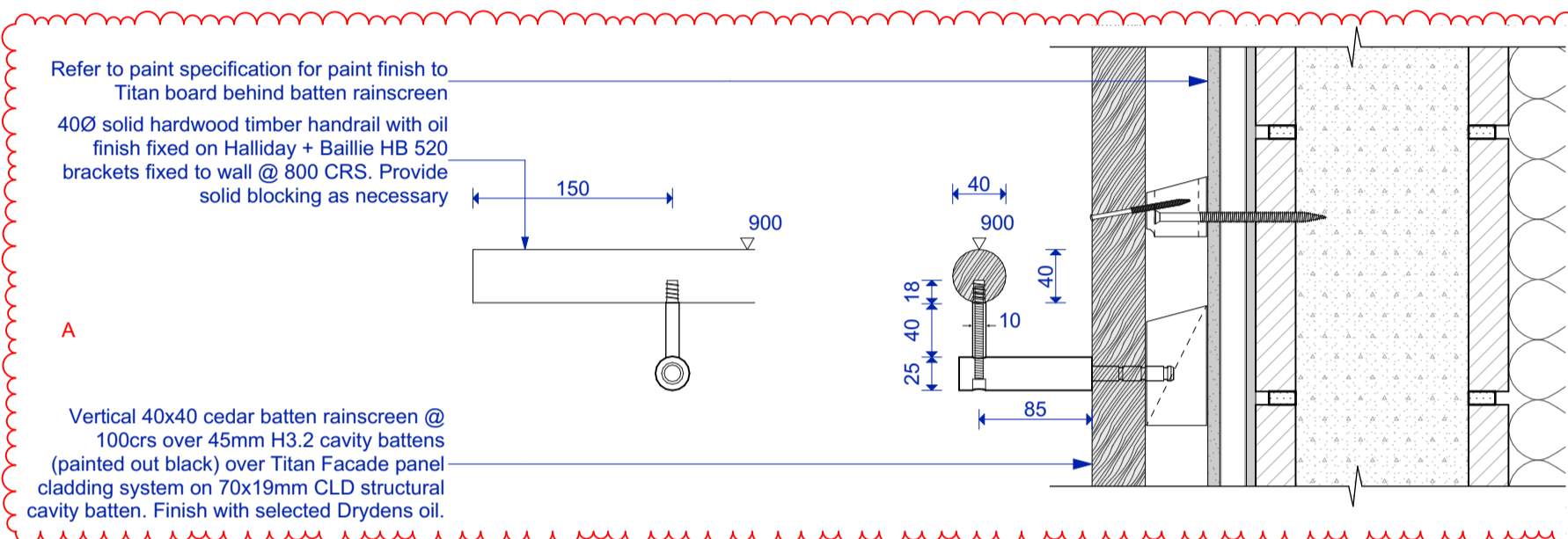
| Rev. | Date      | Issue                              |
|------|-----------|------------------------------------|
| A    | 9/06/2021 | Building Consent Issue Council RFI |



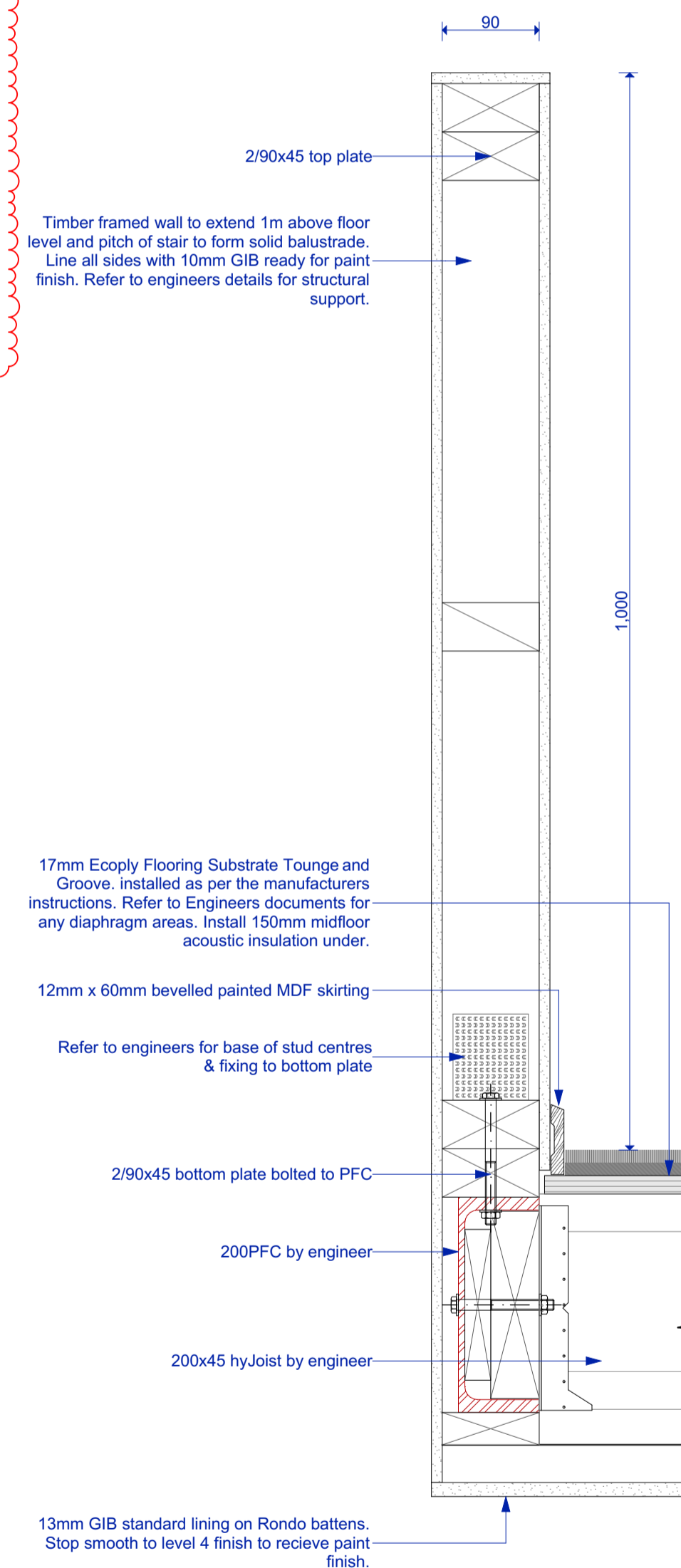
**58 Internal Stair Handrail**  
 405 Scale 1:5



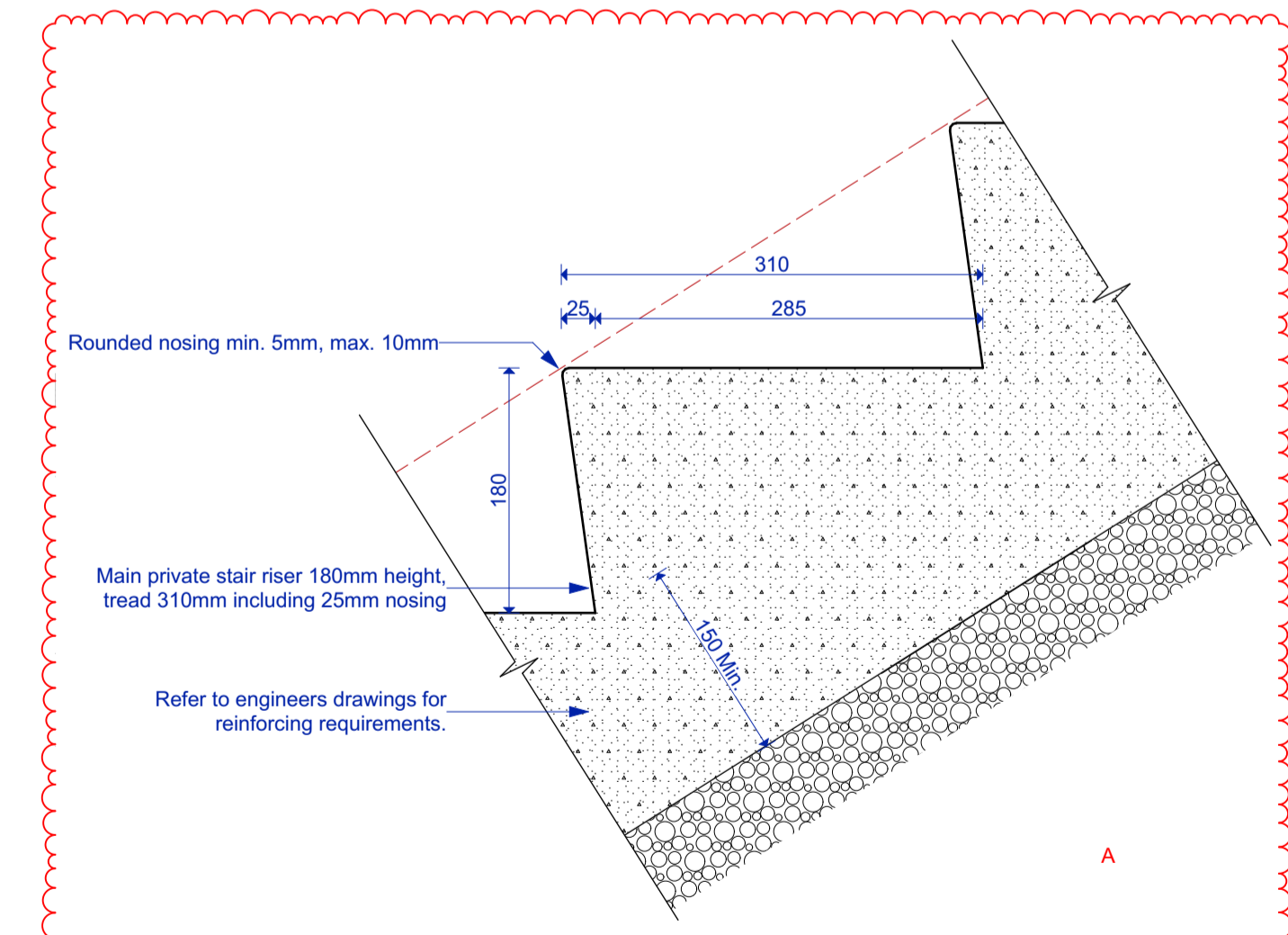
**61 Stair Tread**  
 407 Scale 1:5



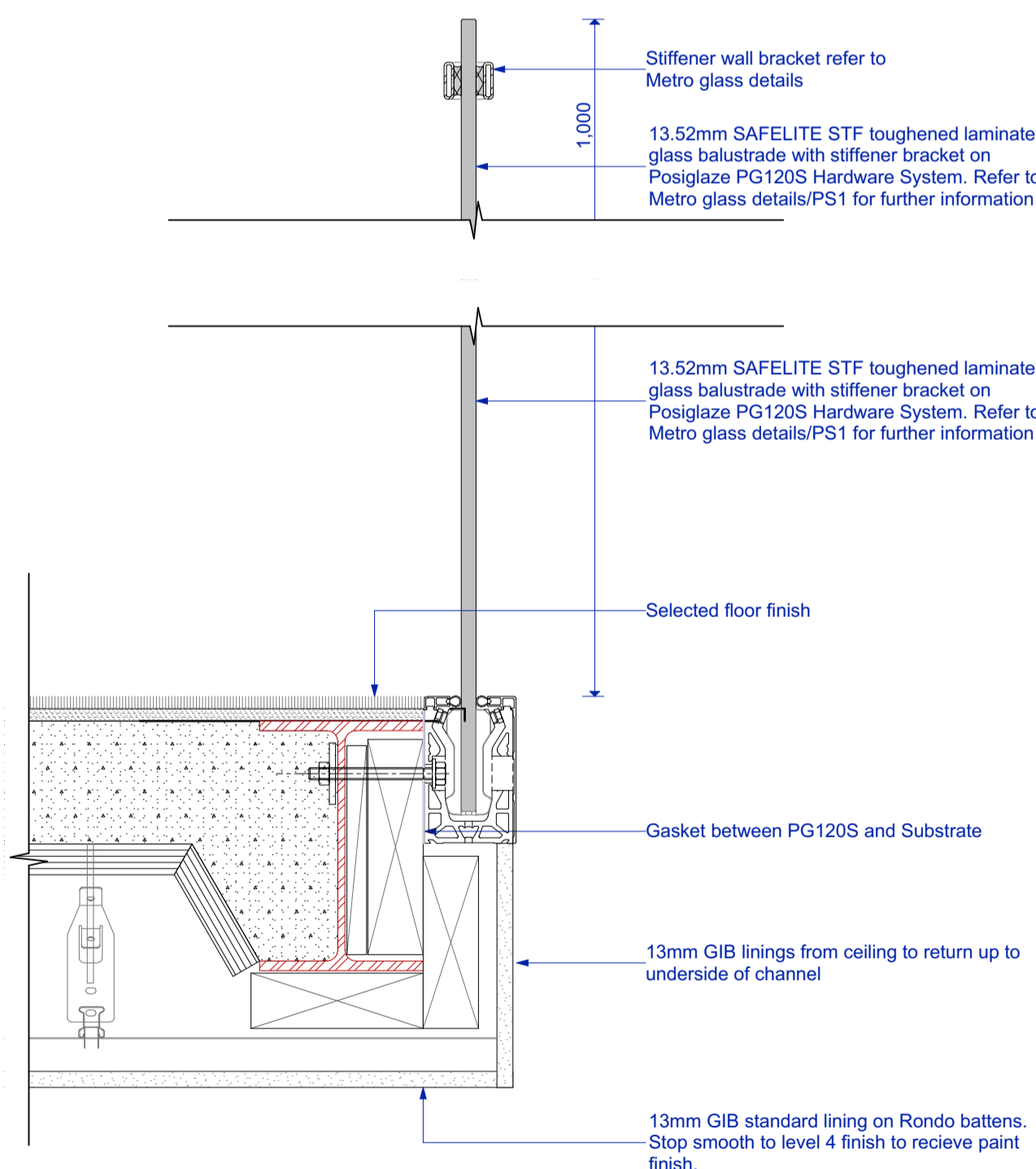
**65 Exterior Stair Handrail**  
 Scale 1:5



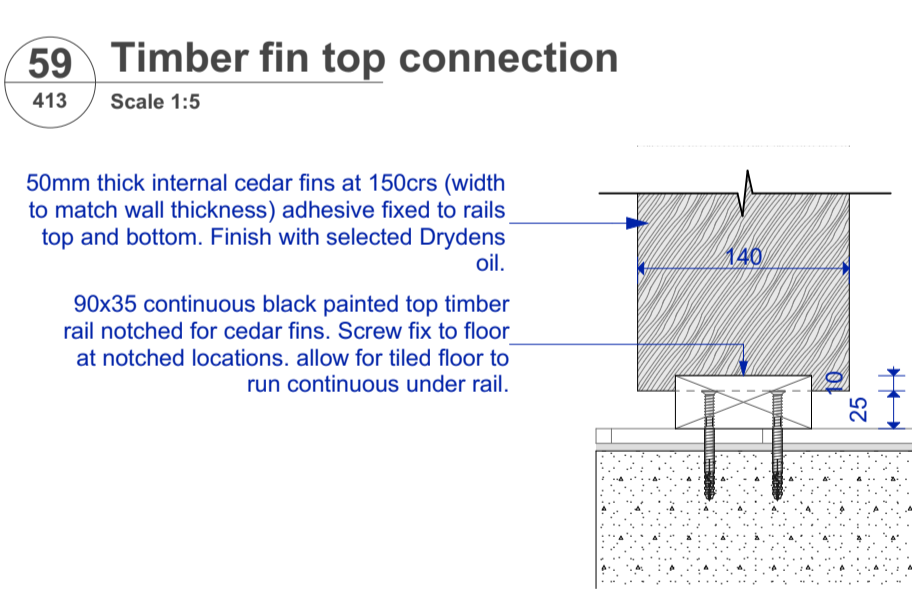
**62 Timber balustrade**  
 413 Scale 1:5



**64 Concrete Exterior Steps**  
 414 Scale 1:5



**57 Internal Glass Balustrade**  
 Scale 1:5



**59 Timber fin top connection**  
 413 Scale 1:5



**60 Timber fin base connection**  
 413 Scale 1:5

**Three Sixty Architecture**



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

Details

| Scale @ A1 | 1:5       |
|------------|-----------|
| File No.   | R19015    |
| Date       | 9/06/2021 |
| Revision   | A         |

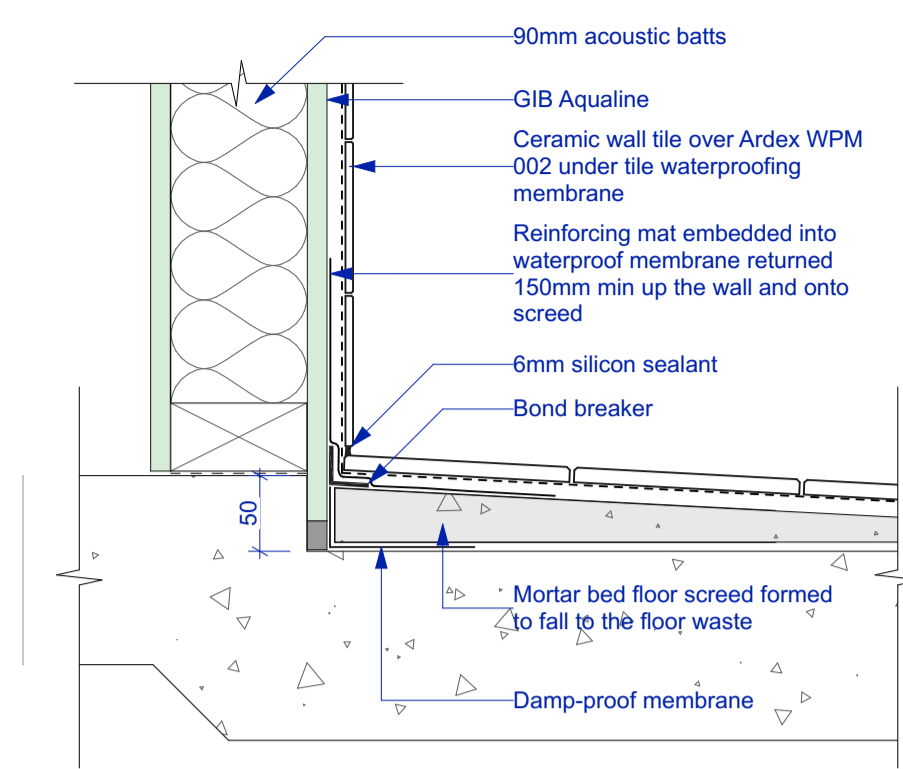
Sheet No. **508**

Three Sixty Architects Limited  
 Level 1, The Yard  
 173 St Asaph Street  
 Christchurch 8140

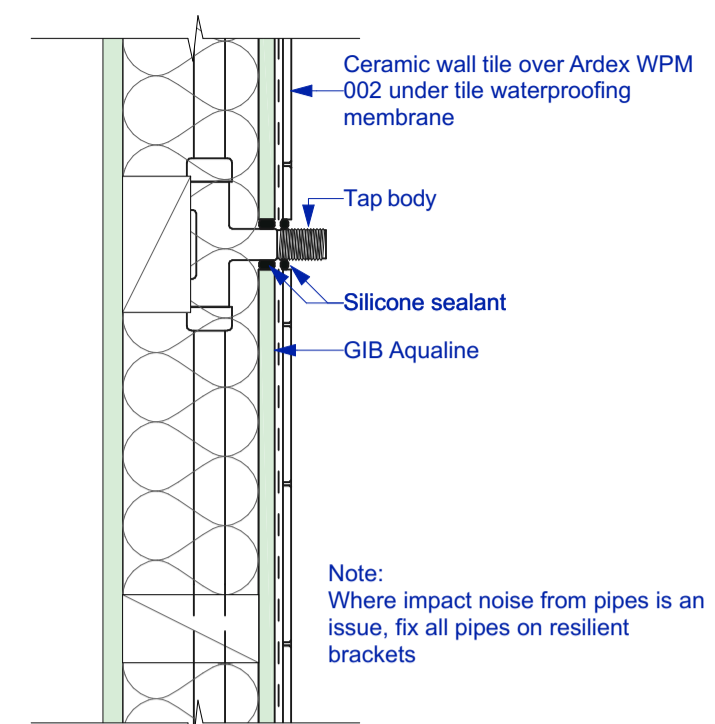
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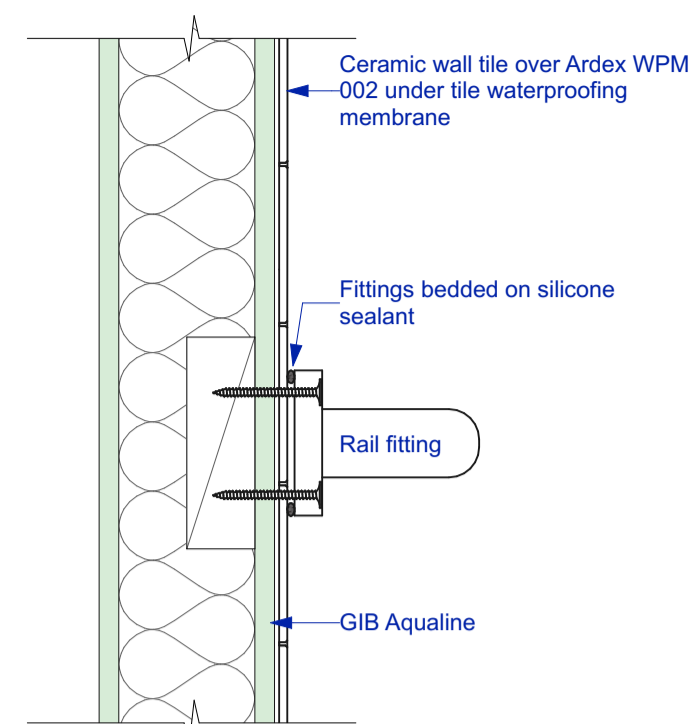




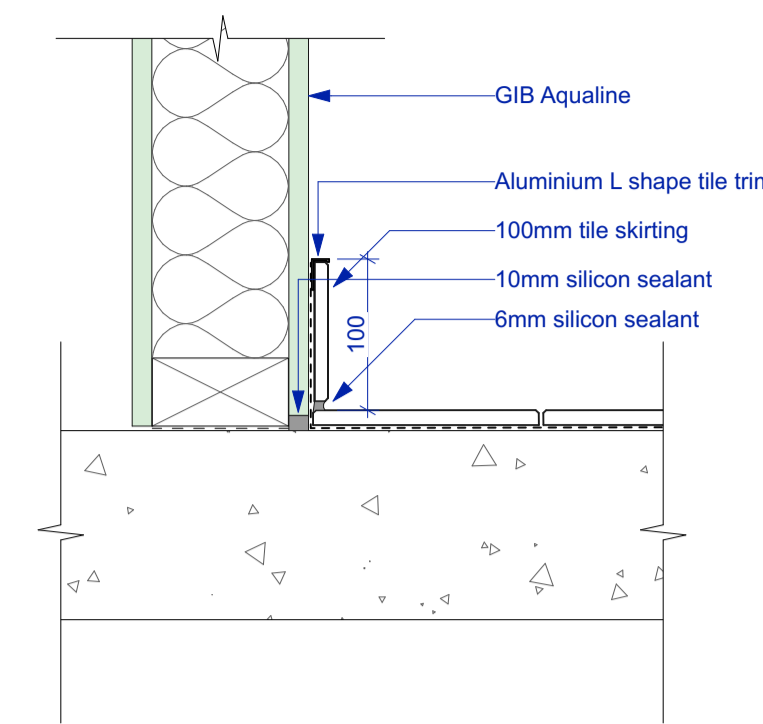
Shower tiled wall and floor



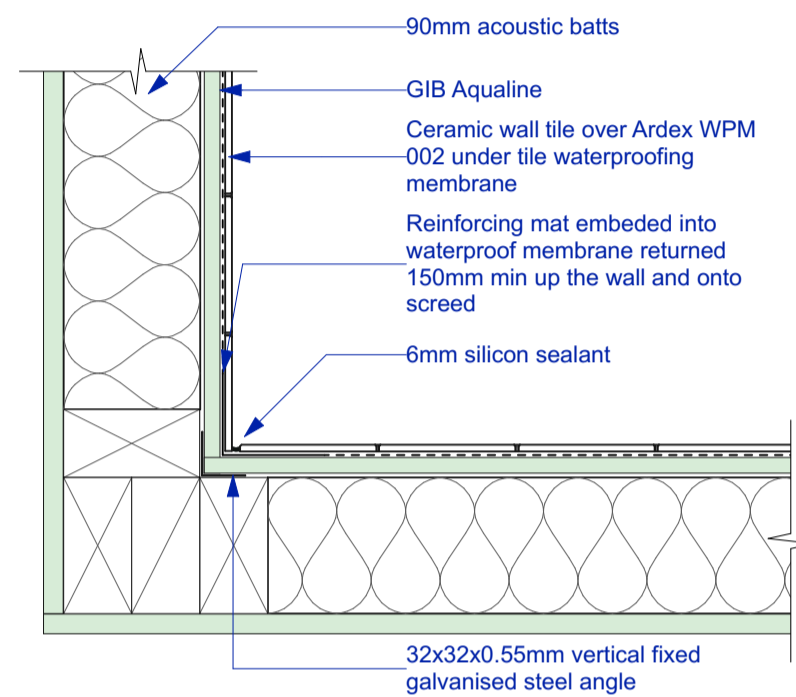
Mixer/tap penetration



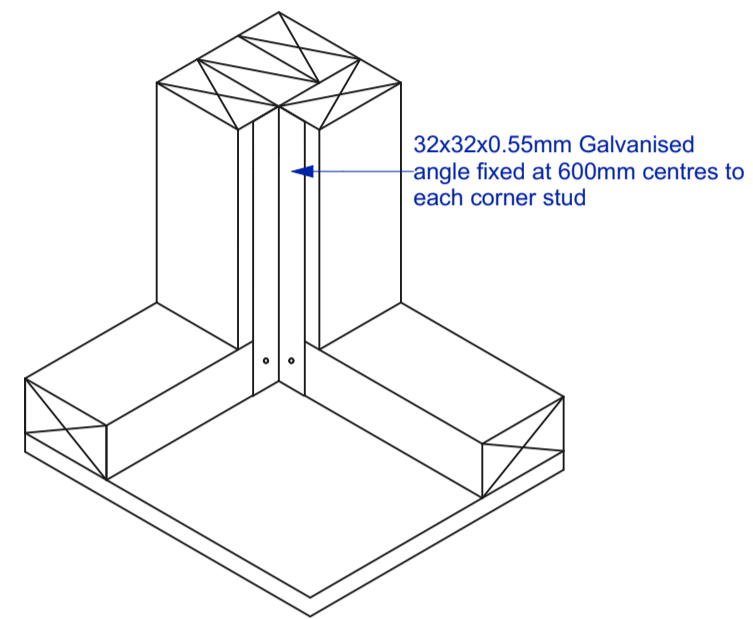
Grab rail fixing



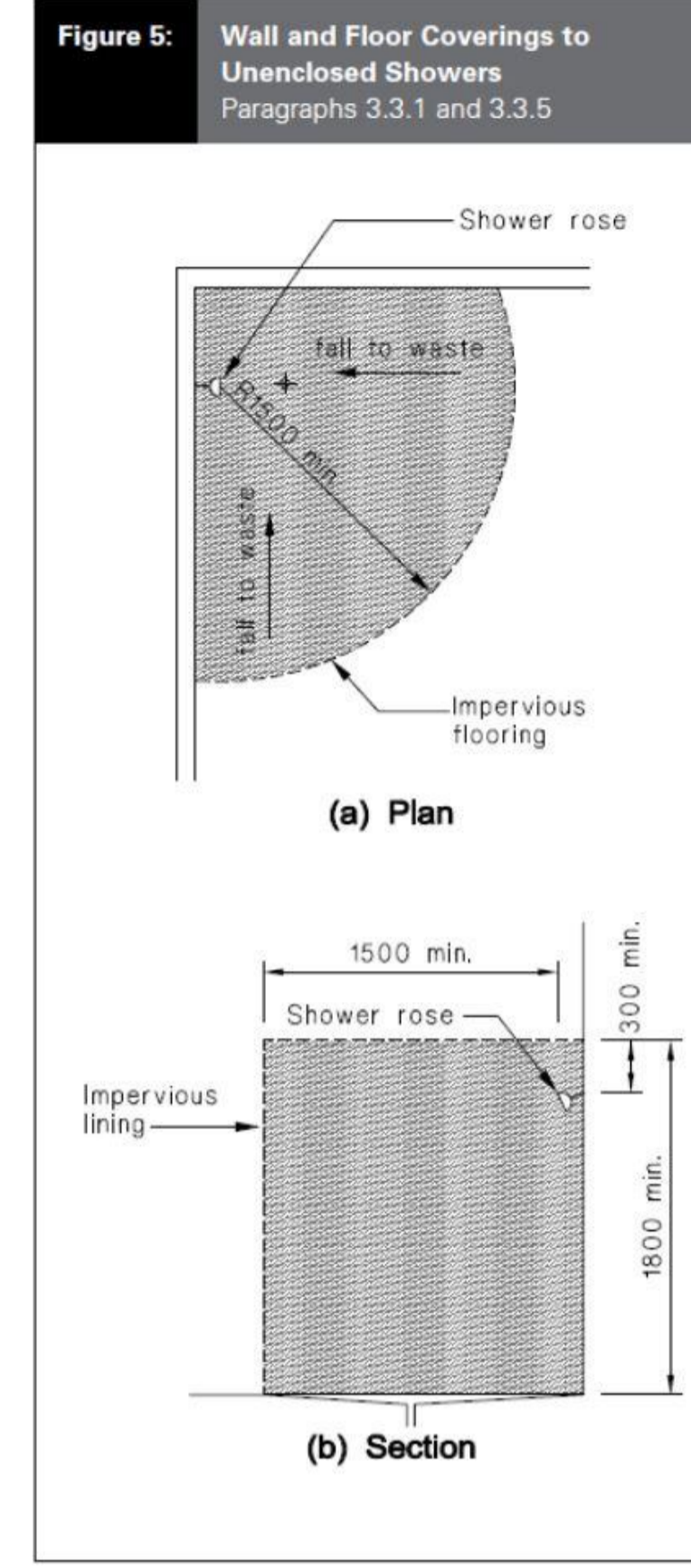
Tile skirting



Plan - Shower tiled wall corner



Basin/Mirror junction

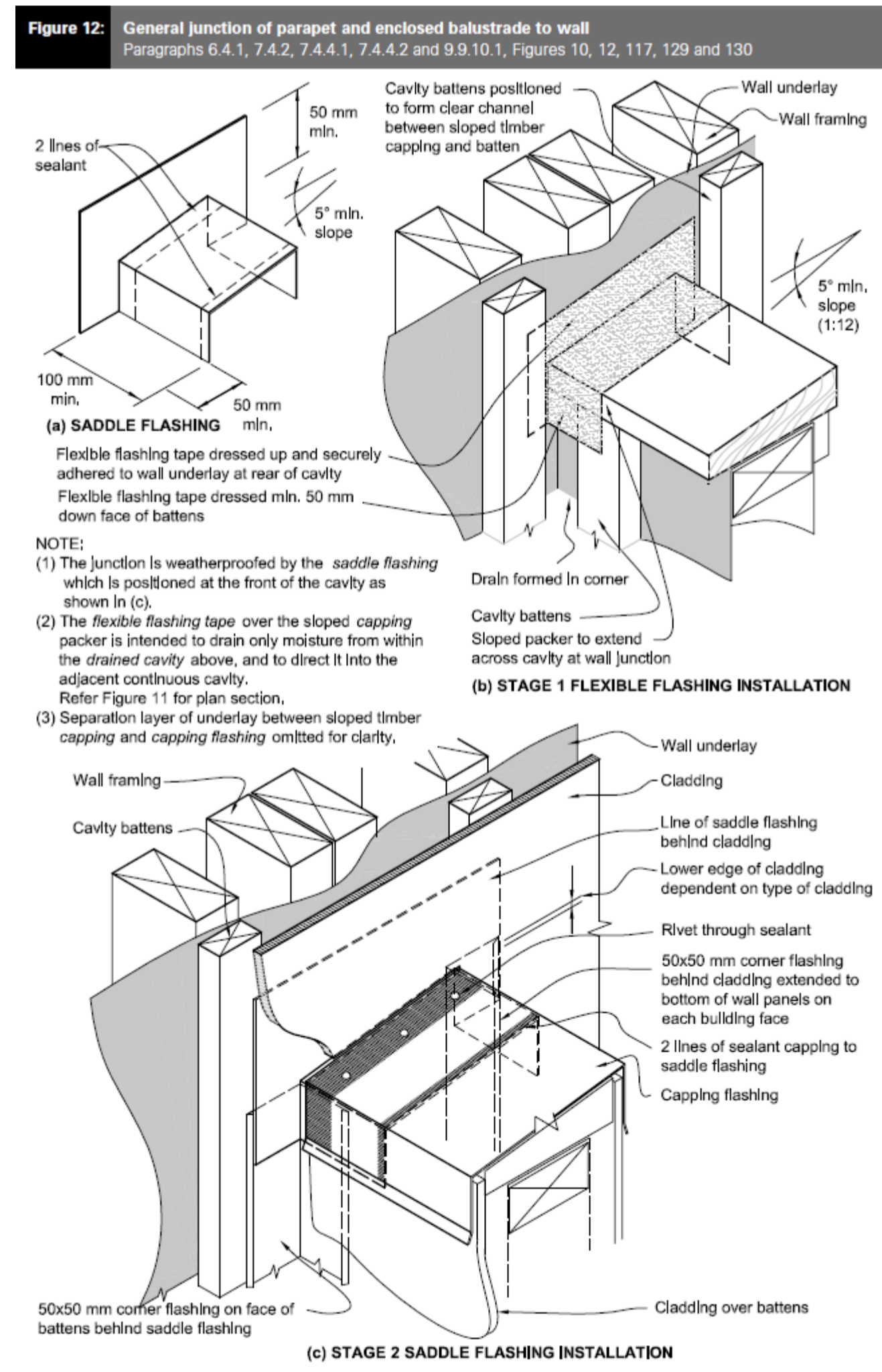


E3 Shower

Scale NTS

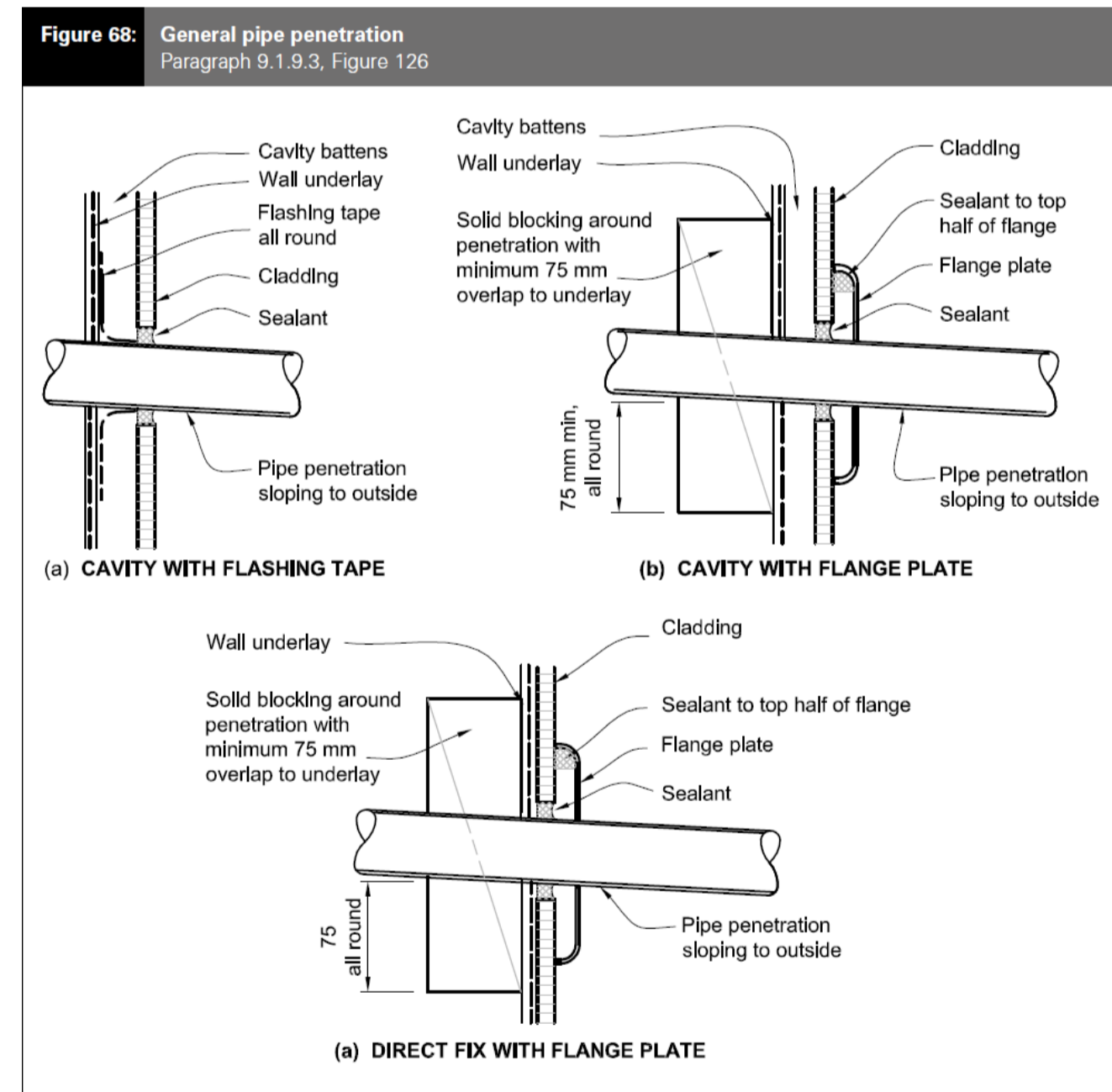
63 Internal moisture details

Scale 1:5



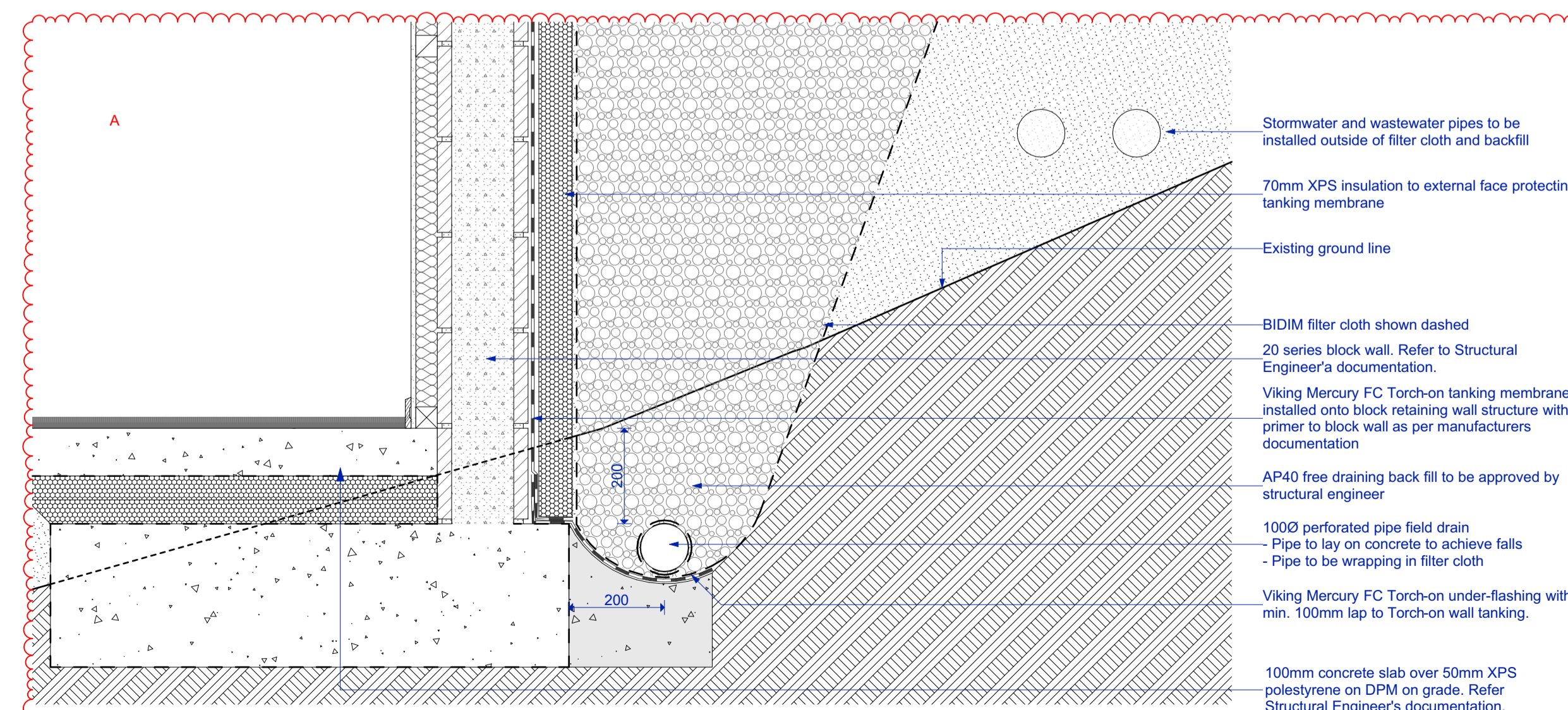
E2 Figure 12

Scale NTS



Pipe Penetration

Scale NTS



66 Retaining Wall Waterproofing

Scale 1:10

Building Consent

Notes:  
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Rev. Date: 16/04/2021 Issue: Building Consent Issue Council RFI  
 A 9/06/2021

Three Sixty Architecture



Chalmers Street Apartments  
 20 Chalmers Street  
 Wanaka

Details

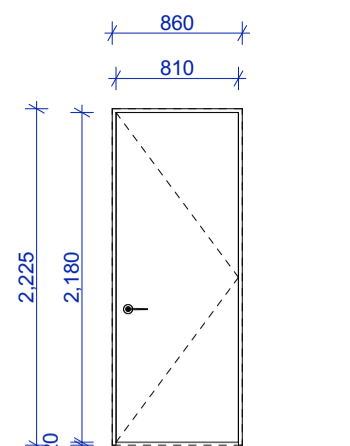
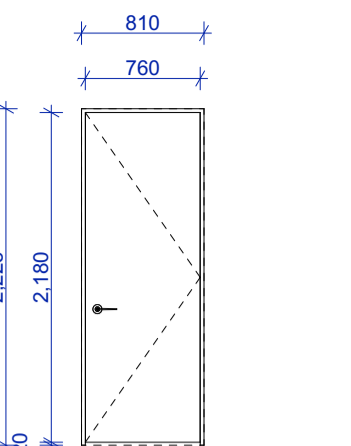
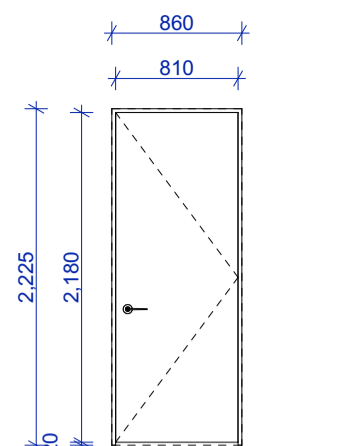
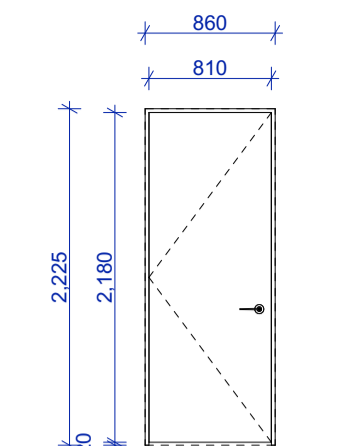
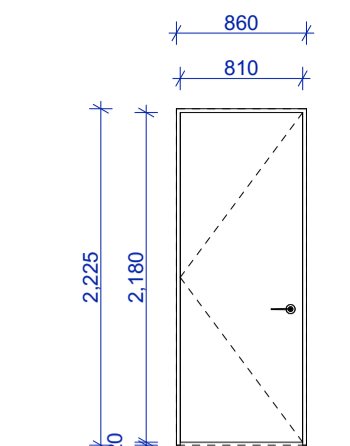
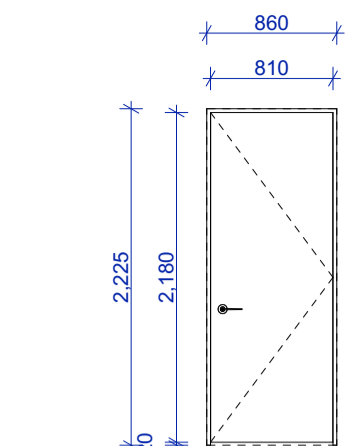
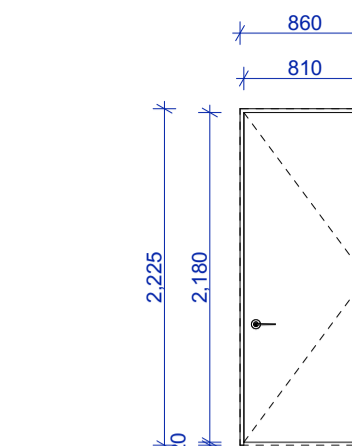
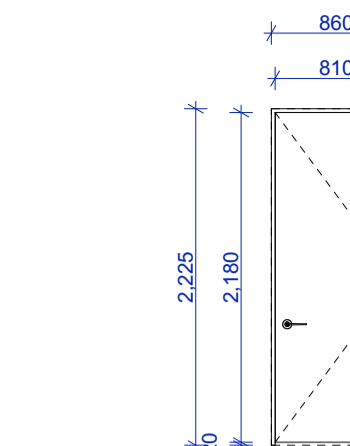
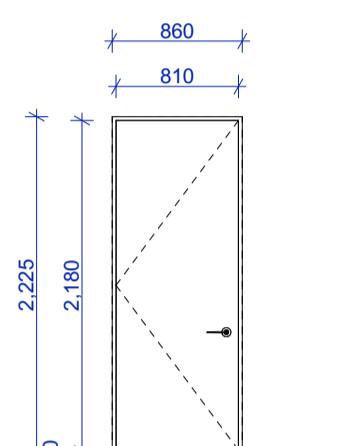
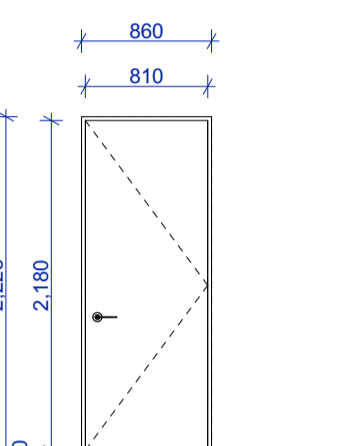
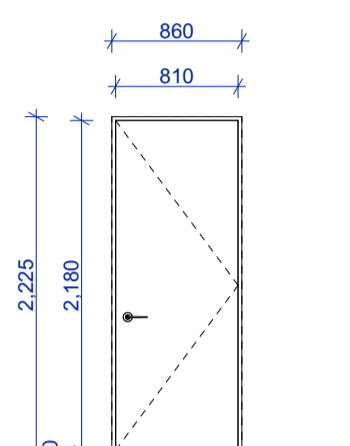
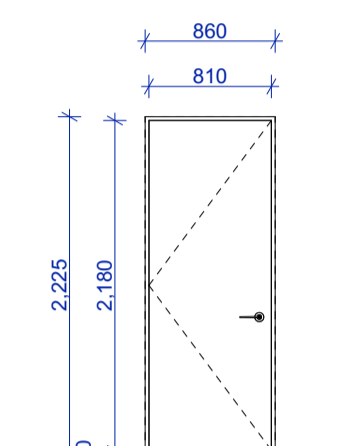
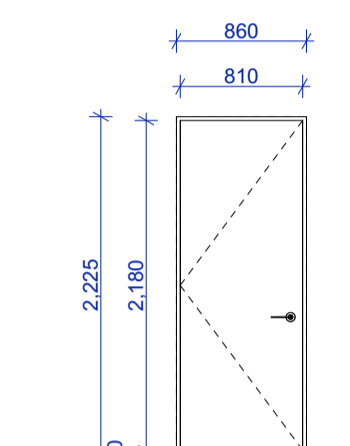
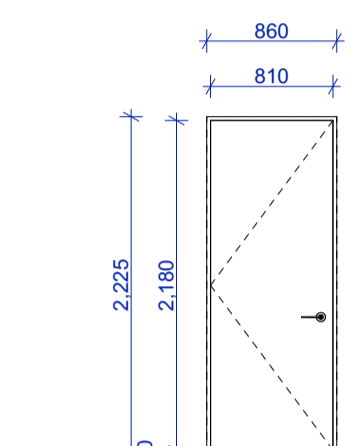
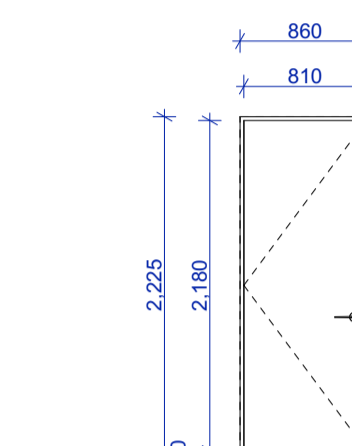
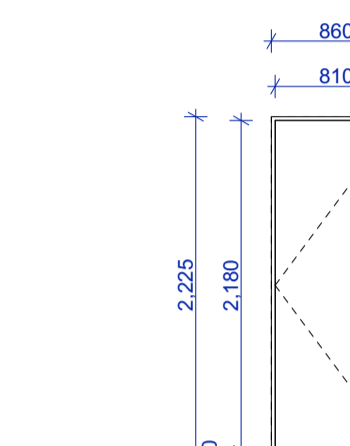
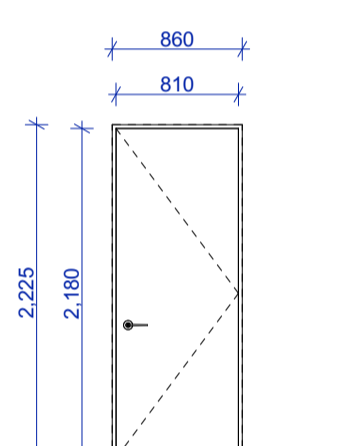
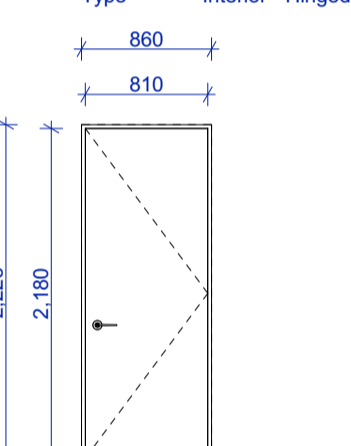
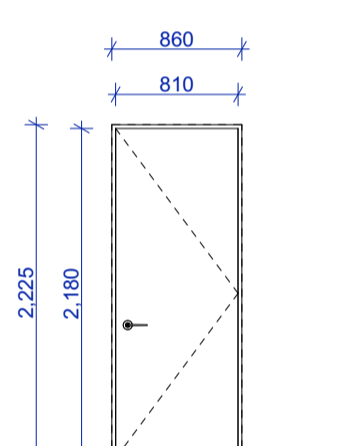
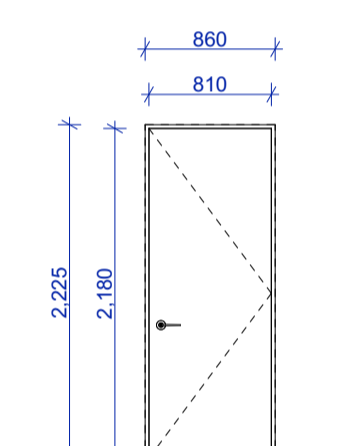
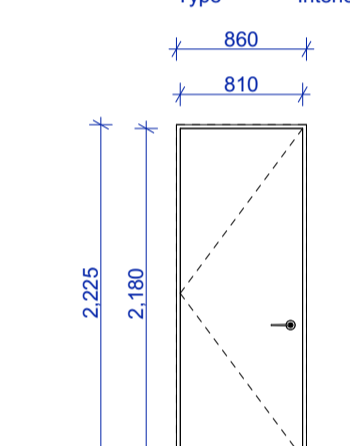
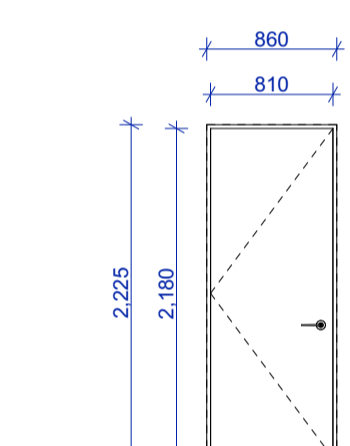
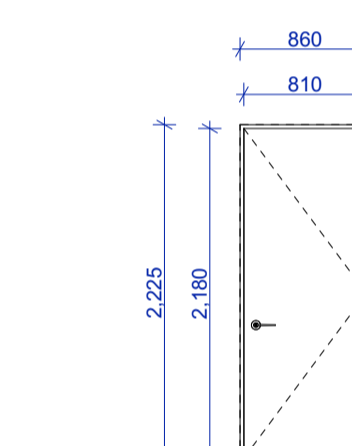
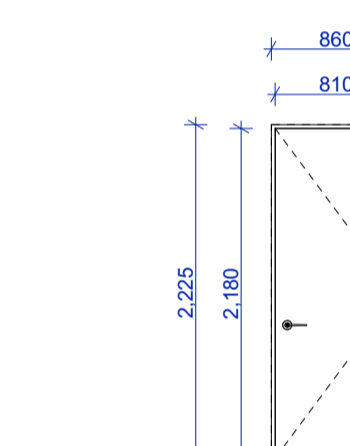
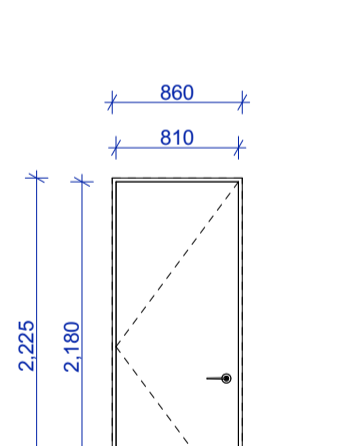
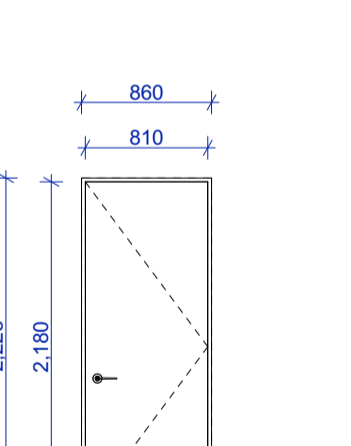
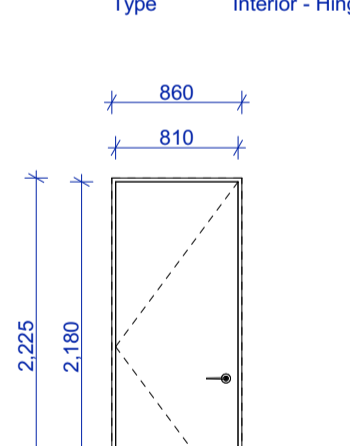
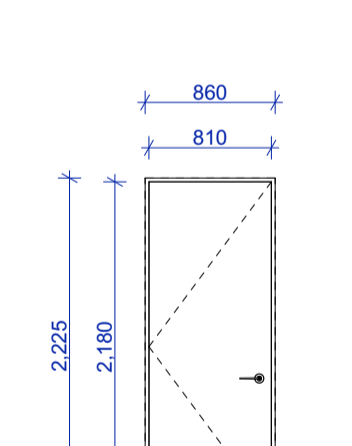
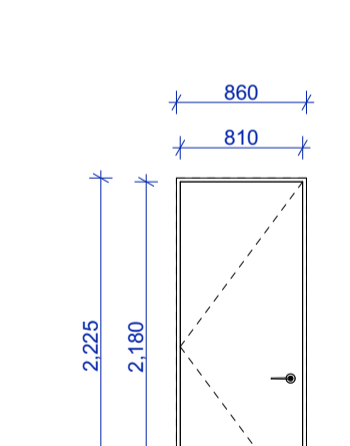
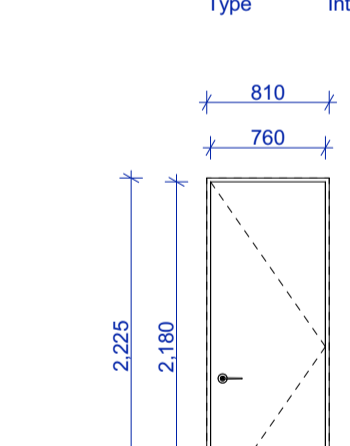
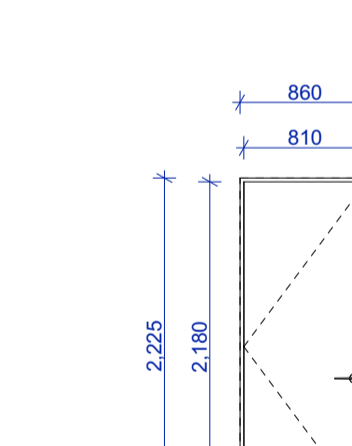
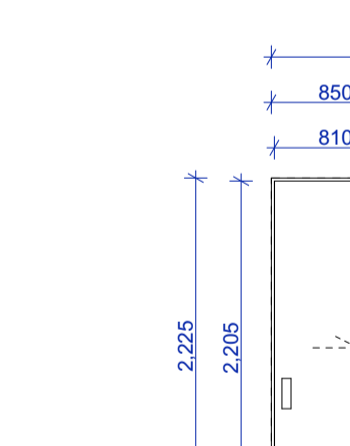
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 Date 9/06/2021  
 Revision A

Sheet No. 509

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|   |   |  |  |  |  |  |   |
|---|---|--|--|--|--|--|---|
|  <p><b>D1.01</b><br/>Bedroom<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p>    |  <p><b>D1.02</b><br/>Cupboard<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p>                      |  <p><b>D1.03</b><br/>Ensuite<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Privacy lock set<br/>Type Interior - Hinged door</p>     |  <p><b>D1.04</b><br/>Laundry<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p>    |  <p><b>D1.05</b><br/>Guest WC<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Privacy lock set<br/>Type Interior - Hinged door</p>  |  <p><b>D1.06</b><br/>Laundry<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p>                          |  <p><b>D1.07</b><br/>Bedroom<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p>    |  <p><b>D1.08</b><br/>Bathroom<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Privacy lock set<br/>Type Interior - Hinged door</p> |
|  <p><b>D1.09</b><br/>Bedroom<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p>   |  <p><b>D2.01</b><br/>Ensuite<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Privacy lock set<br/>Type Interior - Hinged door</p> |  <p><b>D2.02</b><br/>Bedroom<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Lever handle and latch set<br/>Door stop<br/>Type Interior - Hinged door</p>                         |  <p><b>D2.03</b><br/>Bedroom<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Lever handle and latch set<br/>Door stop<br/>Type Interior - Hinged door</p>   |  <p><b>D2.04</b><br/>Bathroom<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Lever handle and latch set<br/>Privacy lock set<br/>Door stop<br/>Type Interior - Hinged door</p> |  <p><b>D2.05</b><br/>Bedroom<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Lever handle and latch set<br/>Door stop<br/>Type Interior - Hinged door</p>                         |  <p><b>D2.06</b><br/>Cupboard<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p>  |  <p><b>D2.07</b><br/>Laundry<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p>                      |
|  <p><b>D2.08</b><br/>Laundry<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p>  |  <p><b>D3.01</b><br/>Bedroom<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p>                     |  <p><b>D3.02</b><br/>Bathroom<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Privacy lock set<br/>Type Interior - Hinged door</p>  |  <p><b>D3.03</b><br/>Bedroom<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p>  |  <p><b>D3.04</b><br/>Bedroom<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p>                      |  <p><b>D3.05</b><br/>Ensuite<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Privacy lock set<br/>Type Interior - Hinged door</p>   |  <p><b>D3.06</b><br/>Cupboard<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p> |  <p><b>D3.07</b><br/>Laundry<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p>                     |
|  <p><b>D3.08</b><br/>Laundry<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p> |  <p><b>D4.01</b><br/>Garage<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p>                     |  <p><b>D4.02</b><br/>Bathroom<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Privacy lock set<br/>Type Interior - Hinged door</p> |  <p><b>D4.03</b><br/>Bedroom<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p> |  <p><b>D4.04</b><br/>Bedroom<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p>                     |  <p><b>D4.05</b><br/>Guest WC<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Privacy lock set<br/>Type Interior - Hinged door</p> |  <p><b>D4.06</b><br/>Bedroom<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Door stop<br/>Lever handle and latch set<br/>Type Interior - Hinged door</p> |  <p><b>D4.07</b><br/>Ensuite<br/>Door leaf Solid core - paint quality finish<br/>Frame/Reveal Architraves - Bevel 60x18mm with paint finish<br/>Hardware Privacy lock set<br/>Recessed pull handle<br/>Type Interior - Cavity slider</p>                 |

## Building Consent

Notes :  
 All dimensions shall be verified on site by the contractor before starting any work or ordering any materials. All work must comply with NZS 3604 2011 and the New Zealand Building Code.

Rev. Code: 16/04/2021 Issue: Building Consent Issue

**Three Sixty Architecture**



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

Window & Door Schedule

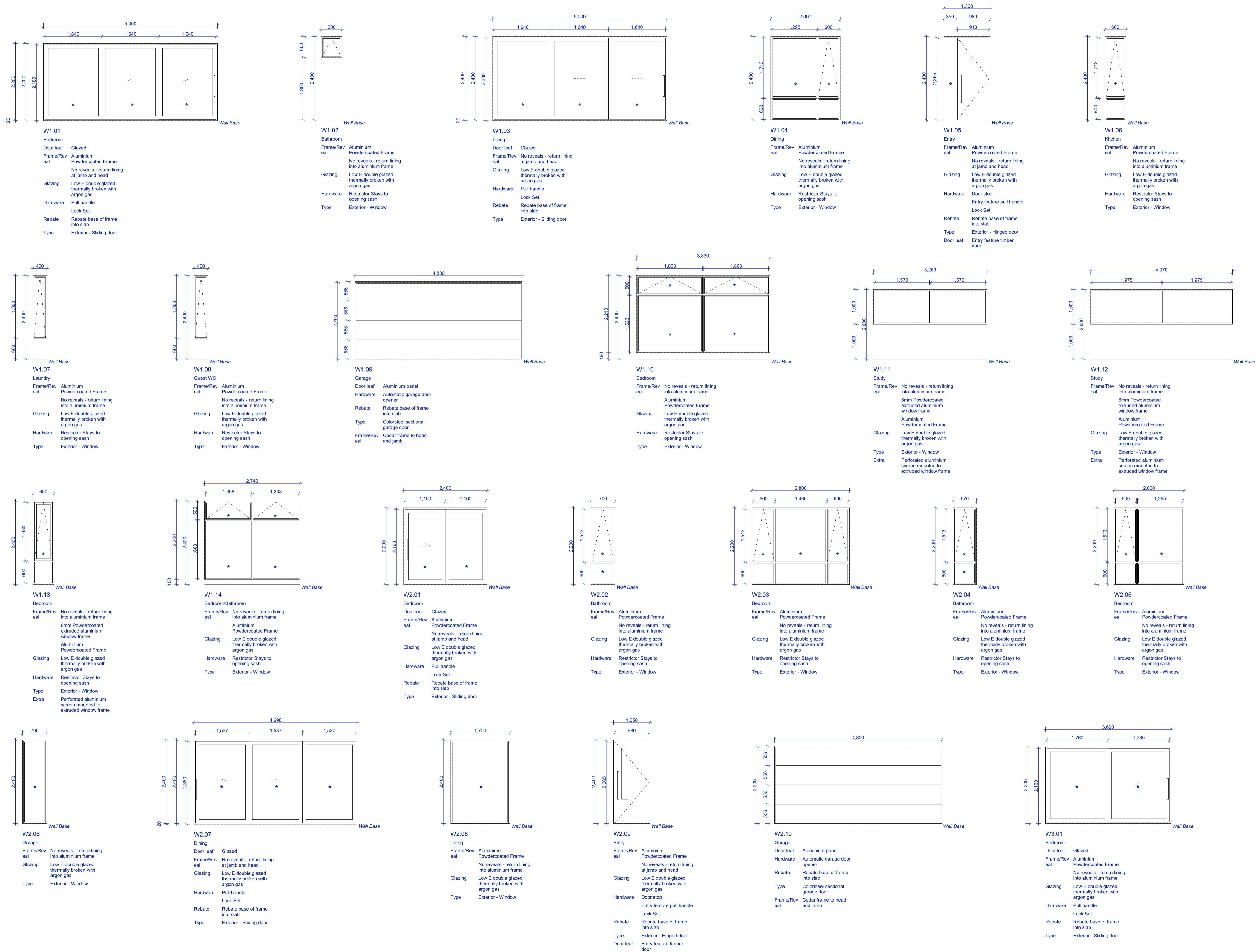
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 Date 9/06/2021  
 Revision -

Sheet No. **601**

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**Building Consent**

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Rev. Code: 16/04/2021 Issue: Building Consent Issues

**Three Sixty Architecture**



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

**Window & Door Schedule**

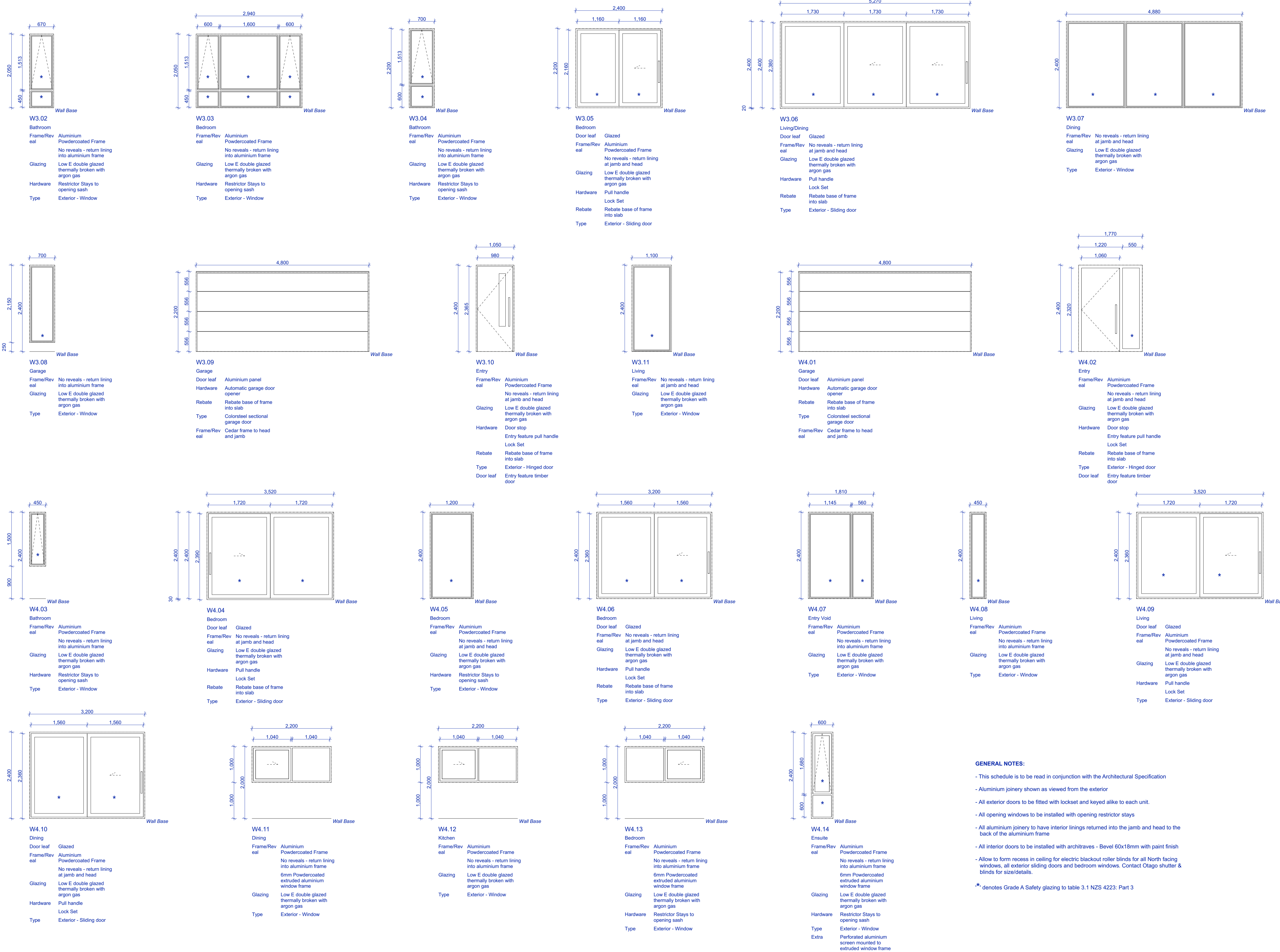
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 Date 9/06/2021  
 Revision -

Sheet No. **602**

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**GENERAL NOTES:**

- This schedule is to be read in conjunction with the Architectural Specification
- Aluminium joinery shown as viewed from the exterior
- All exterior doors to be fitted with lockset and keyed alike to each unit.
- All opening windows to be installed with opening restrictor stays
- All aluminium joinery to have interior linings returned into the jamb and head to the back of the aluminium frame
- All interior doors to be installed with architraves - Bevel 60x18mm with paint finish
- Allow to form recess in ceiling for electric blackout roller blinds for all North facing windows, all exterior sliding doors and bedroom windows. Contact Otago shutter & blinds for size/details.
- \* denotes Grade A Safety glazing to table 3.1 NZS 4223: Part 3

**Building Consent**

Notes:  
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 Rev. Date: 16/04/2021 Issue: Building Consent Issue



Chalmers Street  
 Apartments  
 20 Chalmers Street  
 Wanaka

**Window & Door Schedule**

Scale @ A1  
 File No. R19015  
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Sheet No. **603**

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